



Committee of Adjustment

Agenda

Date: September 23, 2026
Time: 1:00 pm
Location: Council Chambers, City Hall, second floor

Pages

1. Call to Order

2. Land Acknowledgement

Burlington as we know it today is rich in history and modern traditions of many First Nations and the Métis. From the Anishinaabeg to the Haudenosaunee and the Métis – our lands spanning from Lake Ontario to the Niagara Escarpment are steeped in Indigenous history.

The territory is mutually covered by the Dish with One Spoon Wampum Belt Covenant, an agreement between the Iroquois Confederacy, the Ojibway and other allied Nations to peaceably share and care for the resources around the Great Lakes.

We acknowledge that the land on which we gather is part of the Treaty Lands and Territory of the Mississaugas of the Credit.

3. Roll Call

4. Declarations of Interest

5. Addendums

6. Request for Deferrals

7. Consent Items

Applications placed on the Consent Agenda are of a routine nature, require no discussion and/or debate, have staff support, have received no objections as a result of the public notice or delegation requests, and are accepted by Committee members as meeting the four tests of the Planning Act. All other applications are placed on the Regular Agenda

7.1 None

8. Regular Items

8.1 548-550 Burlington Avenue_A-041-2026

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Proposal:

The applicant is proposing the construction of a one-storey dwelling with attached garage.

Variances:

1. To permit a front yard (abutting Caroline Street) of 4.4 m instead of the minimum required 5.35m (6 – 0.65m encroachment) for a proposed roofed-over 1-storey porch including steps and roof overhang excluding eaves and gutter.
2. To permit a street side yard (abutting Burlington Ave) of 2.5 m instead of the minimum required 3.85m (4.5 – 0.65m encroachment) for a proposed 1-storey porch including steps.
3. To permit a setback from a side lot line abutting a street of 6.6 m instead of the minimum required 7.5 m for a proposed accessory building.

9. Other Business

9.1 Correspondence

9.2 Items for Discussion

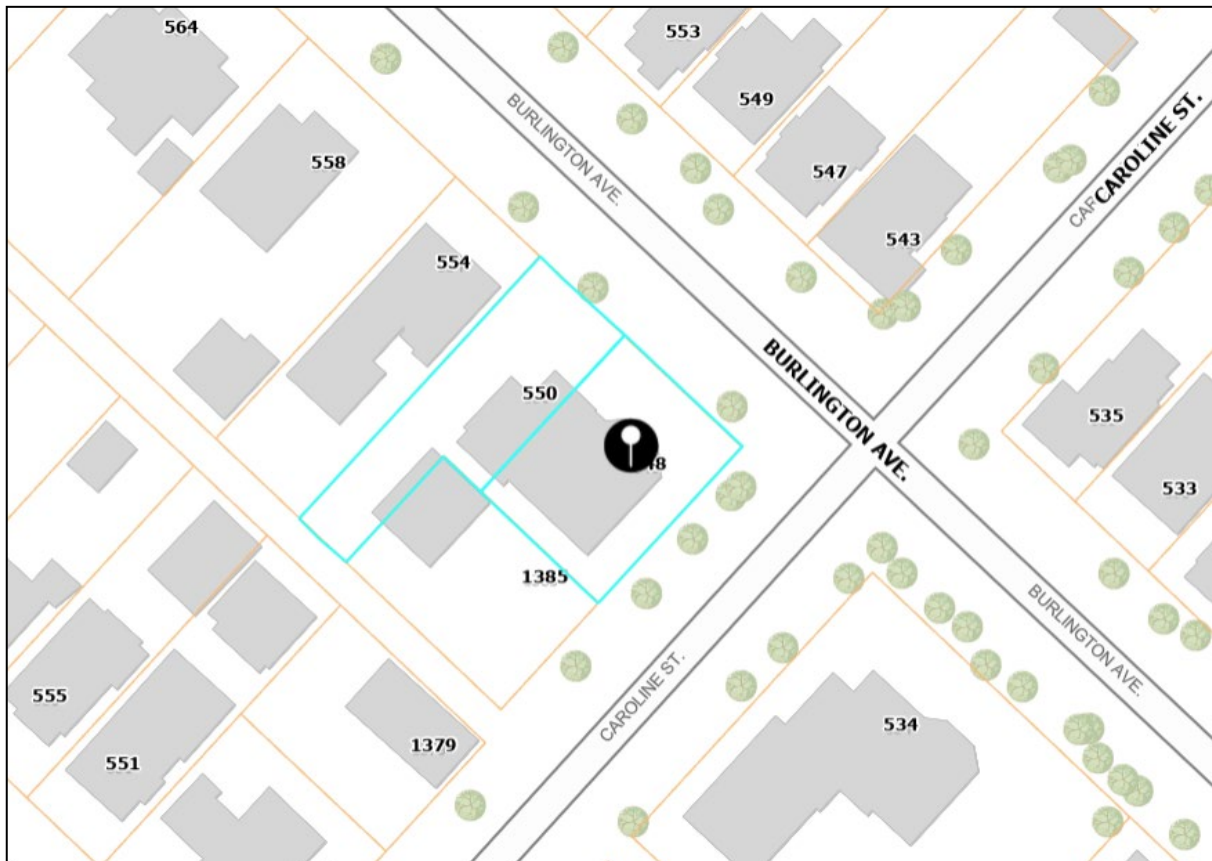
9.3 Date of Next Meeting

9.4 Motion to Approve Committee of Adjustment Meeting Minutes

10. Adjournment

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Owner(s): Martha White and Michael White
Address: 548 & 550 Burlington Ave, Burlington
File No. **A-041/26**
Ward: 2



Staff Comments:

Committee of Adjustment

Committee staff have received written confirmation from the applicant that the lands known as 548 and 550 Burlington Avenue have been formally consolidated with the Land Registry Office.

There is 1 previous land division application on record for this property.

As original parcel 546 Burlington Ave

File No. B-015/2015 – Approved

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- Consent to sever a parcel of land to create 3 new residential lots (1 retained lot plus 2 severed lots)

There are 11 previous minor variance/permission applications on record for this property.

As original parcel 546 Burlington Ave

File No. A005/1986 – Deferred

File No. A009/1987 – Approved

- To permit five self-contained one-bedroom apartments.

File No. A210/1997 – Approved

- To permit three one-bedroom self-contained units and two two-bedroom self-contained units within the existing building.

File No. A055/2015 – Approved

- To permit a lot width of 12.1 m whereas Part 2, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum lot width of 15 m to facilitate a proposed land severance.
- To permit a lot area of 373.0 sq m whereas Part 2, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum lot area of 425.0 sq m to facilitate a proposed land severance.
- To permit lot coverage of 31% whereas Part 2, Section 4.2 (Table 2.4.3), of Zoning By-Law 2020, as amended, permits 25% maximum for a proposed two-storey detached dwelling with attached garage.
- To permit a front yard setback of 4.0 m whereas Part 1, Section 2.13 (d), of Zoning By-Law 2020, as amended, requires a minimum 5.35 m for a proposed roofed over porch including overhangs and stairs.
- To permit a north side yard setback of 1.2 m whereas Part 1, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum 1.8 m for a proposed two storey detached dwelling.
- To permit a south side yard setback of 1.2 m whereas Part 1, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum 1.8 m for a proposed two storey detached dwelling

File No. A056/2015 – Approved

- To permit a lot area of 379.0 sq m whereas Part 2, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum lot area of 425.0 sq m to facilitate a proposed land severance

File No. A057/2015 – Approved

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- To permit a lot area of 343.0 sq m whereas Part 2, Section 4.1 (Table 2.4.1), of Zoning By-Law 2020, as amended, requires a minimum lot area of 425.0 sq m to facilitate a proposed land severance.

548 Burlington Ave

File No. A156/2016 – Approved

- To permit a front yard setback abutting Burlington Avenue of 5.4 m instead of the minimum required 6.0 m for a proposed two storey detached dwelling including bay windows.
- To permit a front yard setback abutting Burlington Avenue of 4.6 m instead of the minimum required 5.35 m (6.0 m - .65 m = 5.35 m) for a proposed roofed over porch including overhangs and stairs.
- To permit a rear yard setback of 1.8 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling.
- To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling.
- To permit a street side yard setback abutting Caroline Street of 3.9 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling.
- To permit a street side yard setback abutting Caroline Street of 3.2 m instead of the minimum required 3.85 m (4.5 m - .65 m = 3.85 m) for a proposed roofed over porch including roof overhangs and stairs.
- To permit a street side yard setback abutting Caroline Street of 4.0 m instead of the minimum required 4.5 m for a proposed second storey balcony/terrace.
- To permit lot coverage of 39.50% instead of the maximum permitted 25% for a proposed two-storey detached dwelling with attached garage.
- To permit a north side yard encroachment of 0.55 m instead of the maximum permitted projection of 0.50 m from the wall of the building for proposed overhangs.

File No. A033/2020 –Partially Approved (appealed to OLT, OLT refused all variances)

To permit a front yard setback abutting Burlington Avenue of 5.4 m instead of the minimum required 6.0 m for a proposed two-storey detached dwelling with attached garage including bay windows.

- To permit a front yard setback abutting Burlington Avenue of 4.5 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed over porch including overhangs and stairs.
- To permit a rear yard setback of 1.8 m instead of the minimum required 4.5 m for a proposed two-story detached dwelling with attached garage.
- To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage.
- To permit a street side yard setback abutting Caroline Street of 2.8 m instead of the minimum required 4.5 m for a proposed two storey detached dwelling with attached garage including window wells.

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- To permit a street side yard setback abutting Caroline Street of 3.5 m instead of the minimum required 3.85 m (4.5 m – 0.65 m encroachment) for a proposed roofed over porch including roof overhang and stairs.
- To permit a street side yard setback abutting Caroline Street of 3.9 m instead of the minimum required 4.5 m for a proposed second storey balcony/terrace.
- To permit lot coverage of 39.2% instead of the maximum permitted 25% for a proposed two-storey detached dwelling with attached garage.
- To permit a floor area ratio of 0.67:1 instead of the maximum permitted 0.45:1 for a proposed two-storey detached dwelling with attached garage.

File No. A087/2024 – Approved

- To permit a front yard of 4.5 m instead of the minimum required 6 m for a proposed onestorey dwelling with attached garage.
- To permit a front yard of 2.4 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed-over 1-storey porch including steps and roof overhang excluding eaves and gutter.
- To permit a rear yard of 1.3 m instead of the minimum required 1.8 m for a proposed roofedover deck less than 1.2 m high.

550 Burlington Ave

File No. A035/2020 – Partially Approved (appealed to OLT, OLT refused application)

- To permit lot coverage of 32.2% instead of the maximum permitted 25% for a proposed two storey detached dwelling with attached garage.
- To permit floor area ratio of 0.64:1 instead of the maximum permitted 0.45:1 for a proposed two storey detached dwelling with attached garage.
- To permit a front yard setback of 3.9 m instead of the minimum required 5.35 m (6 m – 0.65 m encroachment) for a proposed roofed over porch including steps and overhang.
- To permit a north side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage.
- To permit a south side yard setback of 1.2 m instead of the minimum required 1.8 m for a proposed two storey detached dwelling with attached garage including proposed window wells.
- To permit a dwelling depth of 20.9 m instead of the maximum permitted 18 m for a proposed two storey detached dwelling with attached garage.

File No. A061/2025 – Approved

- To permit a lot coverage of 38.3% instead of the maximum permitted 35% for a proposed one-storey detached dwelling with attached garage.
- To permit a front yard of 4.5 m instead of the minimum required 6.0 m for a proposed one-storey detached dwelling with attached garage.
- To permit a dwelling depth of 23.4 m instead of the maximum permitted 18 m measured from building wall closest to front lot line to the building wall closest to the rear lot line for a proposed one storey addition.

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- To permit a front yard of 2.5 m instead of the minimum required 5.35 m (6 – 0.65m encroachment) for a proposed roofed-over 1-storey porch including steps and roof overhang excluding eaves and gutter.

Date: August 5, 2026

Prepared By: E. Shacklette

Zoning

1) **Background information:**

The subject property is zoned DRL, Downtown Residential Low-Density, under Zoning By-Law 2020, as amended, and is located in the designated area for lot coverage and floor area ratio. Detached dwellings in the DRL zone are permitted subject to the R3.2 regulations. The R3.2 zone requires, among other things, the following:

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R3 ZONES						
R3.2	15 m	425 m ²	6 m	9 m (c)	(b)	4.5 m

2.13 ENCROACHMENT INTO YARDS

2.13.1 Every part of a required yard shall be unobstructed with respect to the following encroachments:

- d) The following obstructions may project 65 cm maximum into a required yard:

A roofed-over or screened but otherwise unenclosed 1-storey porch including steps and roof overhang excluding eaves and gutter

A terrace or unroofed porch

A carport

2.2 ACCESSORY BUILDINGS AND STRUCTURES AND UNITARY EQUIPMENT

2.2.1 The following regulations shall apply to buildings and structures, when accessory to detached, semi-detached, duplex, triplex, fourplex or street townhouse dwellings:

- (a) Regulations for Accessory Buildings up to 10 m² in floor area:

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(i) Setback from a side lot line abutting a street:	7.5 m
(ii) Setback from a rear lot line abutting a street:	90 cm
(iii) Setback from a front lot line:	15 m
(iv) Setback from any other lot line:	no minimum
(v) Maximum height:	2.5 m

2) Proposal:

The applicant is proposing the construction of a one storey dwelling with attached garage.

3) Variances required:

1. To permit a front yard (abutting Caroline Street) of 4.4 m instead of the minimum required 5.35m (6 – 0.65m encroachment) for a proposed roofed-over 1-storey porch including steps and roof overhang excluding eaves and gutter.
2. To permit a street side yard (abutting Burlington Ave) of 2.5 m instead of the minimum required 3.85m (4.5 – 0.65m encroachment) for a proposed 1-storey porch including steps.
3. To permit a setback from a side lot line abutting a street of 6.6 m instead of the minimum required 7.5 m for a proposed accessory building.

4) Notes and conditions:

Condition:

1. A Pre-Building Approval Application is required.

Notes:

1. Variances have been identified based on the plans submitted for zoning review. If additional variances are identified when a Consolidated Pre-Building Permit Application is made, they will be the responsibility of the applicant to obtain.
2. The variances identified are based on the plans provided. Any changes to the plans resulting in additional variances will be the responsibility of the applicant to obtain.
3. The laneway on the west side is city owned and deemed to be a public laneway under Section 26 of the Municipal Act. It is therefore considered a public road.

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4. The application has been reviewed under Section 45(1) of the Planning Act.

Date: July 31, 2026

Prepared By: S. Boich

Heritage Planning

The subject property, 548 Burlington Avenue, is a vacant corner lot at the intersection of Burlington Avenue and Caroline Street and does not have any heritage status under the *Ontario Heritage Act*. On the south side of Caroline Street, directly across from the subject property, is 534 Burlington Avenue (the circa 1910 Skelton-Giddings House), designated under Part IV of the *Ontario Heritage Act* by municipal By-law No. 115-1992.

Heritage Planning staff have reviewed the submission materials for the subject application, including elevation drawings, which do not appear to contain a material palette or legend. Staff find the proposed single-storey dwelling to be generally compatible with the Craftsman-style Skelton-Giddings House, though would have expected the front façade to front Burlington Avenue (not Caroline Street) and the BBQ patio to be in a more discreet location. Staff recommend the use of high-quality building materials compatible with the historic building materials of the Skelton-Giddings House, which include Queenston block limestone and traditional stucco, and recommend minimizing the use of synthetic building materials to maintain the character of the broader Burlington Avenue streetscape.

Staff have no further comments on the application as circulated.

Date: August 19, 2026

Prepared By: C. Richer

Site Planning

Site Characteristics	
Lot Frontage (m)	22.31m Caroline, 29.24m Burlington & 6.71m Lane
Lot Area (m²)	725.5m ²
Existing Land Uses (ex. buildings, structures, driveways, fences, etc...)	Vacant
Site Grading (ex. Flat and level, significant grade differences)	Flat and level
Notable Site Features	Corner lot with additional frontage on a rear laneway 'P' shaped lot
Surrounding Land Uses (ex. Adjacent building relationships, natural features, notable adjacencies)	Low-rise residential
Nearest Major Intersection	Lakeshore Road and Brant Street

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Neighbourhood Boundaries* *Based on OP, 1997 <i>residential neighbourhood</i> definition	North: Baldwin Street East: Brant Street South: Lakeshore Road West: Maple Trail
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Neighbourhood Characteristics:

- The neighbourhood is characterized by low-rise residential development consisting primarily of detached dwellings, with a mix of one, one-and-a-half and two-storey homes reflecting different periods of development.
- The neighbourhood has a strong historic residential character and forms part of the St. Luke's Precinct identified in the *Keeping Place: Heritage-Based Urban Design Guidelines for Downtown Burlington* (The "Keeping Place Guidelines"). The Keeping Place Guidelines identify the St. Luke's Precinct as containing much of Downtown Burlington's historic residential area and a significant concentration of heritage resources.
- Architectural styles vary throughout the neighbourhood, reflecting the area's historic pattern of lot-by-lot development. Common characteristics include gabled and hipped roof forms, brick and wood or siding finishes, vertically proportioned windows, dormers, and prominent front entrances and porches.
- Front porches and verandahs are a recurring architectural feature within the surrounding neighbourhood and contribute to the relationship between dwellings and the street. The properties immediately across from the subject lands are representative of this character, incorporating prominent covered front porches, traditional roof forms and architectural detailing.
- The Keeping Place Guidelines identify porches as a characteristic component of local heritage architectural styles like Victorian, Edwardian and Arts and Crafts/Craftsman, with porch design contributing to the overall architectural composition of the dwelling.
- Front yard setbacks vary throughout the broader neighbourhood, reflecting the historic development pattern of the area. Individual block frontages generally maintain a recognizable relationship between adjacent dwellings, while the broader neighbourhood contains a range of dwelling setbacks.
- On page 77, the Keeping Place Guidelines note that front yards within the St. Luke's Precinct are generally shallower than contemporary zoning standards would otherwise permit and that front-yard setbacks are an important component of the character of individual street frontages.
- Properties generally contain landscaped front yards, mature trees and established vegetation, which contribute to the historic and residential character of the streetscape.
- Dwelling footprints, architectural styles and building configurations vary throughout the neighbourhood, while maintaining an overall cohesive, low-rise residential character.

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- The neighbourhood's character is therefore established not by a uniform architectural style or identical building setback, but by the combination of low-rise heights, traditional architectural forms, landscaped front yards, mature vegetation, and porches.

A site visit was conducted on October 15, 2025 and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

The proposal meets the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- Section 76 of the ROP indicates that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. Given that a detached dwelling is permitted by the City's Zoning By-law, staff are of the opinion that the requested variances meet the general intent and purpose of the ROP.

Official Plan, 1997 & 2020

Parts of Burlington Official Plan, 2020 (BOP, 2020) are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of in-force policies under BOP, 2020 and the older Burlington Official Plan 1997 (BOP, 1997).

The proposal meets the general intent and purpose of the Official Plan for the following reasons:

- The site is designated 'Urban Centre' according to Schedule 'C' (Land Use – Urban Area) of the BOP, 2020 and 'St. Luke's Neighbourhood Precinct' according to Schedule 'E' (Downtown Mixed-Use Centre) of the BOP, 1997. Within the St. Luke's Neighbourhood Precinct, detached dwellings to a maximum density of 25 units per net hectare and a maximum building height of 2½ storeys are permitted. The proposed one-storey detached dwelling is a permitted form of development.
- Whereas Part III, Section 5.5.4(a) of the BOP, 1997 establishes the objective of preserving the stable residential and heritage character of the St. Luke's and Emerald Neighbourhood Precincts and ensuring that redevelopment is

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compatible with the existing character of the neighbourhoods, the proposal is consistent in the following ways:

- The proposed dwelling maintains the established low-rise detached residential character of the neighbourhood.
 - The proposal incorporates traditional residential design elements, including naturalistic building materials like stone and wood, prominent roof forms, finials, a shallow front yard setback, a front-facing entrance and covered porch and single bay garage doors, which reflect architectural features evident throughout the surrounding neighbourhood.
 - The requested variances apply to relatively small features of the development and do not result in a substantial change to the overall scale or character of the proposed dwelling.
- Within the St. Luke's Neighbourhood Precinct, special consideration is given to the compatibility of development with the established residential and heritage character of the area. Part III, Section 5.5.4(a) of the BOP, 1997 establishes the objective of preserving the stable residential and heritage character of the St. Luke's and Emerald Neighbourhood Precincts and ensuring that redevelopment is compatible with the existing character of the neighbourhoods. Section 5.5.4(d) further requires that all development and redevelopment be compatible with the existing character of these neighbourhoods with respect to matters including height, setbacks, massing, design and community features. It is important to note that while the St. Luke's Neighbourhood is an area with special, historic character, it is not a Heritage Conservation District designated under Part V of the *Ontario Heritage Act* and there is no heritage conservation district plan to comply with. The proposal is consistent with these policies in the following ways:
 - The proposed one-storey dwelling maintains a height and massing that are consistent with the low-rise character of the surrounding neighbourhood.
 - The proposed dwelling incorporates traditional residential elements, including prominent roof forms, vertically proportioned openings, masonry detailing and a covered front porch that reflect the historic character of the area.
 - The covered front porch is particularly consistent with the heritage character of the St. Luke's neighbourhood. Section 3.8 of the Keeping Place Guidelines, which identifies porches as characteristic elements of several local heritage architectural styles, while Section 7.3.2 directs new residential buildings to reflect the historic built form of neighbouring properties. The proposed porch incorporates a defined roof form, prominent columns and masonry detailing and reinforces the traditional relationship between the dwelling and the street.
 - Whereas Part II, Section 6.5(a) of the Design section of BOP, 1997 directs that *"the density, form, bulk, height, setbacks, spacing and materials of development are to be compatible with its surrounding area,"* the proposal is consistent in the following ways:
 - The proposed development maintains a low-rise detached residential form and does not introduce an incompatible building type or scale.

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- The requested setback relief is limited to small, subordinate features rather than substantial portions of the principal dwelling. The principal dwelling maintains setbacks of approximately 6.67 m from the front wall to Caroline Street and 4.58 m from the sidewall to Burlington Avenue, with the requested reductions associated with the front porch and steps, BBQ porch and steps, and accessory pool shed.
 - The proposed dwelling incorporates varied rooflines and façade articulation that reduce the perception of building bulk.
 - The one-storey form limits the overall visual mass of the dwelling when viewed from surrounding properties and the public realm.
 - The proposed accessory building is limited in size and height and remains visually subordinate to the principal dwelling.
 - Whereas *compatible* is defined as “Development or re-development that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health,” which is evaluated in accordance with measurable/objective standards, the planner notes the following:
 - The proposed one-storey form limits potential impacts associated with overlook, shadowing and visual massing.
 - The proposed front porch provides a pedestrian-scaled entrance feature and reflects a common architectural element within the surrounding neighbourhood.
 - The BBQ porch and associated steps are unenclosed features and do not introduce additional enclosed building mass toward Burlington Avenue.
 - The proposed pool shed remains approximately 6.6 m from the lane and is not anticipated to become a prominent element within the laneway.
 - Forestry staff have reviewed the proposal for potential tree impacts and do not object.

2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes – Variance No.1 & 2 (Front & Side Yard Encroachment)

The general intent and purpose of the minimum front yard and street side yard setback provisions of Residential Zoning By-law 2026 is to establish an appropriate relationship between development and the public street, maintain the established streetscape character of residential neighbourhoods, and provide adequate space for landscaping, drainage, access and visibility. The provisions also allow limited encroachments for minor architectural and functional features where those features remain subordinate to the principal building and do not adversely affect the public realm. Staff are of the

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opinion that the requested variances maintain the general intent and purpose of the Zoning By-law for the following reasons:

- The requested front yard relief applies only to the proposed covered front porch, steps and associated roof projection, rather than the principal wall of the dwelling. The principal dwelling maintains a setback of approximately 6.67 m from Caroline Street.
- The front porch is a small, unenclosed architectural feature that remains subordinate to the principal dwelling and does not substantially increase the amount of building mass within the required front yard.
- The proposed porch maintains an appropriate relationship with Caroline Street and provides a defined pedestrian entrance to the dwelling.
- The surrounding neighbourhood contains a range of front yard setbacks, including shallower setbacks characteristic of the historic development pattern of the St. Luke's neighbourhood.
- The requested street side yard relief applies to the BBQ porch and associated steps rather than the principal wall of the dwelling. The principal dwelling maintains a setback of approximately 4.58 m from Burlington Avenue.
- The BBQ porch and steps are small, unenclosed features and do not introduce additional enclosed building mass within the required street side yard.
- Both features maintain substantial separation from the travelled portion of the respective streets and do not materially alter the open character of the front or street side yards.
- The requested variances do not prevent the maintenance of landscaped areas along either street frontage.
- The location and limited scale of the porch, porch and steps are not anticipated to interfere with access or visibility along Caroline Street or Burlington Avenue.

Yes – Variance No.3 (Accessory Building Setback)

The general intent and purpose of the minimum setback requirement for an accessory building from a side lot line abutting a street in Residential Zoning By-law 2026 is to ensure accessory structures remain appropriately separated from the public street, maintain an open and landscaped streetscape along corner lots, preserve appropriate visibility and access, and ensure accessory buildings remain visually and functionally subordinate to the principal dwelling. Staff are of the opinion that the requested variance maintains the general intent and purpose of the Zoning By-law for the following reasons:

- The proposed pool shed is a small accessory structure with an area of approximately 9.99 m², ensuring that it remains subordinate in scale to the principal dwelling.
- The requested variance represents a reduction of approximately 0.9 m, with the accessory building maintaining a setback of approximately 6.6 m the lane. Despite the requested reduction, the proposed accessory building remains substantially separated from the street and does not create the appearance of development immediately adjacent to the Burlington Avenue or Caroline Street frontage.

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- The pool shed is located toward the rear portion of the property and behind the principal dwelling, reducing its prominence when viewed from the surrounding area.
 - The location of the accessory building is not anticipated to interfere with access or visibility along the lane, Burlington Avenue or Caroline Street.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

The proposed minor variances are desirable for the appropriate development and use of the land for the following reasons.

- The variances facilitate the proposed site design and the incorporation of relatively small architectural, recreational and accessory features associated with an otherwise appropriately scaled one-storey detached dwelling.
- The subject property is a corner lot with frontages on a laneway, Caroline Street and Burlington Avenue, resulting in three street-related yard conditions. The requested relief provides flexibility for relatively small architectural, recreational and accessory features while the principal dwelling continues to maintain greater setbacks from both streets and the lane.
- Variance No. 1 facilitates a covered front porch and entrance feature that contributes positively to the dwelling's relationship with Caroline Street. Front porches are a recurring feature within the surrounding historic neighbourhood and are specifically recognized within the Keeping Place: Heritage-Based Urban Design Guidelines for Downtown Burlington as characteristic elements of local residential architectural styles.
- Variance No. 2 facilitates a small BBQ porch and associated steps that improve the functional use of the property without introducing additional enclosed building mass toward Burlington Avenue.
- Variance No. 3 facilitates a small pool shed associated with the proposed rear-yard pool. At approximately 9.99 m² in area and 2.5 m in height, the structure remains clearly subordinate to the principal dwelling and is located toward the rear of the property.
- The requested relief is limited to these relatively small and subordinate features and does not result in significant portions of the principal dwelling extending into the required yards.
- The proposed development maintains the overall low-rise residential scale, landscaped character and traditional relationship between dwellings and the street that characterizes the surrounding St. Luke's neighbourhood.
- The variances are not anticipated to result in unacceptable impacts related to streetscape character, access, visibility, privacy or the use and enjoyment of neighbouring properties.

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- Forestry has reviewed the proposal and have no objection to the requested variances.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed minor variance(s) are minor in nature for the following reasons:

- While the requested reductions vary numerically, the practical effects of the variances are limited because the relief applies to small, subordinate features rather than the principal mass of the dwelling.
- Variance No. 1 reduces the required front yard setback from 5.35 m to 4.4 m, a reduction of approximately 0.95 m. The relief applies to the proposed covered porch, steps and associated roof projection, while the principal dwelling maintains a setback of approximately 6.67 m from Caroline Street.
- Variance No. 2 reduces the required street side yard setback from 3.85 m to 2.5 m, a reduction of approximately 1.35 m. While Variance No. 2 represents a notable numerical reduction, the “minor” test is based on the practical effect of the relief. The reduction applies only to unenclosed porch/step features and does not bring the principal dwelling wall closer to Burlington Avenue.
- Variance No. 3 reduces the required setback for the accessory building from 7.5 m to 6.6 m, a reduction of approximately 0.9 m. The proposed pool shed is limited to approximately 9.99 m² in area and 2.5 m in height, and remains a small and subordinate structure located toward the rear of the property.
- The proposed reductions do not materially alter the overall siting, scale or massing of the principal dwelling or result in development that appears significantly closer to either street than would otherwise be anticipated.
- The variances maintain substantial separation between the proposed structures and the public streets and are not anticipated to result in tangible adverse impacts related to streetscape character, visibility, access, privacy or the use and enjoyment of neighbouring properties.
- Accordingly, the practical effects of the requested relief are limited and the variances are considered minor in nature.

Cumulative Effects of Multiple Variances and Other Planning Matters:

The variances relate to different parts of the site and have no cumulative effects.

Recommendation:

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Staff has reviewed the proposed variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

Date: July 15 2026

Prepared By: Ryan Kochuta

Report Schedules & Attachments:

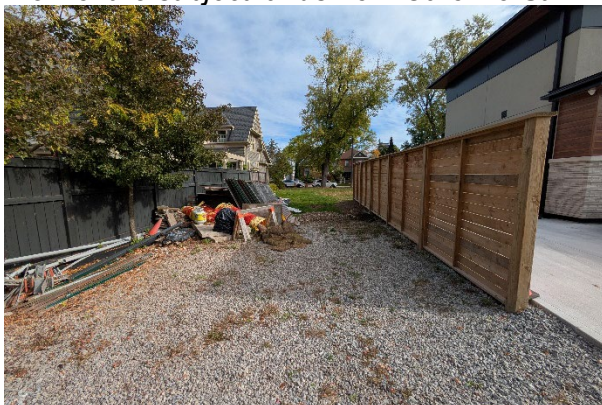
Attachment No. 1 (Site Photos)



View of the subject lands from Caroline St.



View of the subject lands from Burlington Ave



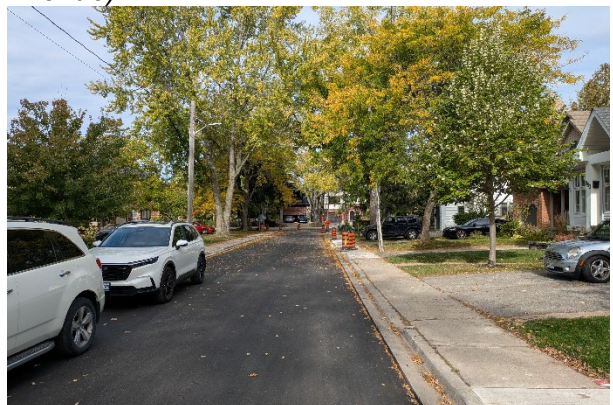
View of the driveway from the laneway



View of the house to the north (554 Burlington Avenue)



View to the south



Burlington Ave looking north

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**



Burlington Ave looking south

Technical Reviewer Comments:

Development Engineering

Development Engineering has reviewed the proposed minor variances and has no objections. Changes to the plans may be required during the Grading and Drainage Clearance Certificate review process.

Date: August 10, 2026

Prepared By: D. Savelli

Forestry

Forestry has reviewed the application and has no objection to the proposed minor variance(s) and provides the following advisory comment(s) to the applicant:

Advisory Comments:

1. The City's Public Tree By-law 68-2013 is applicable to the proposed development. A public tree permit will be required for all works associated with public trees including their proposed removal. There is a Public oak tree that conflicts with the position of the proposed drive way. A Public tree permit is required to remove the tree.
2. When planning for all proposed servicing and walkways, reasonable efforts shall be made to retain as many trees as possible in alignment with the City of Burlington's Tree Protection and Canopy Enhancement Policy.

Date: August 18, 2026

Prepared By: J. Lee

Building

1. A Building Permit is required for all building construction;

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.

Date: August 24, 2026

Prepared By: T. Esau

Transportation Planning

Deemed Road Width Analysis

Burlington Avenue is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right-of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

The deemed right-of-way width through this section of Caroline Street is 20 metres. No widening is required along the frontage of Caroline Street adjacent to the subject site. For informational purposes only, to meet the ultimate deemed width of 10 metres from the center line, a widening of approximately 1.0 metre is required along the south side of Caroline Street along property lines that are opposite the subject site.

Date: July 10, 2026

Prepared By: D. Napoli

Transportation Planning have reviewed the application and have no comments because the application has no impact on parking, the driveway, or the adjacent street.

Date: August 6th 2026

Prepared By: Taylor Kirchknopf

Finance

Notice regarding Development Charges:

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: August 5, 2026

Prepared By: L. Bray

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Agency Comments:

Halton Region

Regional Contaminated Sites Database:

In order to maintain the Region's Contaminated Sites Database, Regional staff request final copies of all environmental reports (if applicable) including: Geotechnical Studies, Hydrogeological Studies, Phase One and/or Two Environmental Site Assessments, Remediation Reports, Risk Assessments, Record of Site Condition (RSC), and/or Certificate of Property Use (CPU).

Regional Staff have reviewed the Minor Variance application proposing the construction of a one storey dwelling with attached garage. Variance are requested to the minimum required front yard, side yard, and setback for the accessory building.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.
- Staff note that the applicant will require a Regional service permit to connect the proposed dwelling to municipal services. The applicant is advised to contact the Regional Service Permit Section for review and approval of the proposed water and sanitary servicing, to obtain water and sanitary sewer permits, and pay all necessary fees prior to applying for a building permit.
- Staff have reviewed the application from the Region's Source Water Protection requirements. In accordance with the MOU and to ensure protection of groundwater sources, Halton Region provides the following comments:
 - The property is located within the jurisdiction of the Halton-Hamilton Source Protection Plan (SPP). The Halton-Hamilton SPP can be accessed online at: <http://www.protectingwater.ca/>
 - The property is located in Highly Vulnerable Aquifer (VS=6).
 - Based on the information provided by the applicant, this application is not subject to Section 59 under the Clean Water Act, 2006. Therefore, this application can proceed from a Source Water Protection perspective and Section 59 notice will not be required.
 - Attached to these comments is a factsheet for the applicant, regarding the Source Water Protection program and the important role landowners play in protecting drinking water sources.
- Regional Staff have no objections to the Minor Variance application.

Date: August 21, 2026

Prepared By: Navjot Kaur

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Burlington Hydro

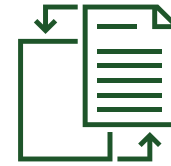
Comments had not yet been received from Burlington Hydro by the time the staff report was finalized. The Applicant/Owner is responsible for coordinating any requirements directly with Burlington Hydro.

Source Water Protection Factsheet

halton.ca

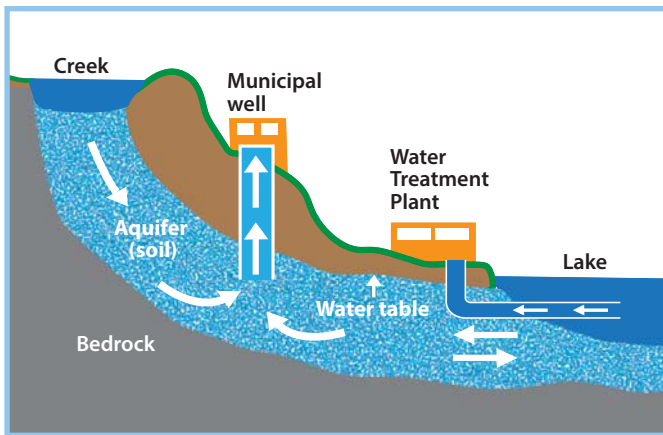


Planning and Building Applications



Sources of drinking water

Sources of drinking water include groundwater from underground aquifers and surface water from streams, rivers and lakes. These water sources are used to supply municipal drinking water systems and private wells in Halton Region, as illustrated below.



Protecting Halton's drinking water

To ensure the consistent delivery of safe and high quality drinking water to our residents and businesses, Halton Region uses a proactive multi-barrier approach to safeguard our municipal drinking water. Under the *Clean Water Act, 2006*, the very first barrier in this approach is **Source Protection**.



Source water protection and Planning/Building Applications

Under the *Clean Water Act, 2006*, additional protection of these drinking water sources from potential contamination or overuse is provided through the mandatory implementation of approved Source Protection Plans. These Plans contain policies to protect municipal sources of drinking water in certain **vulnerable areas**.

Planning/building applications on properties located within **vulnerable areas** may be subject to Source Protection Plan policies if they propose activities identified as significant drinking water threats that may potentially contaminate or overuse municipal drinking water sources such as:

- Applying, handling and storing road salt and snow storage.
- Handling and storing fuels, solvents, hazardous waste and other related chemicals.
- Activities that reduce return of water into the ground.
- Applying, handling, and storing pesticides, fertilizers, agricultural and non-agricultural materials.
- Activities that take water without returning it to the same water source.
- Installing or modifying septic and other sewage systems.
- Use of land for livestock yards and/or pasturing.

Is my property in a vulnerable area?

Applicants can contact their local municipal Planning and Building Departments or Halton Region's Source Protection Office to obtain this information prior to submitting an application. To find out if your property falls within a vulnerable area, such as a wellhead protection area or surface water treatment plant intake zone, visit **halton.ca** or call 311.

Did you know? Compliance with Source Protection Plans is applicable law in the Planning Act and the Ontario Building Code when the property is located in a vulnerable area.

How is my application reviewed?

Municipalities have developed tools to determine whether your application may be subject to Source Protection Plan policies, such as the **Source Protection Checklist** (available at local municipal building/ planning service desks). If the subject property is located in a vulnerable area, applicants will be requested to complete and submit this single page checklist along with other supporting documentation (drawings, details, etc.).

Staff will review the submission and communicate any Source Water Protection requirements to the applicant. In some cases, additional information regarding the proposed activity may be requested to complete the review process.

Step 1

Local municipal staff circulate applications (including Source Protection Checklist) within vulnerable areas to Halton Region's Source Protection Office



Step 2

Halton Region staff will communicate results of Source Protection assessment to applicant and local municipal staff



What do I need to do to comply with Source Water Protection?

Some activities will be managed through traditional methods such as Environmental Compliance Approvals, Permits-To-Take-Water, Nutrient Management Plans and Nutrient Management Strategies. However, depending on the level of risk associated with the proposed activities, some may be prohibited as proposed or require other supporting documents such as:

- Risk Management Plans (see Risk Management Plan fact sheet)
- Site-Specific Salt Management Plans
- Water Balance Assessments
- Hydrogeological Assessments

Where proposed activities are prohibited or regulated through Source Water Protection, municipal staff will provide applicants with detailed feedback regarding what is required.

Did you know? For planning/ building applications located in vulnerable areas, a notice to proceed is required from Halton Region's Risk Management Official before applications are processed.



For more information, visit halton.ca, email sourcewater@halton.ca or call 311.

RETHINK
WATER



Enjoy Conserve Protect



NOTICE OF PUBLIC HEARING

Martha White and Michael White of 3175 Britannia Rd, Burlington, have applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **548/550 Burlington Ave. Burlington** (see map).

The applicant is proposing the construction of a one storey dwelling with attached garage. This proposal results in the following variances:

1. To permit a front yard (abutting Caroline Street) of 4.4 m instead of the minimum required 5.35m (6 – 0.65m encroachment) for a proposed roofed-over 1-storey porch including steps and roof overhang excluding eaves and gutter.
2. To permit a street side yard (abutting Burlington Ave) of 2.5 m instead of the minimum required 3.85m (4.5 – 0.65m encroachment) for a proposed 1-storey porch including steps.
3. To permit a setback from a side lot line abutting a street of 6.6 m instead of the minimum required 7.5 m for a proposed accessory building.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **September 8, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY SEPTEMBER 23, 2026,
This application is scheduled to be heard at or after 1:00 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **12:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

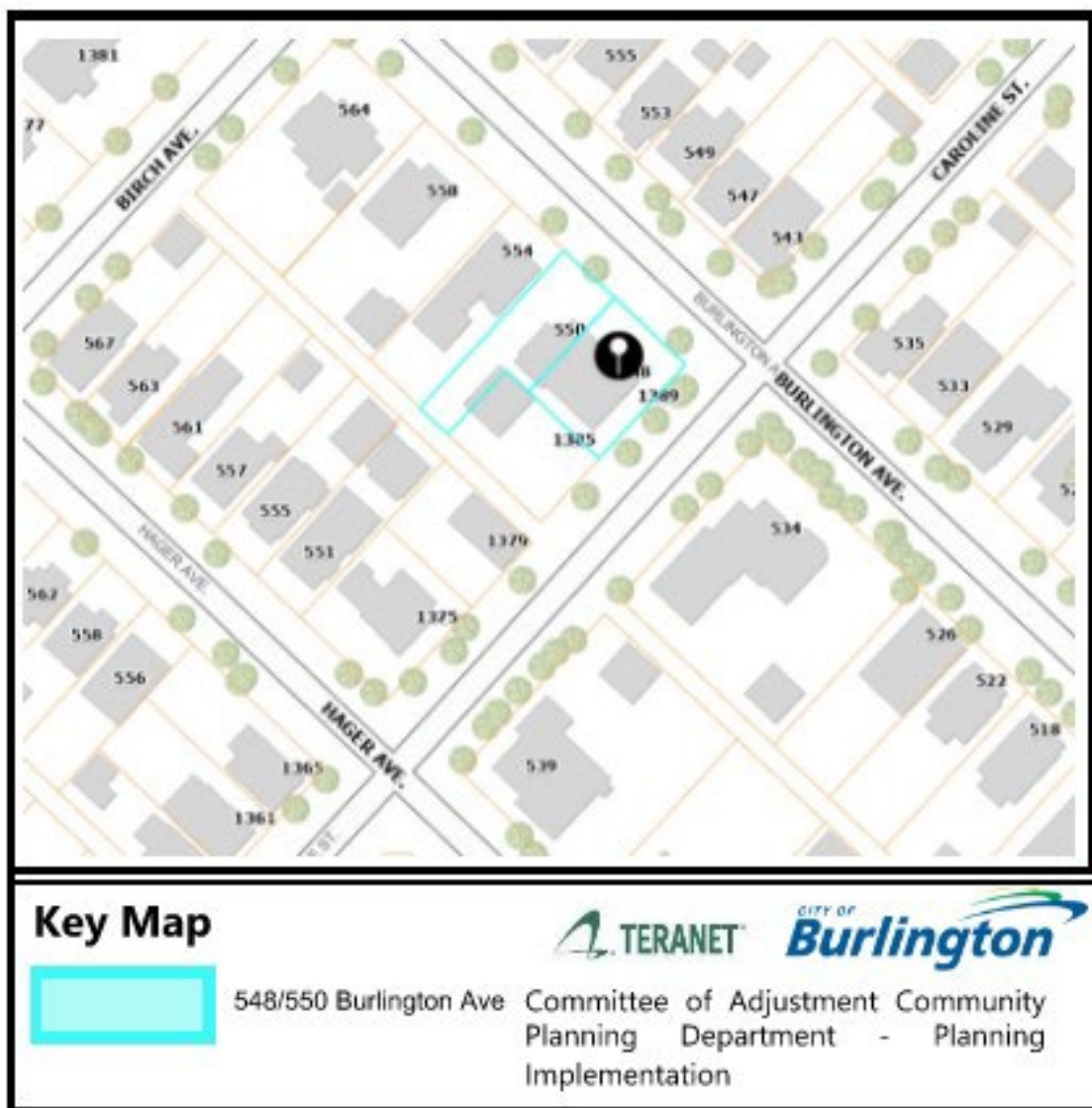
Yours truly,



Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

☒ Section 45 (1) of the Planning Act☐ Section 45 (2) of the Planning ActDiscussed the application with a City Zoning Examiner and Development Planner Y ☐ or N ☒

Name of Planner: _____ Name of Zoning Examiner: _____

PROPERTY INFORMATION

Municipal Address(es) of property:

Addresses formerly known as 548/550 Burlington Avenue

Legal Description of property:

Parts of lots 68, 69 & 70, Registered Plan 117

Official Plan Designation: Mixed Use Activity Areas Current Zoning Designation DRL = R3.2**OWNER(S) INFORMATION:**

Legal Name (as it appears on the title for the property):

Mike & Martha White

Mailing Address: 3175 Britannia Road City: BurlingtonPostal Code: L7M 0R7 Home Phone: _____ Mobile Phone: [REDACTED]Work Phone: _____ E-Mail: [REDACTED]**AGENT INFORMATION** (if applicable): (This person will be the primary point of contact if provided)

Name:

Jenny Bognar

Business Address: 193 East 43rd Street City: HamiltonPostal Code: L8T3C3 Home Phone: [REDACTED] Mobile Phone: _____Work Phone: _____ E-Mail: [REDACTED]

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

New 1 story dwelling w/ 2 car attached garage, new inground pool and pool shed

Variance(s) Requested	Zoning Bylaw Requirement
1. Reduced front yard setback to porch of 4.43m	Min. 5.35m.

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

1. Why is the variance(s) minor in nature? _____

See attached

2. Why are the variance(s) desirable for the appropriate use of the land? _____

See attached

3. Do the variance(s) meet the intent and purpose of the Official Plan? _____

See attached.

4. Do the variance(s) meet the intent and purpose of the Zoning By-law? _____

See attached.

PROPERTY DETAILS (please complete all fields):

Date property
purchased:

12-05-2025

mmm/dd/yyyy

Date property
first built on:

empty lot

mmm/dd/yyyy

Date of
proposed
construction:

asap

mmm/dd/yyyy

Existing Use of the Subject Property (check one):

Detached Dwelling ☒ Semi-Detached Dwelling ☐
Townhouse Dwelling ☐ Street Townhouse
Dwelling ☐ Stacked Townhouse Dwelling ☐
Apartment ☐ Mixed Use ☐ Hi Rise ☐
Commercial ☐ Industrial ☐ Vacant ☐
Other ☐ _____

Length of time the existing uses of the subject
property have continued:

Always

Proposed Use of the Land:

Single family dwelling

Existing Uses of Abutting Properties (check all that apply)

Residential ☒ Commercial ☐ Industrial ☐ Multi-Residential ☐ Vacant ☐ Hydro right of-way ☐
Railway right-of-way ☐ Provincial Highway ☐ Park ☐ Other ☐ _____
Conservation Halton Lands: Lake Ontario ☐ Creek ☐ Storm Water Management Pond/Channel ☐
Ravine ☐

Additional Information

Is liquor sold on site? Y ☐ or N ☒

Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y ☐ N ☒
Unknown ☐

Type of Access to the Subject Lands

Provincial Highway ☐ Municipal Road ☒ Private Road ☐ Water ☐ Other(specify) ☐

Municipal Services Provided

Water ☒ If not available, by what means is it
provided: _____
Sanitary Sewers ☒ If not available, by what means is it
provided: _____
Storm Sewers ☒ If not available, by what means is it
provided: _____

IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT

APPLICATIONS: ☐ Official Plan Amendment ☐ Zoning By-law Amendment ☐ Building Permit
☐ Site Development Plan ☐ Plan of Subdivision ☐ Previous Minor Variance ☐ Consent

FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y ☒ N ☐
Frontage	Depth	Area	Actual	Deemed	Required		
22.31	29.24	752.50	20.0	20.0	0.0	34.0%	

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

(attach additional page if required)

EXISTING (Dwelling/Building)		PROPOSED (Dwelling/Building/Addition)		
Ground Floor Area (incl. attached garage)	M ²	Ground Floor Area (incl. attached garage)	M ² 255.93	
Gross Floor Area:	M ²	Gross Floor Area:	n/a M ²	
Number of Storeys:		Number of Storeys:	1	
Width:	M	Width:	15.66 M	
Length:	M	Length:	18.00 M	
Height:	M	Height:	M	
Garage/Car Port		Garage/Car Port		
Detached?	Y ☐ N ☐	Detached?	Y ☐ N ☒	
Gross Floor Area:	M ²	Gross Floor Area:	52.25 M ²	
Width:	M	Width:	7.33 M	
Length:	M	Length:	6.69 M	
Height:	M	Height:	3.51 M	
Accessory Structures (Shed, Gazebo, etc)		Accessory Structures Pool Shed		
Gross Floor Area:	M ²	Gross Floor Area:	9.99 M ²	
Width:	M	Width:	2.59 M	
Length:	M	Length:	3.86 M	
Height:	M	Height:	2.5 M	
Other (pool, additional sheds, decks, driveways, etc.)		Other Pool		
Gross Floor Area:	M ²	Gross Floor Area:	9.10 M ²	
Width:	M	Width:	2.13 M	
Length:	M	Length:	4.27 M	
Height:	M	Height:	0.0 M	
LOCATION of all existing and proposed buildings and structures				
EXISTING		PROPOSED Dwelling	Shed	Pool
Front:	M	Front: 6.67	n/a	n/a M
Rear:	M	Rear: 4.53	0.90	2.27 M
Side/Street Side:	M	Side/Street Side: 4.58	6.60	10.34 M
Side/Other Side:	M	Side/Other Side: 1.88	n/a	n/a M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

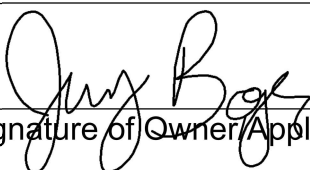
I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name

Mike & Martha White

Property Address

Formerly known as 548/550 Burlington


Signature of Owner/Applicant

2026-07-07

Date (mmm/dd/yyyy)

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, Michael White / MICHAEL WHITE being the registered owner of the subject lands, hereby
(print name)

Authorize Jennny Bognar to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.

Michael White
Michael White
Signature of Owner

May 5, 2026
May 5, 2026
Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) ☐ Signature of Applicant or Authorized Agent

Agent: JENNY BOGNAR

I, JENNY BOGNAR of the CITY of BRAMHURTON in the PROVINCE
(print name) (Region/City/County) (City/Town/Township)

of ONTARIO solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the Region of Halton in the City of Burlington
(Region/City/County) (City/Town/Township)

this 11 day of May 2026



Debra Ann Hordyk, a
Commissioner, etc., Province of
Ontario, for The Corporation of the
City of Burlington.

Expires October 25, 2027.

Signature of Commissioner, etc.

Jenny Bognar
Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 548/550 Burlington Avenue

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

M. J. White
Martha White
Signature of Owner

MICHAEL WHITE
Martha White
Print Name

548/550 Burlington Street

To whom it may concern,

We are kindly requesting consideration for one minor variance to facilitate the construction of a new 1-story dwelling w/ covered front and rear porch.

Variance Required

1. To permit a front yard setback of 4.43m. instead of the required 5.35m (6.0m – 0.65m encroachment) for a proposed roofed-over one-story front porch including steps and roof overhang excluding eaves and gutter, to facilitate the construction of the covered front porch and steps for the new dwelling entrance.

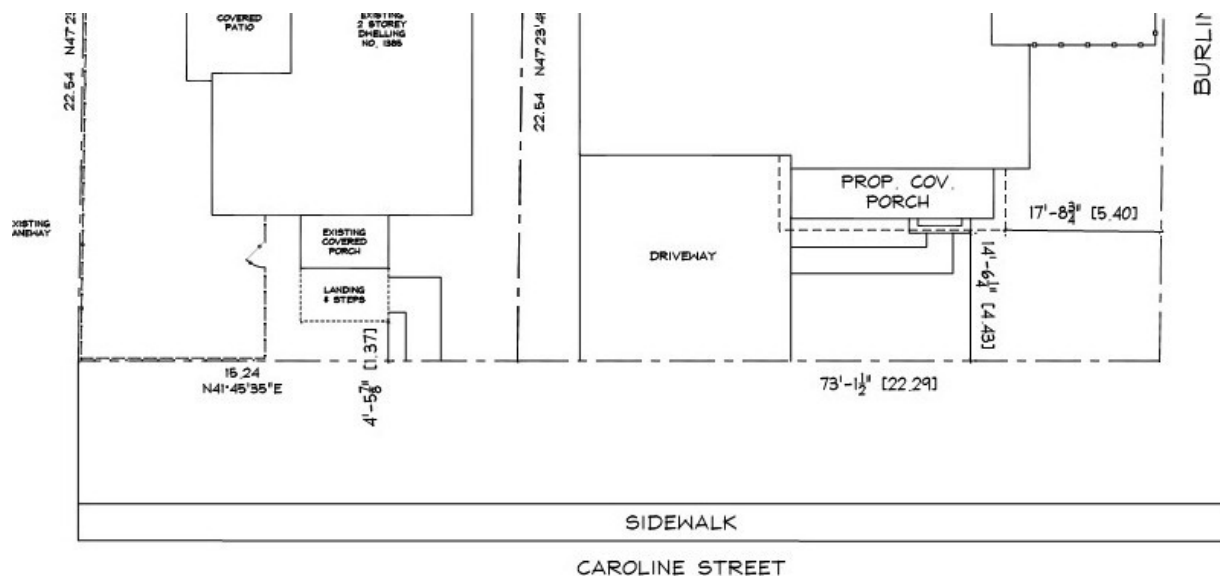
We worked hard to create a dwelling design and rear covered patio that worked within the constraints of the bylaw. We wanted to max out the front yard setback and dwelling depth to be able to get the clients the space they require within this new home.

They desire to have a decent depth covered front porch to add warmth and interest to the front of the dwelling. The covered porch details pull the focus to the front of the dwelling and creates an inviting and intimate entrance that connects the dwelling to the street line. The homeowners also wanted enough depth to provide seating on the porch to enjoy the streetscape and neighborhood.

The lower sloped roof line ensures the porch protrusion feels less bulky than the remainder of the dwelling, ensuring even less impact on the street line and neighbouring properties.

For these reasons, we are requesting a reduced front yard setback to the front porch steps, including the porch and overhang, which will have very little impact on the street lines and the neighbouring properties.

The front porch steps at neighbouring home at 1385 Caroline are at a setback of 1.37m. and the front wall of the dwelling is at a setback of 5.05m. The front wall of that house is roughly in line with the porch base that we are proposing which ensures that there is little to no impact on the sightlines from their home. This comparison in setbacks can be seen in the picture below.



We also planned that the front porch is set in from the side wall of the dwelling, ensuring that there is no encroachment on the Burlington Street side which ensures no impact on the corner sightlines.

We feel this dwelling and covered porch would be a welcome addition to this corner, to finally fill this lot that has sat vacant for so many years.

We feel this request is minor in nature and is in keeping with the objectives of the official plan.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	☒
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	☐
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	☒
SITE PLAN ☒ Metric Scale ☒ North Arrow ☒ Frontage ☒ Depth ☒ Lot Area ☒ Lot Coverage ☒ Deemed Street Line ☒ Existing Front Yard Setbacks ☒ Existing Rear Yard Setbacks ☒ Existing Side Yard Setbacks ☒ Existing Street Side Yard Setbacks ☒ Existing Porch, Stairs and Overhang Setbacks ☒ Proposed Front Yard Setbacks ☒ Proposed Rear Yard Setbacks ☒ Proposed Side Yard Setbacks ☒ Proposed Street Side Yard Setbacks ☒ Proposed Porch, Stairs and Overhang Setbacks ☒ Streets (Public and Private) ☒ Street Names ☒ Parking (Dimensioned spaces, Driveway Width, Arrangement) ☐ Railways (Location of them and setbacks to structures) ☐ All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc)	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.
 Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- ☒ Setbacks
- ☒ Height
- ☒ Area
- ☒ Length
- ☒ Width

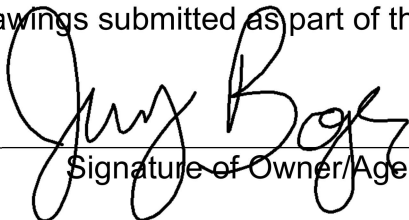
ELEVATIONS

- ☒ Metric
- ☒ Front
- ☒ Rear
- ☒ Side 1
- ☒ Side 2

FLOOR PLANS

- ☒ Metric
- ☒ North Arrow
- ☒ Gross Floor Area Calculation
- ☒ Ground Floor Area Calculation
- ☒ Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.



Signature of Owner/Agent

2026-07-07

Date (mmm/dd/yyyy)

REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCAL APPROVAL FROM AREA MUNICIPALITY.

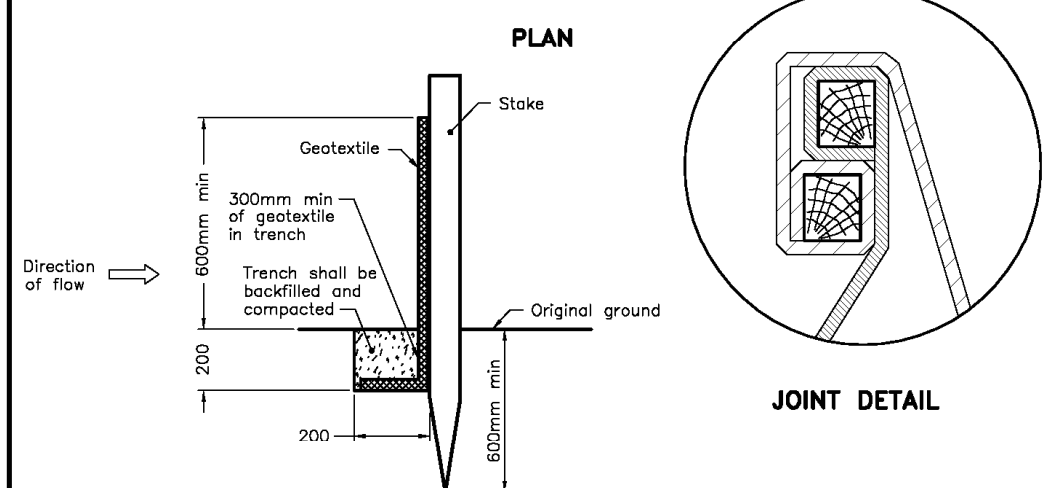
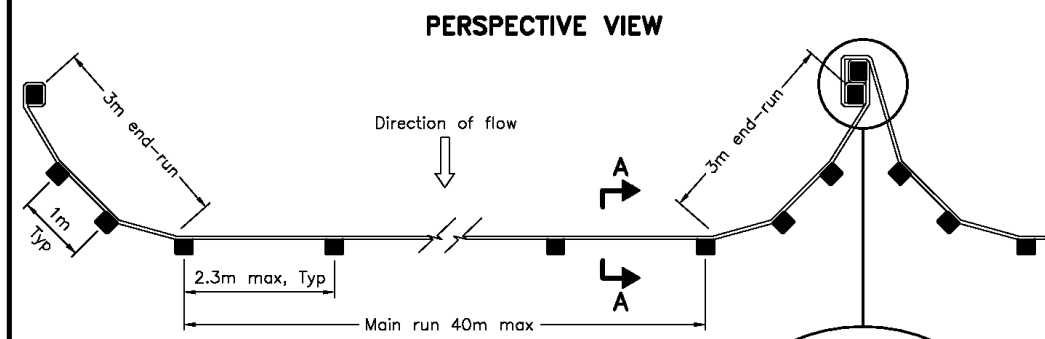
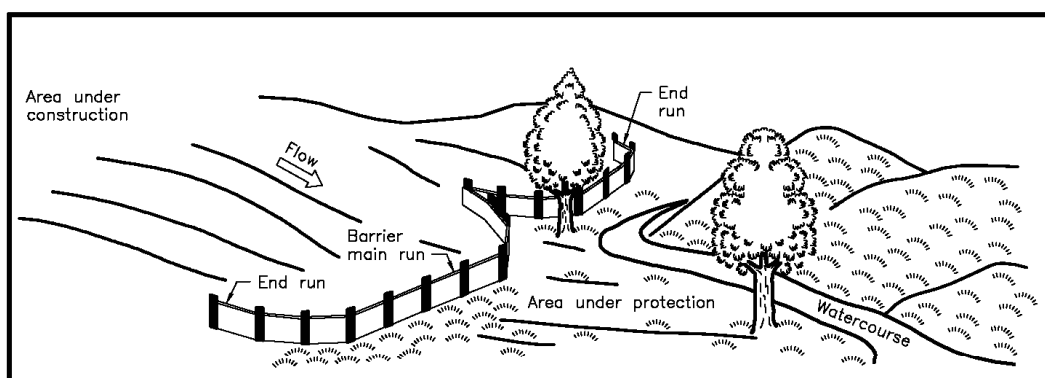
SIGNED: _____ DATED: _____
Development Services

The approval of the water system on private property is the responsibility of the Local Municipality, regardless, the Applicant must ensure that the Region of Halton's standard and specifications are met, (the Water and Wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

CITY OF BURLINGTON ZONING BY-LAW 2020 ZONING REGULATION - DRL (R3.2) DESIGNATED AREA FOR LOT COVERAGE

ZONE	REQUIRED	PROVIDED
LOT WIDTH (Ø 9.1m)	15.0 m (min)	22.28 m
LOT AREA	425.0 sq.m. (min)	752.5 sq.m.
FRONT YARD	6.0 m (min)	6.67 m
FRONT YARD STEPS	5.35 m (min)	4.43 m
FRONT YARD PORCH	5.35 m (min)	4.94 m
REAR YARD	4.5 m (min)	4.53 m
SIDE YARD	4.5 m (min) (NORTHEAST)	4.58 m
	1.2 m (min) (SOUTHWEST)	1.88 m
BUILDING AREA		
	255.9 sq.m. (PROPOSED DWELLING)	
	9.99 sq.m. (PROPOSED SHED)	
	265.9 sq.m. (TOTAL)	
LOT COVERAGE	35.0% (max)	34.0%
BUILDING HEIGHT	7.5 m (max)	7.44 m
FLOOR AREA RATIO	0.45:1 (max)	0.36:1
DWELLING DEPTH	18.00 (max)	18.00 m
HARDSCAPE AREA		448.5 sq.m.
HARDSCAPE COVERAGE		59.6%

PROPOSED DWELLING = 1 STOREYS



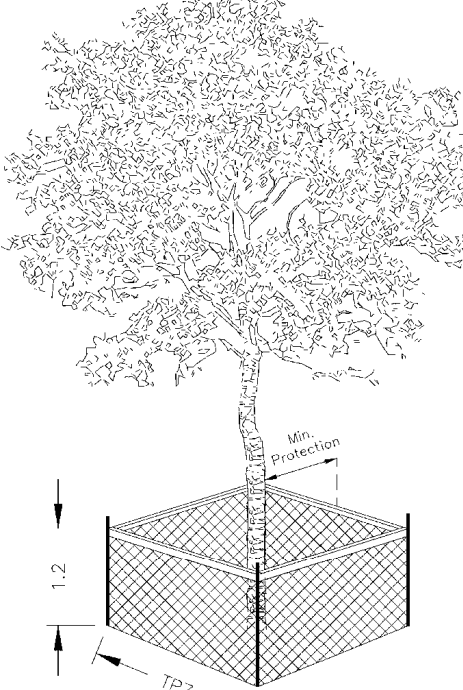
NOTE:
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL DRAWING LIGHT-DUTY SILT FENCE BARRIER

Nov 2015 Rev 2

OPSD 219.110

Tree Protection and Preservation Specification No.: NS12



Detail TP-1 - Tree Protection Detail

Trunk Diameter (DBH) ¹	Minimum Tree Protection Zone (TPZ) Distances Required ²	Critical Root Zone (CRZ) Distances Required ^{2a}
< 10 cm	1.8 m	1.8 m
11 - 40 cm	2.4 m	4.0 m
41 - 50 cm	3.0 m	5.0 m
51 - 60 cm	3.6 m	6.0 m
61 - 70 cm	4.2 m	7.0 m
71 - 80 cm	4.8 m	8.0 m
81 - 90 cm	5.4 m	9.0 m
91 - 100+ cm	6.0 m	10.0 m

NOTES

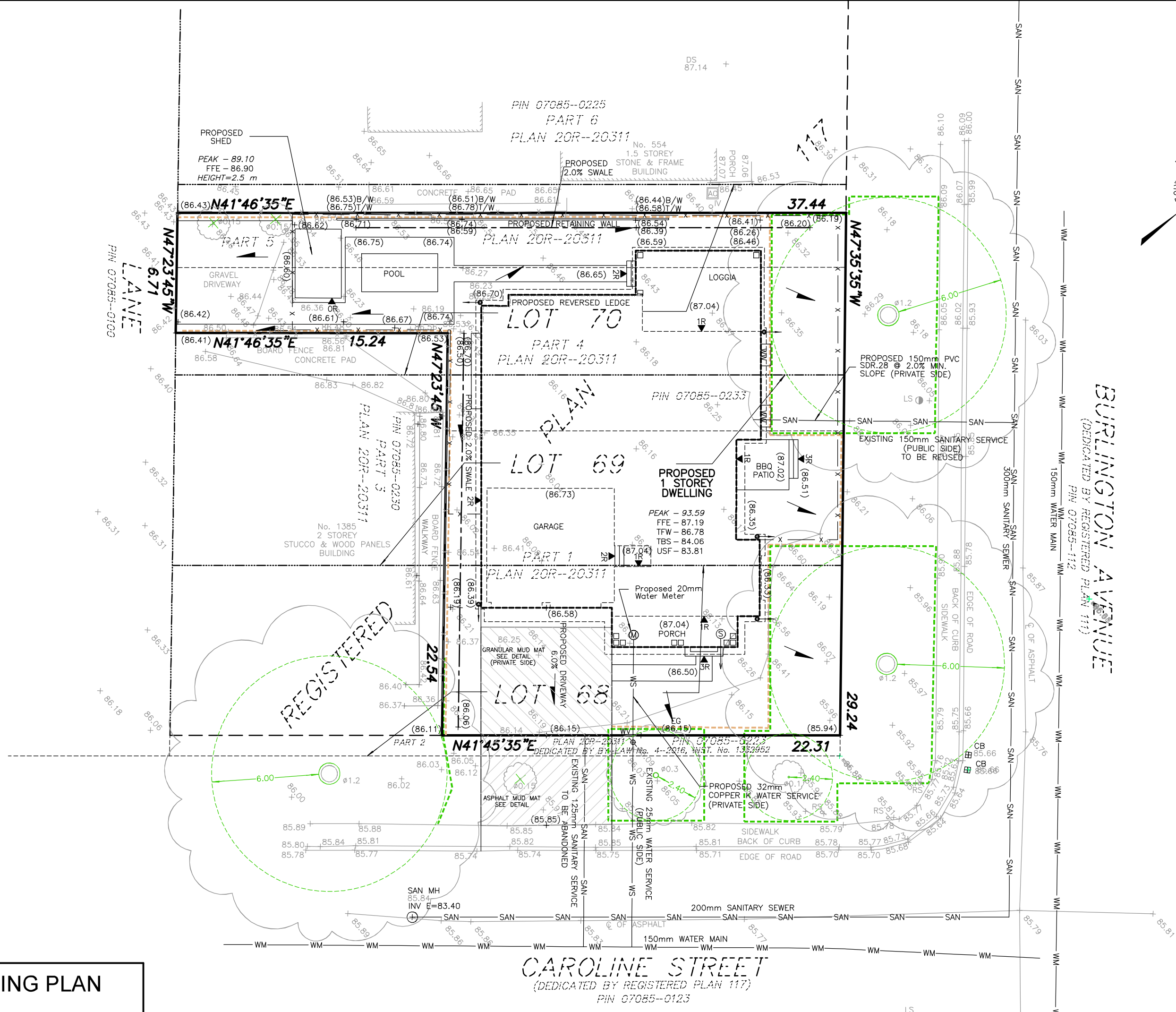
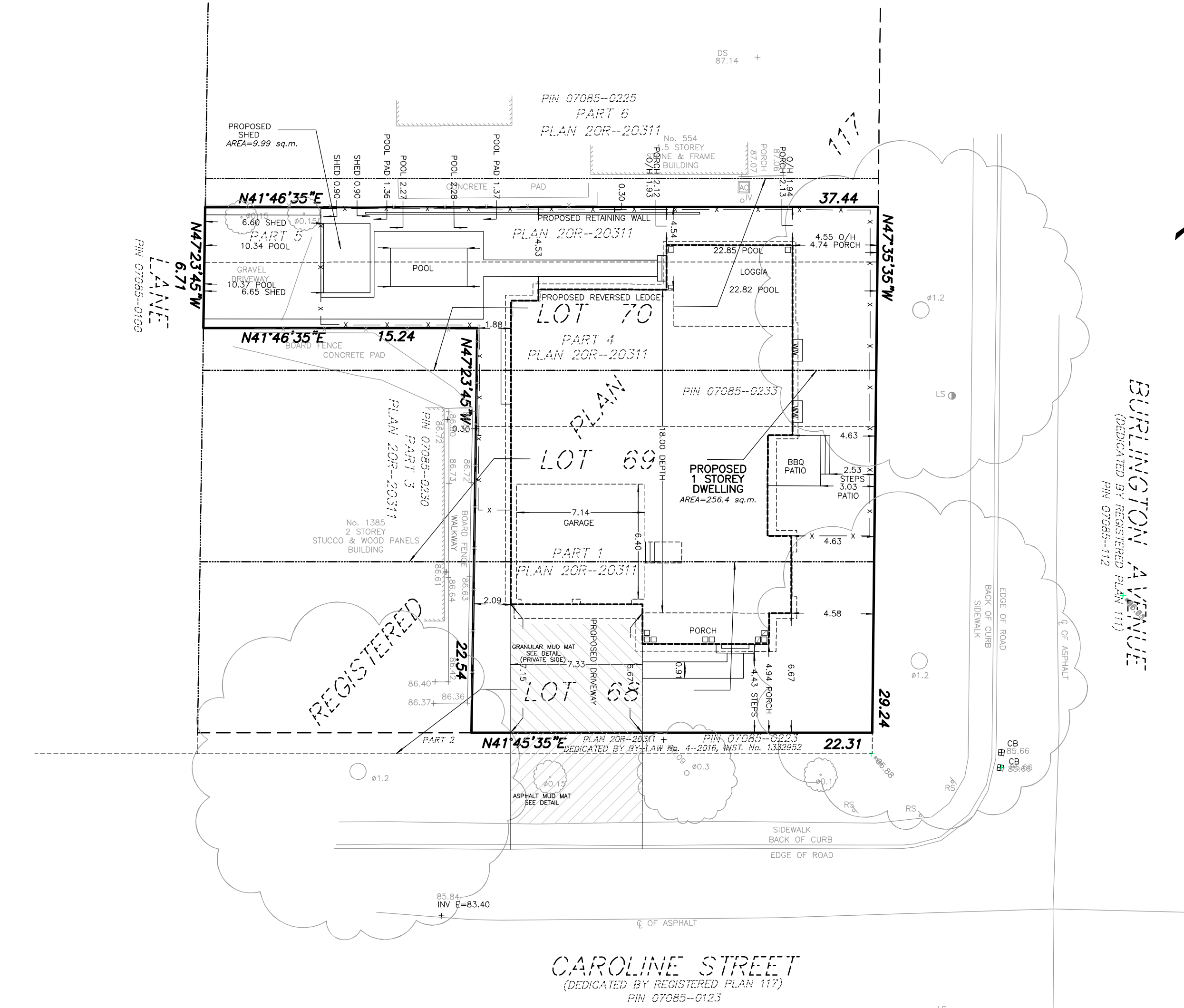
- The roots of a tree can extend from the trunk to approximately 2-3 times the distance of the drip line.
- Diameter at breast height (DBH) is the measurement of tree trunk taken at 1.4 metres above ground.
- Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work and is subject to Section 6 of this specification.
- Where work is being performed beyond the Minimum Tree Protection Zone but within the Critical Root Zone the works are subject to Section 8 of this specification.

TREE PROTECTION BARRIER

- Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m high and consist of orange plastic web snow fencing on a wood frame of 2"x4"s supported on metal 1" x 1" bars, 2 bar C/C max. Where orange plastic web snow fencing creates restriction to sightlines, pipe wire fencing shall be used.
- All supports and bracing used to safely secure the barrier should be located outside the TPZ. All supports and bracing should minimize damage to roots.
- Where some fill or excavated material must be temporarily located near a TPZ, a wooden barrier with silt fencing must be used to ensure no material enters the TPZ.
- No materials or fill may be stored within the TPZ.
- Equipment or vehicles shall not be operated, parked, repaired, or refueled within the TPZ.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the TPZ without written authorization from the City Arborist.

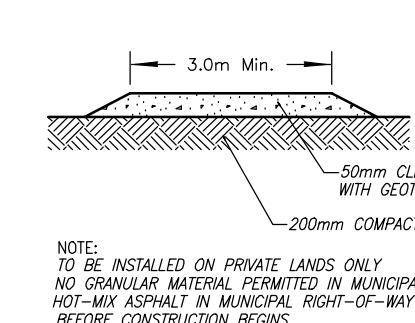
Page 6
February 2013

GRADING AND SERVICING PLAN SCALE 1:200

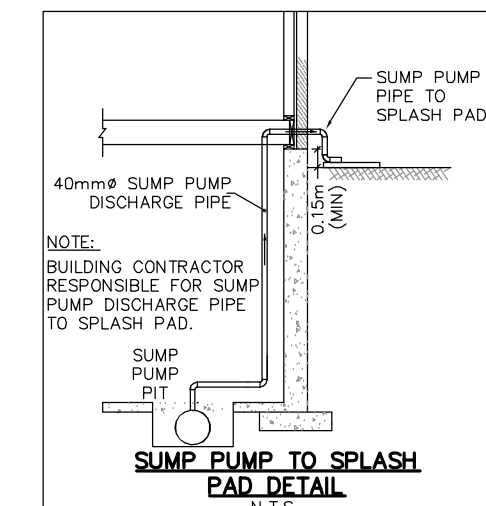


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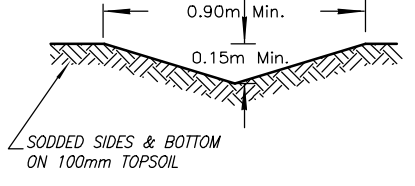
TYPICAL MUD MAT DETAIL



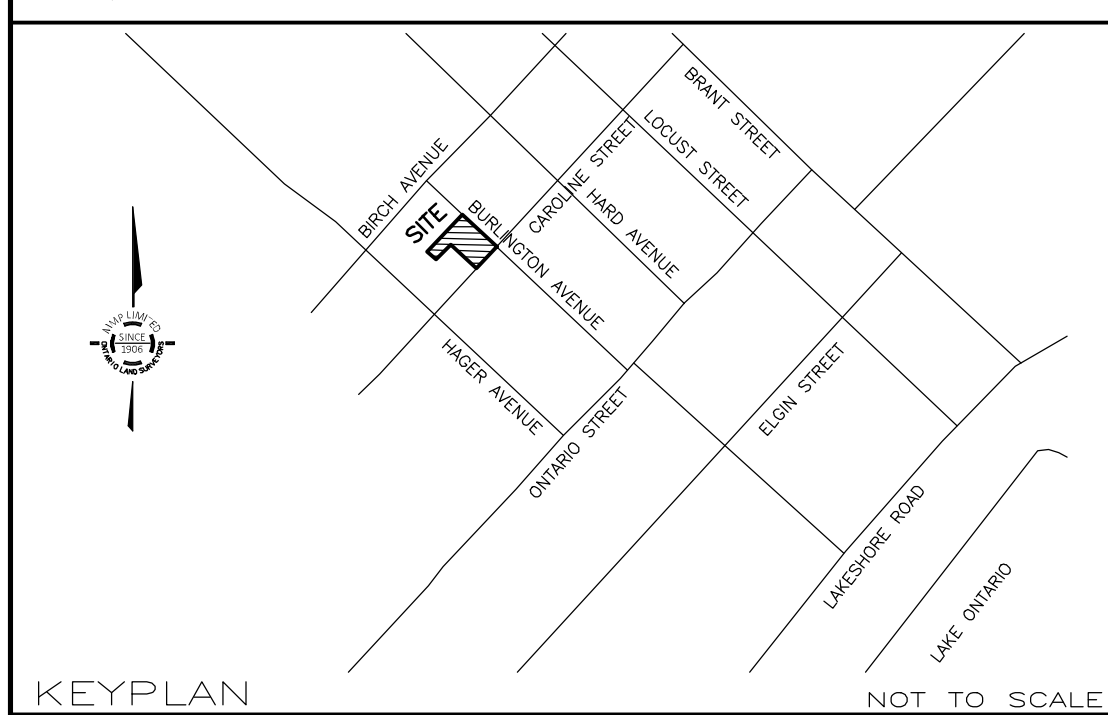
NOTE:
TO BE INSTALLED ON PRIVATE LANDS ONLY
NO GRANULAR MATERIAL PERMITTED IN MUNICIPAL RIGHT-OF-WAY
150mm ASPHALT IN MUNICIPAL RIGHT-OF-WAY TO BE INSTALLED BEFORE CONSTRUCTION BEGINS



TYPICAL SWALE CROSS-SECTION



548 & 550 BURLINGTON AVENUE SITE, GRADING & SERVICING PLAN FOR BUILDING PERMIT



GEOGRAPHIC LOCATION NOTE
PART OF LOTS 68, 69 & 70
REGISTERED PLAN 117
IN THE
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON
SCALE 1 : 200

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METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048 COLOUR THE ORIGINAL SIGNED PRINT OF THIS SITE PLAN CONTAINS COLOUR

BENCHMARK NOTE
CITY OF BURLINGTON BENCHMARK No. 368
ELEVATION = 89.578 METRES (CGVD 1928:1978 ADJUSTMENT)

- LEGEND
- FFE DENOTES FINISHED FLOOR ELEVATION
 - TFW DENOTES TOP OF FOUNDATION WALL
 - TBS DENOTES TOP OF BASEMENT SLAB
 - USF DENOTES UNDERSIDE OF FOOTING
 - S DENOTES SUMP PUMP
 - R DENOTES RISER
 - WW DENOTES WINDOW WELL
 - DS DENOTES DOWNSPOUT
 - XXX.XX DENOTES EXISTING ELEVATIONS
 - (XXX.XX) DENOTES PROPOSED ELEVATIONS
 - EG DENOTES ESTABLISHED GRADE
 - PIN DENOTES PROPERTY IDENTIFICATION NUMBER
 - DENOTES DECIDUOUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES
 - DENOTES CONIFEROUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES
 - SM DENOTES SANITARY MANHOLE
 - WV DENOTES WATER VALVE
 - AC DENOTES AIR CONDITIONER
 - RS DENOTES ROAD SIGN
 - LS DENOTES LIGHT STANDARD
 - IV DENOTES IRRIGATION VALVE
 - DS DENOTES DOOR SILL
 - O/H DENOTES OVERHANG
 - DENOTES SILT FENCE
 - DENOTES TREE PROTECTION ZONE
 - DENOTES TREE PROTECTION BARRIER

- NOTES
- PROPOSED TIES SHOWN HEREON ARE TO FOUNDATION ONLY
 - BUILDING DIMENSIONS WERE TAKEN FROM PLANS SUPPLIED BY THE CLIENT
 - ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE BENCHMARK NOTED ABOVE
 - LOT GRADING SHALL MATCH WITH THE EXISTING DRAINAGE PATTERNS
 - SANITARY SEWER SERVICE CONNECTION MUST BE INSTALLED BEFORE BASEMENT EXCAVATION TO ENSURE SERVICING AT BASEMENT LEVEL
 - BUILDER TO VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION INCLUDING ROAD AND LOT LINE GRADES
 - SUMP PUMP AND DOWNSPOUTS TO DRAIN TO PERMEABLE SURFACE VIA SPLASH PADS
 - ALL UNDERGROUND SERVICES MUST BE LOCATED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION
 - CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK
 - BOUNDARY DIMENSIONS SHOWN HEREON ARE DERIVED FROM THE LAND REGISTRY OFFICE RECORDS AND SURVEY RECORDS OF MMP LIMITED AND WERE VERIFIED IN FIELD ON FEBRUARY 16, 2024
 - PROPOSED BUILDING IS POSITIONED BY CALCULATION, NOT BY AN ACTUAL SURVEY
 - THIS PROPOSED PLAN IS PRELIMINARY UNTIL THE APPROPRIATE BUILDING DEPARTMENT'S SIGNED APPROVAL HAS BEEN OBTAINED
 - ANY AMENDMENT OR ALTERATION OF THIS PLAN MUST BE REPORTED TO MMP LIMITED PRIOR TO LAYOUT OF BUILDING IN THE FIELD
 - UTILITIES AND SERVICES SHOWN ON THIS SKETCH ARE APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION
 - ALL UTILITIES TO BE COORDINATED ON SITE DURING CONSTRUCTION. THE INSTALLATION OF UTILITIES SHALL NOT DISRUPT TREE PROTECTION ZONES. THE BUILDER SHALL COORDINATE INSTALLATION WITH INDIVIDUAL UTILITY PROVIDERS ACCORDINGLY
 - ANY PROPOSED RETAINING WALLS SHALL BE LOCATED A MINIMUM OF 0.3 METRES FROM THE PROPERTY LINE. ANY PROPOSED RETAINING WALLS GREATER THAN 1 METRE IN HEIGHT SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. ANY PROPOSED RETAINING WALL GREATER THAN 0.6 METRES IN HEIGHT MAY REQUIRE A BARRIER

- CAUTION
- THIS IS NOT ORIGINAL COPY UNLESS EMBOSSED
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 - THIS PRODUCT IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES
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CERTIFICATION NOTE
BOUNDARY DIMENSIONS SHOWN HEREON ARE DERIVED FROM LAND REGISTRY OFFICE RECORDS AND SURVEY RECORDS OF MMP LIMITED
WE HAVE REVIEWED THE PLANS FOR CONSTRUCTION OF A 1 STOREY DWELLING LOCATED AT 548 & 550 BURLINGTON AVENUE AND CERTIFY THAT THE GRADING SHOWN HEREON IS COMPATIBLE WITH THE ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES
PROPOSED BUILDING SETBACKS AS SHOWN
PROPOSED BUILDING HEIGHT AS SHOWN
PROPOSED LOT COVERAGE AS SHOWN
PROPOSED BUILDING SITE STATISTICS AS SHOWN

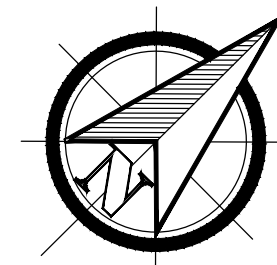
JULY 23, 2026
DATE
FOR: MACKAY, MACKAY & PETERS LIMITED

No	DATE	REVISIONS
4	JULY 23, 2026	SITE PLAN UPDATED
3	JUNE 30, 2026	SITE PLAN UPDATED
2	JUNE 26, 2026	FIELD WORK SHARED
1	JUNE 1, 2026	SITE PLAN COMPLETED

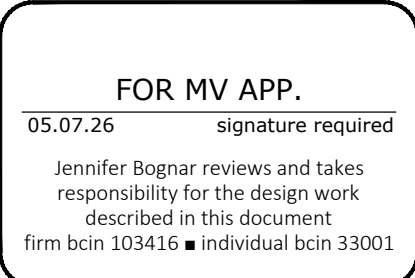
MMP
Mackay, MacKay & Peters Limited
ONTARIO LAND SURVEYORS
SINCE 1906

CONTACT US:
halton@mmplimited.ca
mmplimited.ca
Phone: (905) 639-1375

DRAWN BY: A.S.	CHECKED BY: A.B.	PROJECT No. 26-087-SP	DWG. No. 1
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**THE WHITE
RESIDENCE**
548/550 BURLINGTON
BURLINGTON, ON



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PROPOSED
BASEMENT PLAN
1:50

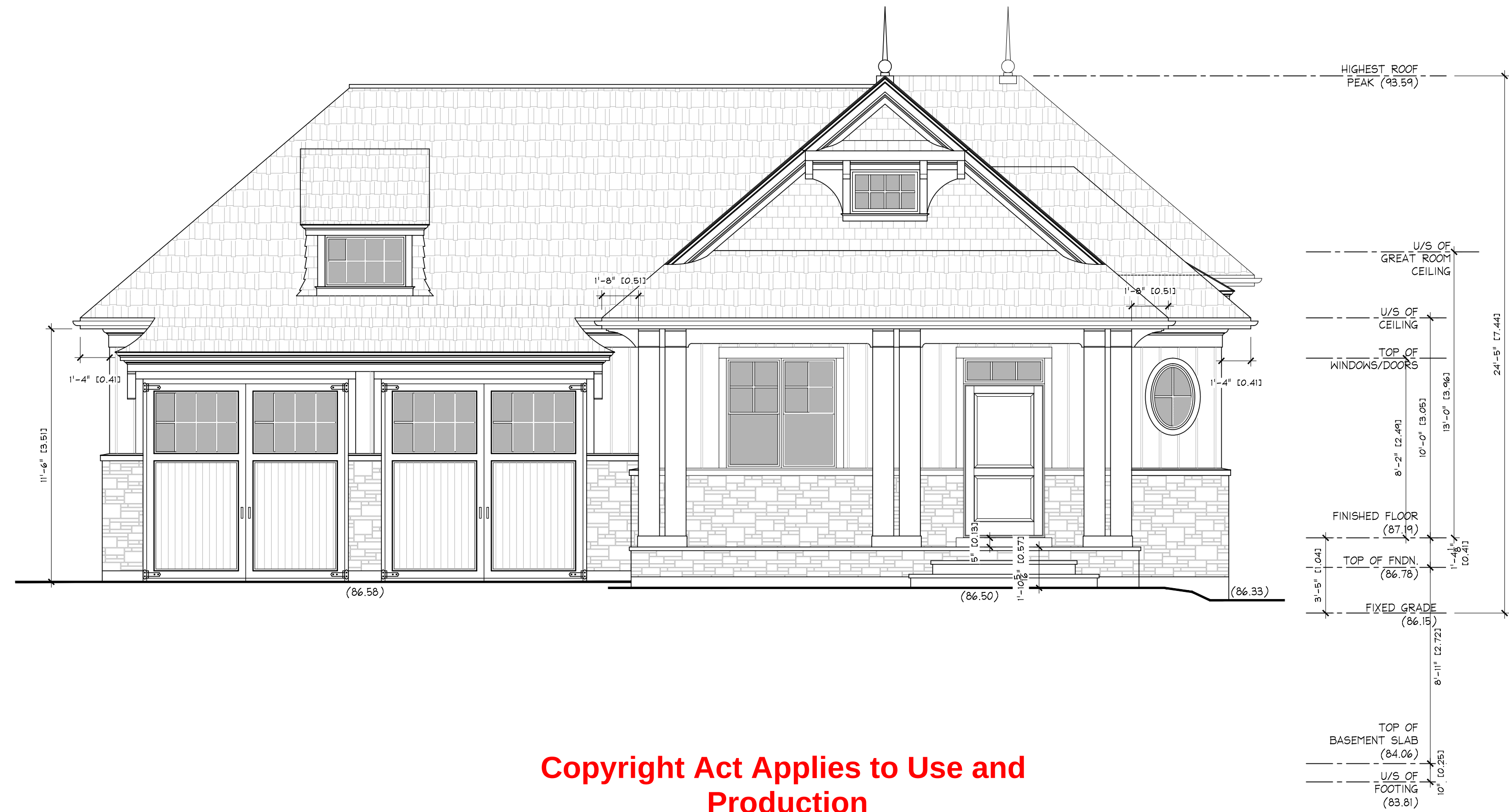
SHEET

A1

OF 5



A2



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BURLINGTON, ON

**drafting
+ design**
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jbdraftinganddesign@live.ca
905.517.6027

FOR MV APP.
05.07.26 signature required
Jennifer Bogner reviews and takes
responsibility for the design work
described in this document
firm bcjn 103416 individual bcjn 33001

DATE	ISSUE DESCRIPTION
03.17.25	ISSUED FOR REVIEW
03.18.25	ISSUED FOR REVIEW
03.20.25	ISSUED FOR REVIEW
03.21.25	ISSUED FOR REVIEW
03.22.25	ISSUED FOR REVIEW
03.23.25	ISSUED FOR REVIEW
03.24.25	ISSUED FOR REVIEW
03.25.25	ISSUED FOR REVIEW
03.26.25	ISSUED FOR REVIEW
03.27.25	ISSUED FOR REVIEW

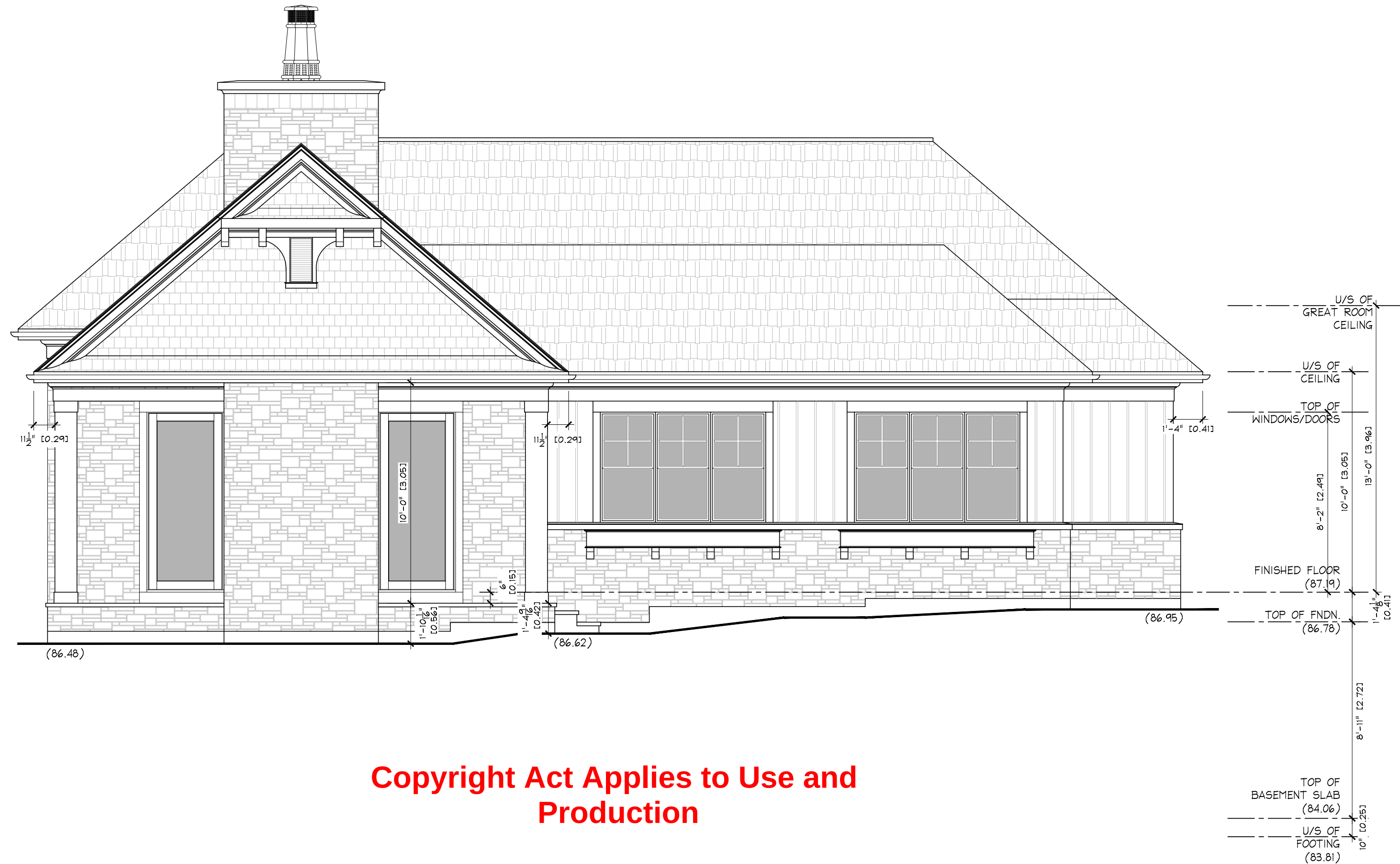
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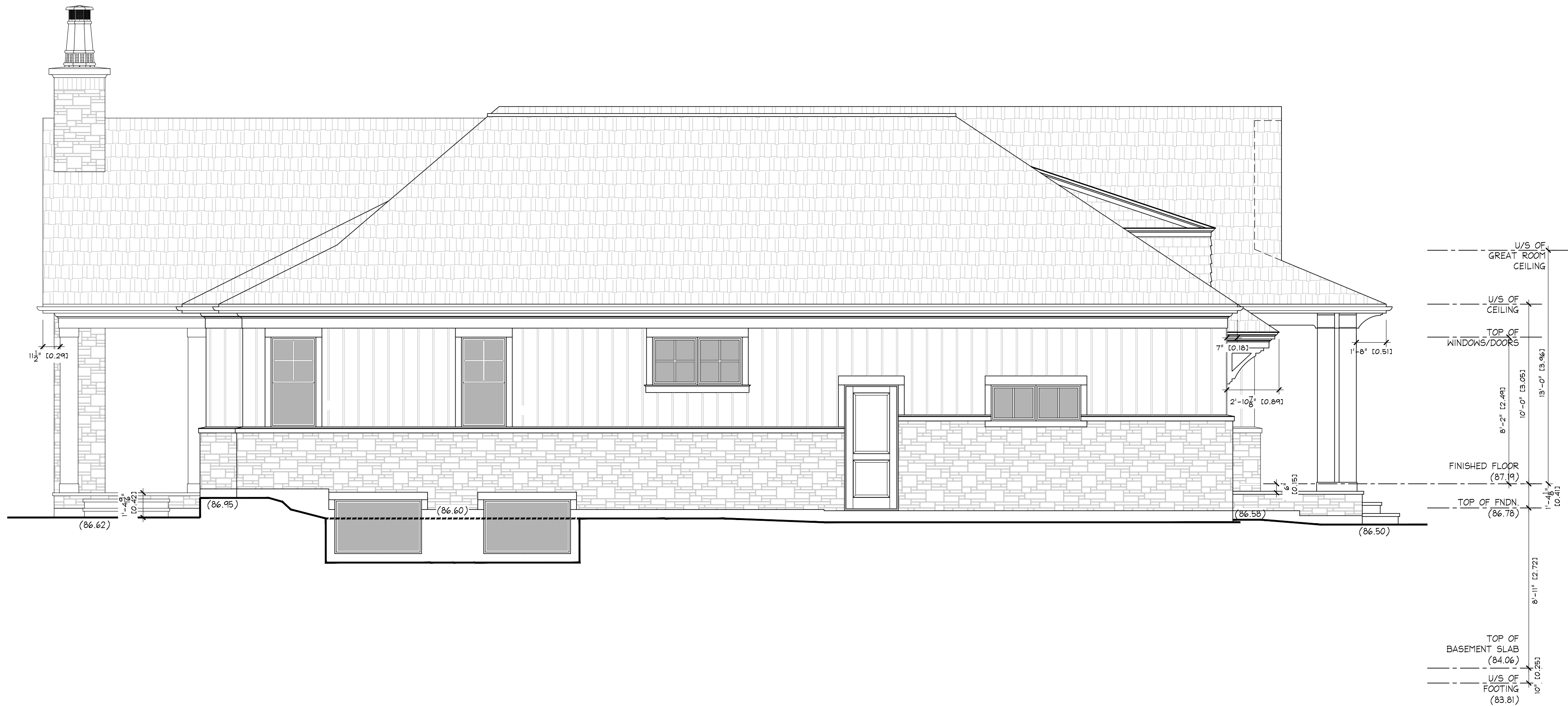
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responsibility for the design work
described in this document
firm bcin 103416 individual bcin 33001

DATE	ISSUE DESCRIPTION
01.17.25	ISSUED FOR REVIEW
03.18.25	ISSUED FOR REVIEW
03.20.25	ISSUED FOR REVIEW
04.01.25	ISSUED FOR REVIEW
04.13.25	ISSUED FOR REVIEW
04.22.25	ISSUED FOR REVIEW
04.25.25	ISSUED FOR REVIEW
05.07.26	ISSUED FOR MV

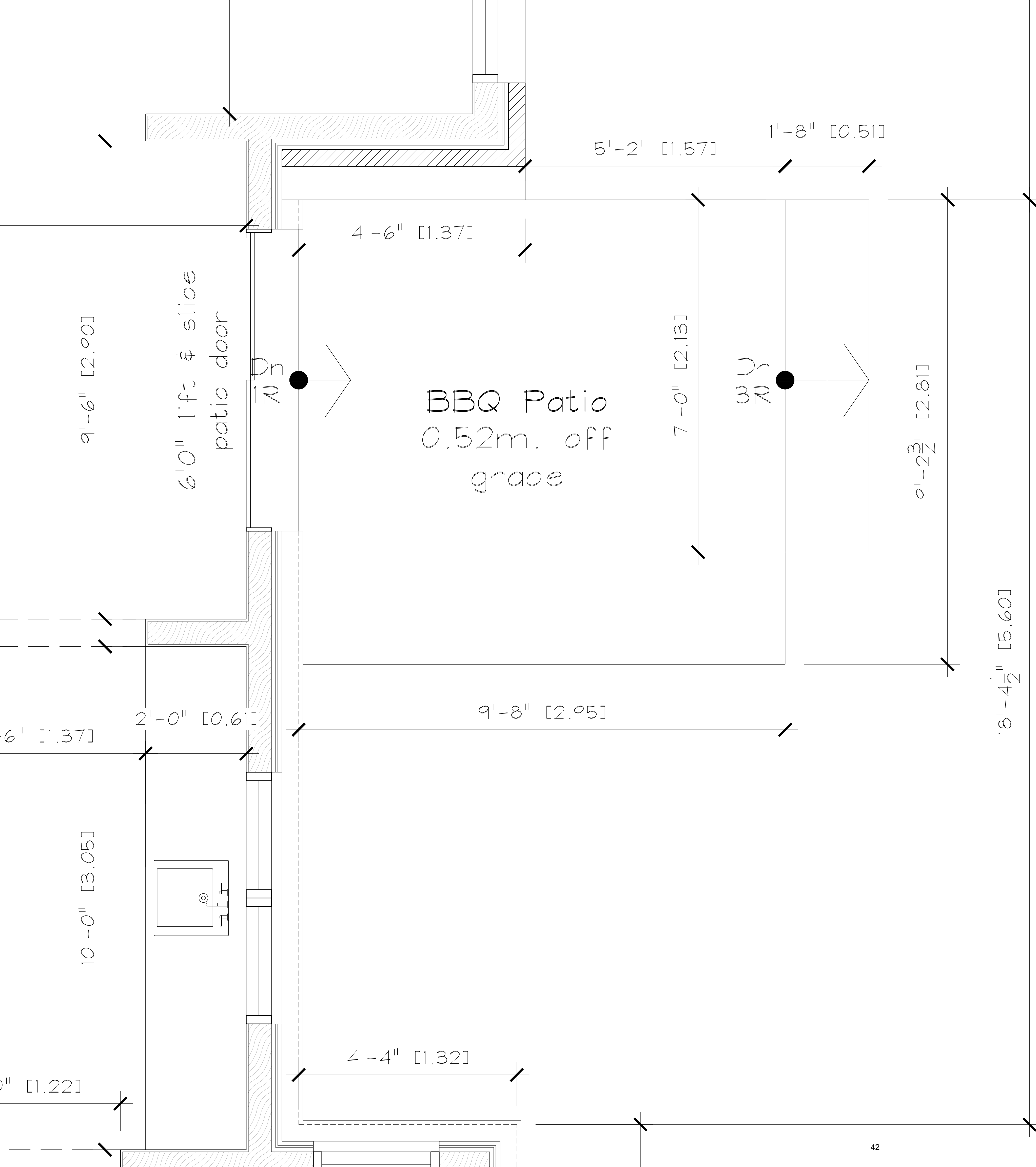
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