



Committee of Adjustment & Consent

Agenda

Date: February 25, 2026
Time: 1:00 pm
Location: Council Chambers, City Hall, second floor

Pages

1. Call to Order

2. Land Acknowledgement

Burlington as we know it today is rich in history and modern traditions of many First Nations and the Métis. From the Anishinaabeg to the Haudenosaunee and the Métis – our lands spanning from Lake Ontario to the Niagara Escarpment are steeped in Indigenous history.

The territory is mutually covered by the Dish with One Spoon Wampum Belt Covenant, an agreement between the Iroquois Confederacy, the Ojibway and other allied Nations to peaceably share and care for the resources around the Great Lakes.

We acknowledge that the land on which we gather is part of the Treaty Lands and Territory of the Mississaugas of the Credit.

3. Roll Call

4. Declarations of Interest

5. Addendums

6. Request for Deferrals

7. Consent Items

Hearings of a routine nature, which are not expected to require discussion and/or debate. Staff may not be in attendance to respond to queries on items contained in the Consent Agenda.

Proposal:

The applicant is proposing the construction of a one storey addition including an attached projecting garage to an existing one storey dwelling.

The proposed reduction in the front yard from 11 m to 7.2 m and north-west side yard from 2.042 m to 1.0 m exceeds the 10% as-of-right permission under Ontario Regulation 257/25.

Variances required:

1. To permit a front yard of 7.2m instead of the minimum required 11m for a proposed one storey addition.
2. To permit a north-west side yard of 1.0 m instead of the minimum required 2.042 m (20.42 m x 10%) for a proposed one storey addition.
3. To permit a proposed attached garage to project 0.9 m beyond the longest portion of a wall facing a street whereas Zoning By-law 2020 does not permit an attached garage with a garage door facing a street to project beyond the longest portion of a wall facing a street and containing residential floor area on the first storey of a dwelling.

8. Regular Items

This Application was deferred at the January 21, 2026 Meeting at the request of the applicant

Proposal:

The applicant is proposing to establish a dog daycare which would be open to the general public. The proposed use is considered a service commercial use and requires a variance to be permitted as the GE2 zone only permits 15% of a building over 3000m² to contain Retail, Service Commercial or Recreational Establishment uses. The existing building operates with a recreational establishment and associated accessory uses. While the GE2 zone does not restrict recreational establishments to a maximum percentage of the building if they are a stand alone use, the inclusion of a proposed dog daycare triggers a variance as footnote (f) applies to service commercial uses. The variance request seeks to exclude recreational establishment uses from the requirements of footnote (f) as they are permitted as of right within the GE2 zone as a standalone use.

Variance required:

1. To exclude recreational establishment uses from the requirements of Part 3, Table 3.2.1, footnote (f), whereas Zoning By-law 2020 restricts the total floor area of all retail, service commercial and recreation uses to a maximum of 15% of each building.

Proposal:

The applicant is proposing the construction of a two-storey addition including attached garage to the existing one storey dwelling without attached garage.

Variations required:

1. To permit a north-west side yard of 1.2 m instead of the minimum required 1.8 m for a proposed two-storey addition.
2. To permit lot coverage of 31.6% instead of the maximum permitted 25% for a two-storey detached dwelling with an attached garage.

Proposal:

The applicant is proposing the construction of Motor Vehicle Service Station with a one storey convenience store, fast food restaurant with an associated outdoor patio and gas bar with canopy.

Variations required:

1. To permit a 28 m yard abutting a street (Maple Avenue) instead of the maximum permitted 4.5 m for a proposed one storey convenience store and restaurant.
2. To permit a 6.6 m yard abutting a street (Fairview Street) instead of the maximum permitted 4.5 m for a proposed one storey convenience store and restaurant.
3. To permit a Floor Area Ratio of 0.27:1 instead of the minimum required 0.3:1 Floor Area Ratio for Buildings other than Entertainment, Recreational, or Industrial Buildings for a proposed one storey convenience store and restaurant.
4. To permit a building height of 1 storey instead of the 2 storeys minimum, 6 storeys maximum for a proposed one storey convenience store and restaurant and gas bar canopy.

Proposal:

The applicant is proposing to convert the existing two-car garage associated with a three-storey mixed use building into residential floor area. The current Zoning of the property permits dwelling units on the 2nd and 3rd floors only and requires four parking spaces per unit. Although the zoning permits dwelling units on the 2nd or 3rd floor of a commercial or office building, the development was constructed as a live work unit under the Ontario Building Code. The applicant is advised that the dwelling unit and commercial unit must be operated by a single household.

Variances required:

1. To permit two parking spaces instead of the minimum required four parking spaces per unit.
2. Notwithstanding Part 14, Exception #326, to permit floor area associated with a dwelling unit on the ground floor instead of the 2nd and 3rd floor of a commercial or office building.

9. Other Business

9.1 Correspondence

9.2 Items for Discussion

9.3 Date of Next Meeting

9.4 Motion to Approve Committee of Adjustment Meeting Minutes

10. Adjournment

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Zoning

1) Background information:

The subject property is zoned R2.1, Low Density Residential, under Zoning By-Law 2020, as amended, and is located in the designated area for lot coverage and floor area ratio. The R2.1 zone requires, among other things, the following:

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R2 ZONES						
R2.1	18 m	700 m ²	11 m (e)(f)	10 m (c)	(a)(d)	4.5 m

Footnotes to Table 2.4.1

(a) **With attached garage or carport: 10% of actual lot width
(20.42 m x 10% = 2.042 m)**

Without attached garage or carport: 10% of actual lot width, 3 m minimum on one side

4.8 GARAGES

- (a) The width of a front loading attached garage shall not exceed 50% of the width of its building elevation.
- (b) **An attached garage with a garage door facing a street is not permitted to project beyond the longest portion of a wall facing a street and containing residential floor area on the first storey of a dwelling.**

On November 25, 2026, the province announced further action to streamline planning approvals established under Bill 17 to amend Ontario Regulation 545/06, to allow variations to be permitted “as-of-right” if a proposal is within 10% of setback requirements applicable to any parcel of urban residential lands outside of the Greenbelt Area. The changes in Ontario Regulation 257/25 were filed on November 21, 2025 and took effect upon filing.

Any variances sought beyond the prescribed percentage of the setback requirement would be subject to the usual minor variance process.

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2) **Proposal:**

The applicant is proposing the construction of a one storey addition including an attached projecting garage to an existing one storey dwelling.

The proposed reduction in the front yard from 11 m to 7.2 m and north-west side yard from 2.042 m to 1.0 m exceeds the 10% as-of-right permission under Ontario Regulation 257/25. Variances for front yard, side yard and garage projection are therefore required.

3) **Variances required:**

1. To permit a front yard of 7.2m instead of the minimum required 11m for a proposed one storey addition.
2. To permit a north-west side yard of 1.0 m instead of the minimum required 2.042 m (20.42 m x 10%) for a proposed one storey addition.
3. To permit a proposed attached garage to project 0.9 m beyond the longest portion of a wall facing a street whereas Zoning By-law 2020 does not permit an attached garage with a garage door facing a street to project beyond the longest portion of a wall facing a street and containing residential floor area on the first storey of a dwelling.

4) **Notes and conditions:**

Condition:

1. The applicant shall apply for a Pre-Building Approval Application.

Notes:

1. Minor variances have been identified based on the plans submitted for zoning review. If changes to the plans are made after minor variance approval that result in the need for additional minor variances, they will be the responsibility of the applicant to obtain.
2. The zoning review is based on the portion of the site affected by the proposed development only.
3. Owner to include with Pre-Building Approval Application a single dwelling unit information letter to confirm the application does not include the proposal of an accessory dwelling unit.

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4. The variances are being reviewed under 45(1) of the *Planning Act*.

Date: December 15, 2025

Prepared By: S. Boich

Site Planning

Site Characteristics	
Lot Frontage (m)	20.42m
Lot Area (m²)	696.97m ²
Existing Land Uses <i>(ex. buildings, structures, driveways, fences, etc...)</i>	Detached Dwelling
Site Grading <i>(ex. Flat and level, significant grade differences)</i>	Flat and level
Notable Site Features	Easement along rear property line
Surrounding Land Uses <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Low rise Residential
Nearest Major Intersection	Waterdown Road and Plains Road E.
Neighbourhood Boundaries* <small>*Based on OP, 1997 residential neighbourhood definition</small>	North: CN Rail Line East: Gallagher Road South: Plains Road E. West: Waterdown Road

Neighbourhood Characteristics:

- The neighbourhood is characterized by low-rise residential development, consisting primarily of one-storey bungalows and split-level dwellings, with some newer two-storey dwellings introducing variation in height while maintaining an overall low-rise character.
- Building massing is generally modest and consistent, with dwellings featuring simple forms, including hip and gable roof types, moderate roof pitches, and limited architectural articulation.
- Exterior materials are predominantly brick and siding, with some newer dwellings incorporating stone or stucco elements as secondary materials.
- Lots are generally rectangular and uniform in size, contributing to a consistent pattern of development and front yard alignment along the street.
- Driveways are typically double-width, providing access to front-facing garages, carports, or rear garages, which reflects the original neighbourhood design.
- The streetscape has a mature residential character, defined by moderate to large front yards, established lawn areas, and mature trees within front yards and near the boulevard that create a continuous landscaped buffer between the street and dwellings.

A site visit was conducted on February 3, 2026 and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

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1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

The proposal meets the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- Section 76 of the ROP indicates that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. Given that additions are permitted by the City's Zoning By-law, staff are of the opinion that the requested variances meet the general intent and purpose of the ROP.

Regional Staff have also reviewed this application and have no objections to the Minor Variance application.

Official Plan, 1997 & 2020

Parts of Burlington Official Plan, 2020 (BOP, 2020) are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of in-force policies under BOP, 2020 and the older Burlington Official Plan 1997 (BOP, 1997).

The proposal meets the general intent and purpose of the Official Plan for the following reasons:

- The site is designated 'Low-Rise Neighbourhoods I' according to Schedule 'C'/Schedule 'B' (Land Use - Urban Area/Comprehensive Land Use Plan- Urban Planning Area) of the BOP, 1997/BOP, 2020, as amended, which permits ground-oriented, low-density housing, and where compatible infill, small-scale additions, and renovations are encouraged.
- Whereas Part II, Section 8.3.2(1)(a)–(d) of the BOP, 2020 (Low-Rise Neighbourhoods I) directs that new development and additions shall be compatible with the surrounding context and maintain the predominant character of the neighbourhood with respect to height, massing, and setbacks, the proposal is consistent with these objectives in the following ways:
 - The proposed one-storey addition maintains a height and massing that is consistent with the low-rise built form characteristic of the surrounding neighbourhood.

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- The scale of the addition does not introduce visually dominant elements and maintains the established residential character.
 - The siting of the addition maintains appropriate spatial relationships and setbacks that align with the prevailing development pattern along the street.
 - The limited height of the addition minimizes potential impacts related to shadowing and ensures compatibility with adjacent properties.
 - The lower built form, with non-habitable garage space comprising a significant portion of the addition, provides an appropriate transition to the abutting property at 1089 White Oak Drive.
 - Whereas compatible is defined as “Development or re-development that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health”, which is evaluated in accordance with measurable/objective standards, the planner notes the following:
 - The proposed one-storey addition maintains the prevailing low-rise character of the surrounding neighbourhood and is consistent with the height and massing of development in the Low-Rise Neighbourhoods I area.
 - The scale and siting of the addition align with the established pattern of front and side yard setbacks along the street, which typically feature a smaller setback on one side, maintaining appropriate spatial relationships between buildings.
 - The design of the addition, including its limited height and the absence of windows facing the abutting side yard, minimizes potential impacts related to privacy, overlook, and sun-shadowing.
 - The proposal and is not anticipated to result in functional adverse impacts related to traffic, parking, access, or municipal servicing.

2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes – (Variance No.1 (Front Yard Setback))

The general intent and purpose of the minimum front yard setback provision of Burlington Zoning By-law 2020 is to establish a consistent streetscape, ensure adequate separation between buildings and the public realm, maintain neighbourhood character, and provide space for landscaping, snow storage, and pedestrian safety.

The proposed minor variance is consistent with this intent for the following reasons:

- The existing dwelling has a front yard setback of 7.94 metres, and the proposed setback of 7.2 metres represents a small reduction of 0.74 metres.

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- Based on the submitted survey, the abutting properties at 1089 White Oak Drive and 1079 White Oak Drive have front yard setbacks of 7.81 metres and 7.93 metres, respectively.
 - The proposed front yard setback maintains the established streetscape, as it generally aligns with the prevailing setback pattern along White Oak Drive and extends only approximately 0.6 metres beyond the observed range of surrounding setbacks, which is considered minor by staff.
 - The proposed addition is limited to one storey, thereby maintaining a low-profile built form.
 - The reduced setback does not increase the perceived dominance of the dwelling when viewed from the street.
 - Adequate on-site parking and driveway depth are maintained in accordance with the intent of the Zoning By-law.

Yes – (Variance No.2 (North-west side yard setback))

The general intent and purpose of the minimum side yard setback provision of Burlington Zoning By-law 2020 is to ensure adequate spatial separation between buildings, provide access for maintenance, light, and air, protect privacy, and minimize adverse impacts on adjacent properties. The proposed minor variance is consistent with this intent for the following reasons:

- The reduced side yard setback does not result in adverse impacts to the abutting property, given the scale and location of the proposed addition.
- The abutting dwelling is one storey in height, which limits potential impacts related to shadowing, overlook, and loss of privacy.
- The proposed addition is limited to one storey, maintaining a low built form that minimizes massing impacts along the shared lot line.
- No windows are proposed on the elevation facing the abutting property, thereby avoiding privacy or overlook concerns.
- Adequate space is maintained to accommodate drainage and grading, ensuring no functional impacts to the adjacent property.
- The proposed side yard setback is generally within the range of side yard setbacks found within the surrounding neighbourhood context.
- Other properties in the surrounding area have similarly small setbacks which are able to meet the intent of zoning provision while being clearly deficient to the required side yard (1073 White Oak)
- The existing dwelling will continue to maintain a side yard setback of 2.13 metres on the opposite side of the dwelling.
- The applicant will retain the existing cedar hedge, which will provide additional screening for the proposed addition.

Yes – (Variance No.3 (Garage Projection))

The general intent and purpose of the garage projection provision of Burlington Zoning By-law 2020 is to reduce the visual dominance of garages along streets, reinforce

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pedestrian-oriented streetscapes, and ensure that garages remain subordinate to the main residential building. The proposed minor variance is consistent with this intent for the following reasons:

- The proposed garage projection aligns with the setback of the raised portion of the first floor, resulting in a cohesive and balanced front façade.
- Collectively, the garage and the raised portion of the first floor measure approximately 9.78 metres in width, whereas the longest portion of the wall facing the street that contains residential floor area is 7.57 metres, demonstrating that the garage does not dominate the frontage.
- The proposed garage is a single-car garage, which limits its scale and visual prominence.
- The projection is limited to 0.9 metres, which is modest in nature and does not result in the garage becoming the dominant architectural feature.
- The garage forms part of a one-storey addition and remains visually secondary to the dwelling when viewed from the street.
- Required on-site parking is maintained in accordance with the Zoning By-law.
- The overall design maintains appropriate balance and articulation of the front façade, preserving the residential character of the streetscape.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes/No

The proposed minor variances are desirable for the appropriate development and use of the land for the following reasons.

- The variances facilitate the construction of a one-storey garage and residential addition that is compatible with the existing dwelling and surrounding neighbourhood context.
- The proposed addition provides an additional bedroom and bathroom, enhancing the functionality and long-term usability of the dwelling.
- The development represents an efficient use of the property by utilizing an area currently occupied by a driveway, without resulting in adverse impacts to adjacent properties.
- The proposed built form maintains a low-profile and supports compatible residential infill.
- The proposal does not introduce adverse impacts related to massing, streetscape character, or site functionality.
- Landscape and Engineering staff have reviewed the proposal and raised no objections with respect to the proposed minor variances.

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4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed minor variance(s) are/are not minor in nature for the following reasons:

- The requested variances represent small numerical deviations from the Zoning By-law standards and do not constitute a significant departure from the applicable provisions.
- The reduction in the front yard setback is small in magnitude and remains generally consistent with the established pattern of setbacks along White Oak Drive.
- The reduced side yard setback is associated with a one-storey addition and does not result in tangible adverse impacts related to shadowing, overlook, privacy, or access for maintenance.
- The garage projection beyond the main building wall is limited in extent and does not result in the garage becoming a visually dominant feature along the streetscape.
- The variances do not result in adverse impacts on adjacent properties or the public realm and maintain adequate site functionality, including parking, drainage, and access.
- When considered individually and collectively, the practical effects of the variances are limited, and the overall built form remains compatible with the surrounding neighbourhood context.

Cumulative Effects of Multiple Variances and Other Planning Matters:

The cumulative effect is minor and staff are supportive for the following reasons:

- The requested variances collectively facilitate the siting and design of a one-storey residential addition and attached garage and function together as a single, integrated development.
- When considered cumulatively, the reduced front yard setback, reduced north-west side yard setback, and limited garage projection do not result in adverse impacts related to massing, privacy, overlook, sun-shadowing, or streetscape character, given the one-storey height and low-profile built form.
- Adequate on-site parking, access, and drainage are maintained, and the cumulative effect of the variances is considered minor.

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Recommendation:

Staff has reviewed the proposed variance in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

Date: February 3, 2026

Prepared By: Ryan Kochuta

Report Schedules & Attachments:

Attachment No. 1 (Site Photos)



View from the front



View of existing side yard and proposed location of the addition



View of existing side yard and 1089 White Oak



View of the back of the house and location of the proposed addition

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View of the existing southeast side yard



View of 1073 White Oak

Development Engineering

Development Engineering has reviewed the proposed minor variances and has no objection to the variance requested. Revisions to the plans may be required through the Grading and Drainage Clearance Certificate process.

Please note that Development Engineering will require an as-built drawing post construction.

Date: January 19, 2026

Prepared By: Robert Bardaloo

Forestry

Forestry has no objection to the proposed minor variance(s) and provides the following advisory note(s) to the applicant:

1. A tree permit will be required for any and all work around regulated trees in accordance with the City's Tree By-laws.
2. Revisions to the report and/or plans may be required through the tree permit process.

Date: January 13, 2026

Prepared By: R. Shaw-Lukavsky

Building

1. A Building Permit is required for all building construction;

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2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.
 3. Exterior wall less than 1.2m but not less than 0.6m to property line requires 45-minute fire resistance rating and shall not contain any unprotected openings.

Date: January 20, 2026Prepared By: Q. Tan**Transportation Planning**Deemed Road Width Analysis

White Oak Drive is under the authority of the City of Burlington, and the deemed right-of-way width is 20 metres. The right-of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: October 6, 2025Prepared By: E. Chen

Transportation Planning have reviewed the proposed minor variance application and have no comments.

Date: January 7, 2026Prepared By: E. Chen**Finance****Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: January 7, 2026Prepared By: L. Bray**Halton Region****Regional Contaminated Sites Database:**

In order to maintain the Region's Contaminated Sites Database, Regional staff request final copies of all environmental reports (if applicable) including: Geotechnical Studies,

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Hydrogeological Studies, Phase One and/or Two Environmental Site Assessments, Remediation Reports, Risk Assessments, Record of Site Condition (RSC), and/or Certificate of Property Use (CPU).

Regional Staff have reviewed the Minor Variance application proposing the construction of a one storey addition including an attached projecting garage for an existing one storey dwelling. Variances are requested to the minimum required front yard and side yard setbacks, and to the maximum permitted projection of the attached garage.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.
- Regional Staff have no objections to the Minor Variance application.

Date: January 21, 2026

Prepared By: Navjot Kaur

Burlington Hydro

Burlington Hydro engineering department has reviewed all documents submitted regarding a single-storey addition to the existing dwelling at 1083 White Oak Drive and have no comments or concerns. We can confirm that the existing overhead 120/240V single-phase secondary service is not in conflict with any changes proposed for this address as submitted for minor variance request A-075-2025 on January 6th 2026.

Please let me know if any further details from Burlington Hydro are required for this file.

Date: January 23, 2026

Prepared By: Stephenie Forsyth

NOTICE OF PUBLIC HEARING

William Connor Buchan, the owner of 1083 White Oak Dr. Burlington has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **1083 White Oak Dr. Burlington** (see map).

The applicant is proposing the construction of a one storey addition including an attached projecting garage to an existing one storey dwelling.

The proposed reduction in the front yard from 11 m to 7.2 m and north-west side yard from 2.042 m to 1.0 m exceeds the 10% as-of-right permission under Ontario Regulation 257/25. This proposal results in the following variances:

1. To permit a front yard of 7.2m instead of the minimum required 11m for a proposed one storey addition.
2. To permit a north-west side yard of 1.0 m instead of the minimum required 2.042 m (20.42 m x 10%) for a proposed one storey addition.
3. To permit a proposed attached garage to project 0.9 m beyond the longest portion of a wall facing a street whereas Zoning By-law 2020 does not permit an attached garage with a garage door facing a street to project beyond the longest portion of a wall facing a street and containing residential floor area on the first storey of a dwelling.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **February 9, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 25, 2026

This application is scheduled to be heard at or after 1:00 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **12:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

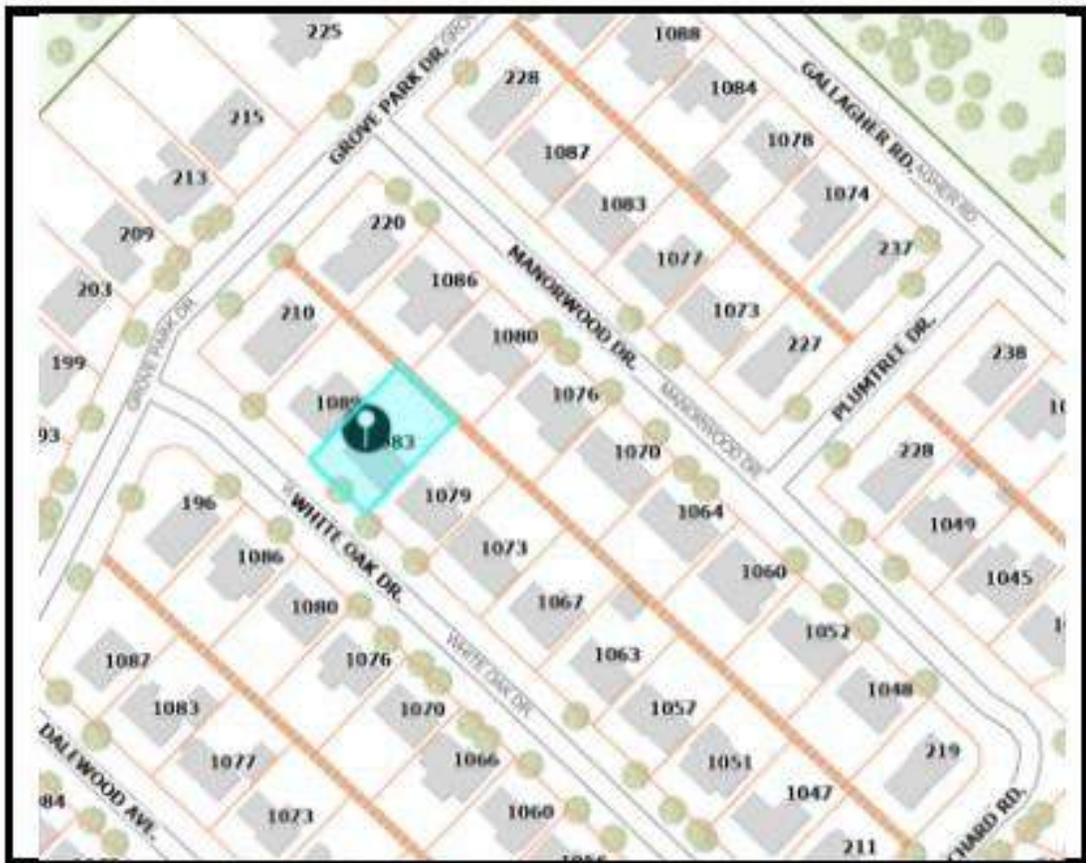
Yours truly,



Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



Key Map



1083 White Oak Dr.



Committee of Adjustment Community
Planning Department - Planning
Implementation

**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: Marianna

Name of Zoning Examiner: Steve Boich

PROPERTY INFORMATION

Municipal Address(es) of property:

1083 White Oak Drive

Legal Description of property:

Lot 69 Registered Plan 1124

Official Plan Designation: Residential Area

Current Zoning Designation R2.1

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

Connor William Buchan - Primary point of contact

Mailing Address: 1083 White Oak Drive

City: Burlington

Postal Code: L7T 2L6

Home Phone: _____

Mobile Phone: _____

Work Phone: _____

E-Mail: _____

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name:

Dejana Curcic/Darko Jakovina

Barich Grenkie Surveying Ltd.

Business Address: 301 Highway 8

City: Stoney Creek

Postal Code: L8G 1E5

Home Phone: _____

Mobile Phone: _____

Work Phone: _____

E-Mail: _____

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

Proposed addition to the existing house.

Variance(s) Requested	Zoning Bylaw Requirement
Front yard 7.25m	11.0m
Side Yard 1.01m	2.04m
Proposed attached garage to project 0.9m beyond the longest portion of a wall facing a street	

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

1. Why is the variance(s) minor in nature? Due to all houses around are set at original zoning and have front setback of above 7.5m.

2. Why are the variance(s) desirable for the appropriate use of the land? Garage and addition. We have the first kid due at the end of January. In our Area 215 Grove Park Dr. has a similar street scape and 1073 White Oak Dr. was approved for a tighter minor variance then we require.

3. Do the variance(s) meet the intent and purpose of the Official Plan? Yes, desired residential low density allows for the proposed single detached dwelling.

4. Do the variance(s) meet the intent and purpose of the Zoning By-law? The proposed garage width is at the minimum width required to be as accommodating as possible on the left hand side set back.

PROPERTY DETAILS (please complete all fields):				
Date property purchased: <u>2023/12/07</u> mmm/dd/yyyy	Date property first built on: <u>N/A / N/A / 1963</u> mmm/dd/yyyy	Date of proposed construction: <u>02/01/2026</u> mmm/dd/yyyy		
Existing Use of the Subject Property (check one): Detached Dwelling <input checked="" type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Vacant <input type="checkbox"/> Other <input type="checkbox"/> _____		Length of time the existing uses of the subject property have continued: <u>62 years</u>		
		Proposed Use of the Land: Residential		
Existing Uses of Abutting Properties (check all that apply) Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right-of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input type="checkbox"/> Other <input type="checkbox"/> _____ Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>				
Additional Information Is liquor sold on site? Y <input type="checkbox"/> or N <input checked="" type="checkbox"/> Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unknown <input type="checkbox"/>				
Type of Access to the Subject Lands Provincial Highway <input type="checkbox"/> Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other(specify) <input type="checkbox"/>				
Municipal Services Provided Water <input checked="" type="checkbox"/> If not available, by what means is it provided: _____ Sanitary Sewers <input checked="" type="checkbox"/> If not available, by what means is it provided: _____ Storm Sewers <input checked="" type="checkbox"/> If not available, by what means is it provided: _____				
IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS: <input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input type="checkbox"/> Building Permit <input type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent				

FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Frontage 20.42m	Depth 34.14m	Area 696.97m ²	Actual 20.0m	Deemed 20.0m	Required		

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Dwelling/Building)			PROPOSED (Dwelling/Building/Addition)		
Ground Floor Area (incl. attached garage)	103.01	M ²	Ground Floor Area (incl. attached garage)	96.87	M ²
Gross Floor Area:	133.97	M ²	Gross Floor Area:	64.10	M ²
Number of Storeys:	1 1/2 storey		Number of Storeys:	1 1/2 storey	
Width:		M	Width:		M
Length:		M	Length:		M
Height:	4.93	M	Height:	5.22	M
Garage/Car Port			Garage/Car Port		
Detached?		Y <input type="checkbox"/> N <input type="checkbox"/>	Detached?		Y <input type="checkbox"/> N <input type="checkbox"/>
Gross Floor Area:		M ²	Gross Floor Area:		M ²
Width:		M	Width:		M
Length:		M	Length:		M
Height:		M	Height:		M
Accessory Structures (Shed, Gazebo, etc)			Accessory Structures		
Gross Floor Area:	9.41	M ²	Gross Floor Area:		M ²
Width:	2.98	M	Width:		M
Length:	3.16	M	Length:		M
Height:		M	Height:		M
Other (pool, additional sheds, decks, driveways, etc.)			Other		
Gross Floor Area:		M ²	Gross Floor Area:		M ²
Width:		M	Width:		M
Length:		M	Length:		M
Height:		M	Height:		M
LOCATION of all existing and proposed buildings and structures					
EXISTING			PROPOSED		
Front:		M	Front:		M
Rear:		M	Rear:		M
Side/Street Side:		M	Side/Street Side:		M
Side/Other Side:		M	Side/Other Side:		M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name	Connor Buchan	Property Address	1083 White Oak Drive
			09/17/2025
	Signature of Owner/Applicant		Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized

Agent: Connor Buchan

I, Connor Buchan of the City of Burlington in the Region
(print name) (Region/City/County) (City/Town/Township)

of Halton solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the City of Burlington in the Region of Halton
(Region/City/County) (City/Town/Township)

this 16 day of September 2025.

 Signature of Commissioner, etc.	Nabonita Singh, a Commissioner, etc., Province of Ontario, for The Corporation of the City of Burlington. Expires August <u>27</u> , 2028	 Signature of Applicant or Authorized Agent
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PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 1083 White Oak Dr.

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.


 Signature of Owner

Connor Buchan
 Print Name

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, Connor William Buchan being the registered owner of the subject lands, hereby
(print name)

Authorize Connor William Buchan to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.

CWB
Signature of Owner

09/17/2025
Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	yes
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	yes
SITE PLAN <ul style="list-style-type: none"> <input type="checkbox"/> Metric Scale <input type="checkbox"/> North Arrow <input type="checkbox"/> Frontage <input type="checkbox"/> Depth <input type="checkbox"/> Lot Area <input type="checkbox"/> Lot Coverage <input type="checkbox"/> Deemed Street Line <input type="checkbox"/> Existing Front Yard Setbacks <input type="checkbox"/> Existing Rear Yard Setbacks <input type="checkbox"/> Existing Side Yard Setbacks <input type="checkbox"/> Existing Street Side Yard Setbacks <input type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Proposed Front Yard Setbacks <input type="checkbox"/> Proposed Rear Yard Setbacks <input type="checkbox"/> Proposed Side Yard Setbacks <input type="checkbox"/> Proposed Street Side Yard Setbacks <input type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Streets (Public and Private) <input type="checkbox"/> Street Names <input type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.

Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- Setbacks
- Height
- Area
- Length
- Width

ELEVATIONS

- Metric
- Front
- Rear
- Side 1
- Side 2

FLOOR PLANS

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.

Corcie Desang

Signature of Owner/Agent

April 10, 2025

Date (mmm/dd/yyyy)

**City of Burlington
Building Services Department
426 Brant Street
Burlington, ON L7R 3Z6**

**Re: Single Dwelling Unit Information Letter
Property Address: 1083 White Oak Dr, Burlington, On
Building Permit / Pre-Building Approval Application No.: N/A**

To Whom It May Concern,

I am the registered owner of the above-noted property.

This letter is provided to confirm that the proposed construction associated with the current Pre-Building Approval / Building Permit Application is for a **single detached dwelling unit only**.

The application **does not include the creation, proposal, or conversion of any accessory dwelling unit**, additional residential unit, secondary suite, or separate dwelling unit, whether within the existing dwelling or as part of the proposed addition.

All proposed works are intended to serve the existing single dwelling unit exclusively.

This confirmation is provided for zoning and building permit review purposes. Should additional information be required, please contact the undersigned.

Sincerely,

Connor Buchan

Owner

[Redacted Signature]

01-06-2026

GROVE PARK DRIVE

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF SURVEY
(WITH TOPOGRAPHIC DETAIL) OF
LOT 69
REGISTERED PLAN 1124
IN THE
CITY OF BURLINGTON

REGIONAL MUNICIPALITY OF HALTON
SCALE & NOTES

Scale 1:150

BARICH GRENKIE SURVEYING LTD.

A DIVISION OF GEOMAPLE

© COPYRIGHT 2024

METRIC
DISTANCES & ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE
ELEVATIONS ARE GEODETIC ORIGIN (CGVD-1928:78), AND ARE DERIVED FROM REAL TIME NETWORK (RTN) OBSERVATIONS AND NATURAL RESOURCES CANADA'S GEOID MODEL HT.2.0

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH-WESTERLY LIMIT OF MANORWOOD DRIVE AS SHOWN ON REGISTERED PLAN 1124 HAVING A BEARING OF N46°48'30"E.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
RIB	DENOTES	ROUND IRON BAR
IT	DENOTES	IRON TUBE
OU	DENOTES	ORIGIN UNKNOWN
P1	DENOTES	REGISTERED PLAN 1124
P2	DENOTES	PLAN BY A. J. CLARKE, O.L.S. DATED MAY 17, 1965
D1	DENOTES	INSTRUMENT No. FH66333
MH	DENOTES	MANHOLE
CB	DENOTES	CATCHBASIN
UP	DENOTES	UTILITY POLE
OH	DENOTES	OVERHEAD UTILITY CABLES
DT	DENOTES	DECIDUOUS TREE
CT	DENOTES	CONIFEROUS TREE
CRW	DENOTES	CONCRETE RETAINING WALL
FF	DENOTES	FINISHED FLOOR ELEVATION
GF	DENOTES	GARAGE FLOOR ELEVATION
INV	DENOTES	INVERT ELEVATION
BF	DENOTES	BOARD FENCE
CLF	DENOTES	CHAIN LINK FENCE
LS	DENOTES	LIGHT STANDARD

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-67884



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3)

THIS PLAN WAS PREPARED FOR CONNOR BUCHAN AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S REAL PROPERTY REPORT
PART 2
DESCRIPTION SUMMARY - LANDS DESCRIBED IN PIN-07114-0096 (LT).
LOT 69, REGISTERED PLAN 1124

REGISTERED EASEMENTS/RIGHTS-OF-WAY - SUBJECT TO EASEMENT AS IN INSTRUMENT No. FH66333

ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF THE LOCATION OF HEDGES AND HEDGES AS SHOWN ON THE FACE OF THE PLAN.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS - THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BYLAWS

SURVEYOR'S CERTIFICATE
I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON FEBRUARY 12, 2024.

FEBRUARY 13, 2024

ERIC G. SALZER
O.L.S., O.L.I.P.

Barich Grenkie
Surveying Ltd.
301 HWY No. 8 (2ND FLOOR) STONEY CREEK, ON
L8G 1E5 (905) 662-6767

DWN BY: EWA
CHK BY: EGS
JOB No. 24-3212

A DIVISION OF GEOMAPLE

SIB(655)
0.05 NE
(HELD FOR
LINE NW/SE)

RIB(OU)
0.30 SW
(HELD FOR
LINE NW/SE)

RIB(OU)
0.30 SW
(HELD FOR
LINE NW/SE)

RIB(OU)
0.14 NE
(HELD FOR
LINE NW/SE)

LOT 67

LOT 68

Copyright Act Applies to Use and Production

LOT 68
PIN 07114-0095 (LT)

LOT 86
PIN 07114-0113 (LT)

LOT 69
PIN 07114-0096 (LT)

LOT 85
PIN 07114-0112 (LT)

LOT 70
PIN 07114-0097 (LT)

LOT 71

LOT 72

REGISTERED PLAN

OLD ORCHARD ROAD

GENERAL NOTES

1. THIS/ THESE PLANS/ IS/ ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
2. THIS/ THESE PLANS/ IS/ ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARICH GRENKIE SURVEYING LTD.
3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND /OR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
4. SITE PLAN INFORMATION TAKEN FROM SURVEY BY BARICH GRENKIE SURVEYING LTD., DATED FEBRUARY 13, 2024.
5. THIS/ THESE PLANS/ IS/ ARE TO BE USED FOR SERVING AND GRADING ONLY. FOR BUILDING LOCATION REFER TO THE SITE PLAN.
6. MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN STANDARDS AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY/TOWN STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
7. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF BURLINGTON AND THE ENGINEER.
8. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT ENCRoACHMENT AGREEMENTS
9. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
 - i. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDINGS IN WRITING TO THE ENGINEER.
 - ii. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 - iii. VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 - iv. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING OF WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2. GENERAL REVIEW. FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER, THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
11. INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL PERFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
12. ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
13. ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.
14. SERVING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
15. THE SITE SERVING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE.
16. NO BLASTING WILL BE PERMITTED.

GRADE NOTES

- A. GENERAL GRADING
- B. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
- C. ALL RETAINING WALLS, BANKWAYS, CURBS, ETC. SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.N.G.
- D. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
- E. RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING GRADING AS CONTAINED IN THE ONTARIO BUILDING CODE.
- F. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN) ABOVE FINISHED GRADE.
- G. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- H. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- I. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- J. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VALVES AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
- K. ANY CHANGES IN GRADINGS AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
- L. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- M. SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33.0% GRADE (3:1 SLOPE).
- N. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED, PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET (WITH A MINIMUM 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
- O. MINIMUM GRADE FOR WRAP-AROUND SWALE IN BACKYARDS SHALL BE 1.0%.
- P. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED IN A STRAIGHT LINE.
- Q. GARAGE FLOOR ELEVATIONS TO BE SET 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- R. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% S.P.D. (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 300mm.

2. BACKYARD GRADING

- A. DEFINITION: "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW R 6.0m.
- B. THE MAXIMUM 5.0% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE DOES NOT EXCEED 1.0m ON EACH LOT.
- C. WHERE THE 5.0% RESTRICTION ON BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. 3:1 SLOPES CAN REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- D. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- E. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS, AND BACK YARDS, OUTSIDE THE AREAS DEFINED IN ITEM "A" ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (3:1 MAXIMUM).

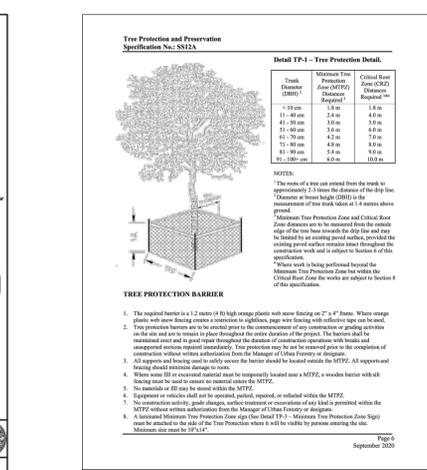
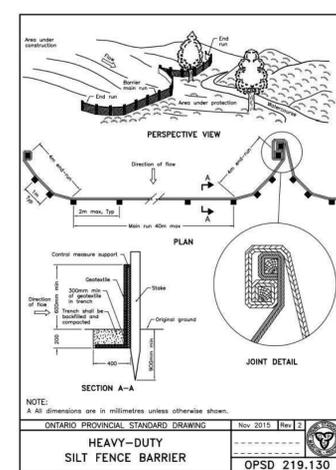
COMPACTION REQUIREMENTS

UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:

- A. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 95% SPD. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
- B. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% SPD.
- C. FOR ALL SEWERS AND WATERMANS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.

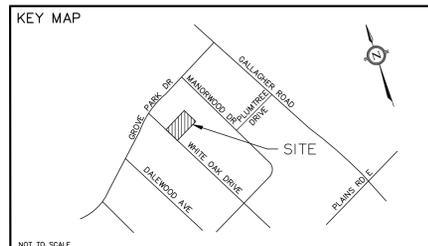
SILTATION AND EROSION CONTROL

- A. SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILLED.
- B. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
- C. ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.



Municipal Address	1083 WHITE OAK, BURLINGTON		
Legal Description	LOT 69, REGISTERED PLAN 1124 City of Burlington, Regional Municipality of Halton		
ZONING REGULATIONS	R2-1	PROPOSED	COMPLIANCE (Y/N)
Site Data			
Lot Depth	n/a	34.14 m	Existing
Lot Area	700 m ²	696.97 m ²	Existing
Lot Width	18.0 m	20.42 m	Existing
Driveway+Parking			
Total Parking	2 Spaces	2 Spaces	Yes
Driveway Length	6.0m min	7.25 m	Yes
Building Size			
Building Area	n/a	198.07 m ²	Yes
Lot Coverage	37.5%	29.95%	Yes
Floor Area Ratio	0.45:1 max	0.28:1	Yes
Building Height	8.5 m	1 1/2 Stories	Existing
Yards & Setbacks			
(Front Yard)(South)	11.0 m	7.25 m*	No
(Side Yard)(West)	2.04 m	1.01 m**	No
(Side Yard)(East)	2.04 m	2.13 m	Existing
(Rear Yard)(North)	10.0 m	11.91 m	Yes
Side Yard Eave & Gutter Encroachment(West)	0.50 m Overhang on Encroachment(House Roof)	0.46 m (Encroachment)	Yes
Side Yard Eave & Gutter Encroachment(East)	0.50 m Overhang on Encroachment(House Roof)	0.43 m (Encroachment)	Existing
Front Yard Eave & Gutter Encroachment(South)	0.50 m Overhang on Encroachment(House Roof)	0.36 m (Encroachment)	Yes
Rear Yard Eave & Gutter Encroachment(North)	0.50 m Overhang on Encroachment(House Roof)	0.36 m (Encroachment)	Yes

Copyright Act Applies to Use and Production



NOT TO SCALE

ADDRESS: 1083 WHITE OAK DRIVE, BURLINGTON

SITE AND GRADING PLAN OF
LOT 69
REGISTERED PLAN 1124
IN THE
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON
BARICH GRENKIE SURVEYING LTD.
A DIVISION OF GEOMAPLE
© COPYRIGHT 2024

METRIC DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

CB	Denotes CATCH BASIN
CT	Denotes DECIDUOUS TREE
CT	Denotes CONIFEROUS TREE
S	Denotes SERVICE VALVE
---	Denotes SUBJECT LANDS BOUNDARY
---	Denotes DEED LINE
---	Denotes LOT LINE
---	Denotes LIMIT OF STREET
---	Denotes FENCE LINE
X	Denotes TREE TO BE REMOVED
N-E-S-W	Denotes NORTH-EAST-SOUTH-WEST
100.00	Denotes EXISTING ELEVATION
100.00	Denotes PROPOSED ELEVATION
---	Denotes PROPOSED TREE PROTECTION
---	Denotes PROPOSED SILT FENCE
---	Denotes DOWNSPOUT WITH SPLASH PAD

ELEVATION NOTE

ELEVATIONS ARE GEODETIC ORIGIN (CGVD-1928-78), AND ARE DERIVED FROM REAL TIME NETWORK (RTN) OBSERVATIONS AND NATURAL RESOURCES CANADA'S GEOD MODEL HT2.0

0	02/26/2024	DC	ISSUED FOR REVIEW				
NO.		DATE		BY		REVISIONS	
DESIGN	DC	CHK'D	DJ	DATE			
DRAWN	DC	CHK'D	DJ	FEBRUARY 26, 2024			

Scale 1:100

APPROVALS

STAMP

Barich Grenkie Surveying Ltd.
PROFESSIONAL SURVEYORS AND ENGINEERS
301 HWY No. 8 (2nd FLOOR) STONEY CREEK, ON
(905) 862-8767

DWN BY: DC
CHK BY: MF
JOB No. 24-3212

CLIENT

CONNOR BUCHAN RESIDENCE

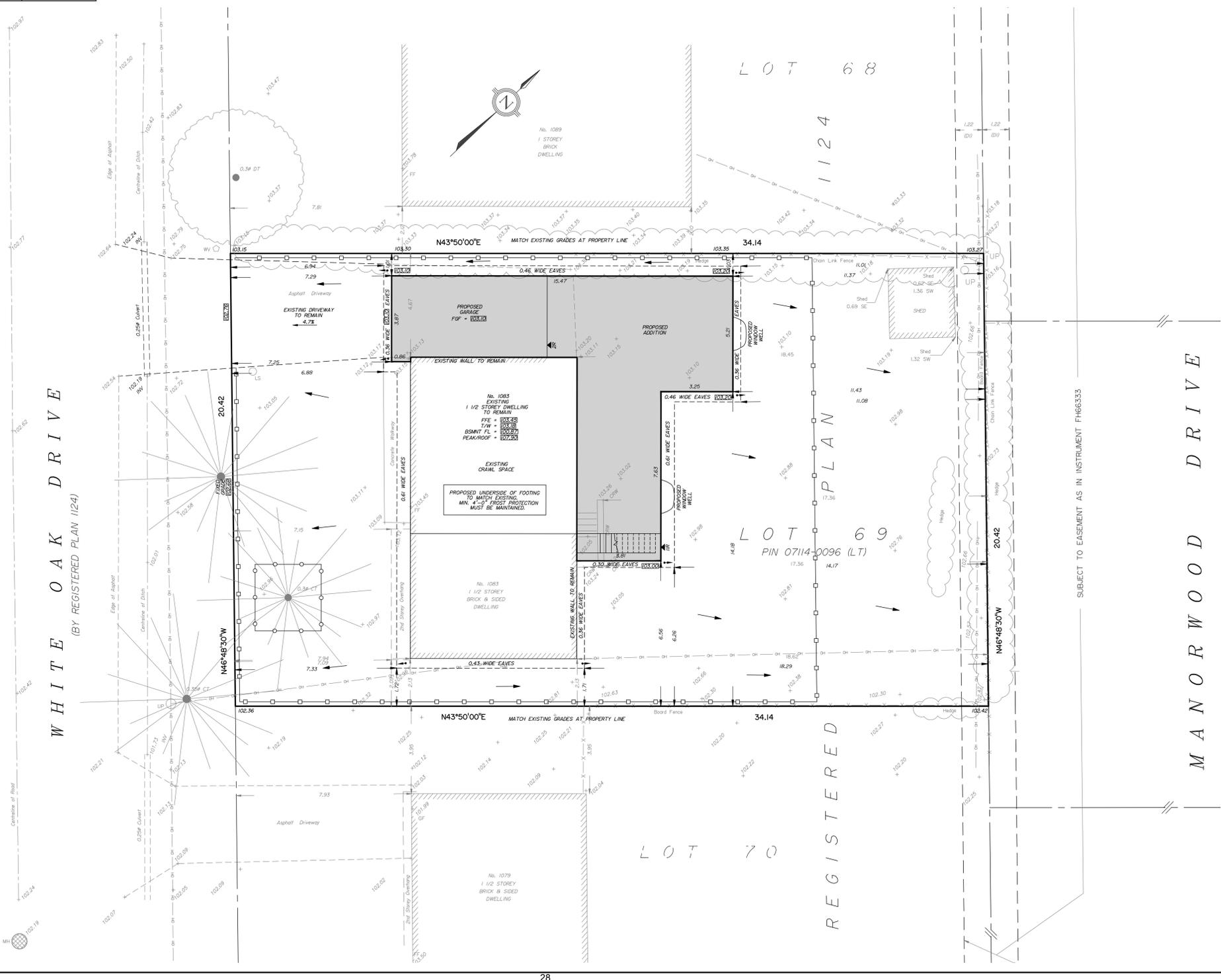
PROJECT NAME

PROPOSED ADDITION
1083 WHITE OAK DRIVE

TITLE

SITE GRADING PLAN

PROJECT No. 24-3212 DRAWING No. 24-3212 SGP



SUBJECT TO EASEMENT AS IN INSTRUMENT FH66333

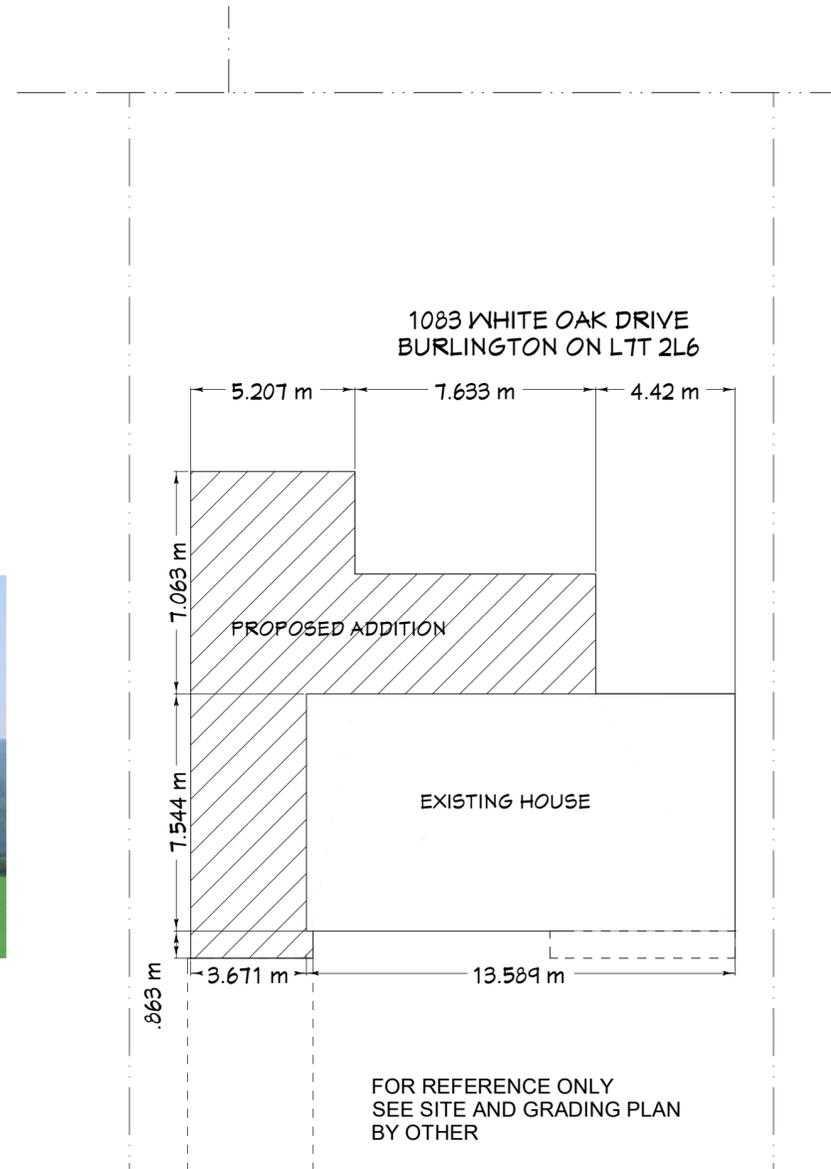


3D CURRENT HOME N.T.S.



3D PROPOSED PERSPECTIVE N.T.S.

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WHITE OAK DRIVE

S-1 SITE PLAN 1:150

LIST OF DRAWINGS

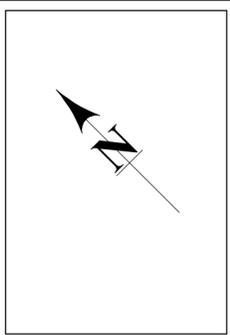
- A-1 COVER SHEET**
- A-2 MAIN FLOOR PLAN**
- A-3 FOUNDATION PLAN**
- A-4 FRONT / REAR ELEVATIONS**
- A-5 SIDE ELEVATIONS**
- A-6 SECTIONS / DETAILS / NOTES**
- A-7 EXISTING HOME PLAN**

COMPLIANCE PACKAGE "TABLE 3.1.1.11 ZONE 1"
O.B.C. 2012 SUPPLEMENTARY STANDARD SB-12 TABLE 2.1.1.2

Ceiling With Attic	R60
Ceiling Without Attic	R31
Exposed Floor	R31
Walls Above Grade	R19+5ci
Basement Walls	R20ci

PROPERTY INFORMATION		
BY-LAW SECTION	CURRENT	PROPOSED
ZONE	R2.1	R2.1
PROPERTY SIZE	700m ²	700m ²
LOT WIDTH	18 m	18 m
LOT COVERAGE	14.63%	29.95%
MAXIMUM HEIGHT	m 3.68	4.14 m
FRONT SETBACK	7.25m	7.25 m
LEFT SETBACK	4.681 m	1.01 m
RIGHT SETBACK	2.13m	2.13 m
REAR SETBACK	18.97 m	11.91 m

GENERAL NOTES	
TYPE	DESCRIPTION
DIMENSIONS	DRAWINGS ARE IMPERIAL/METRIC SITE PLAN IS IN METRIC
AREAS	GROSS FLOOR AREA IS TO EXTERIOR OF WALLS.



PROJECT DESCRIPTION:
Buchan Residence
1083 White Oak Dr.
Burlington ON L7T 2L6
Addition

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DRAWINGS PROVIDED BY:
SD
sanddconstruction@outlook.com
PH/F 905-679-5991

REGISTRATION INFORMATION
The undersigned has reviewed and takes responsibility for this design and has the qualifications set out in the Ontario Building Code to be a designer
Name: JAMES SUPPLE B.C.I.N.# 36897

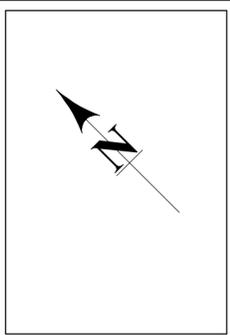
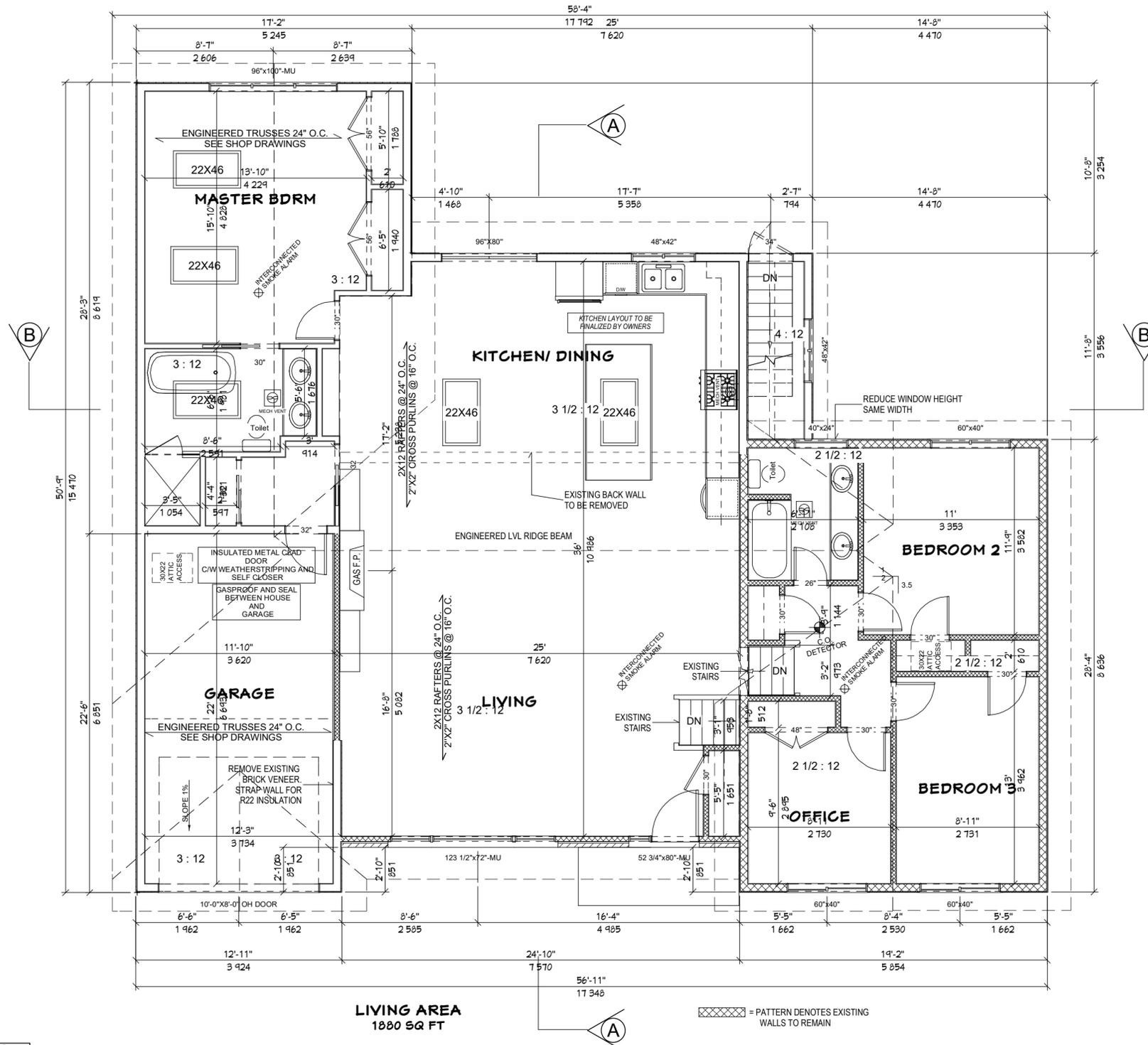
AREA:
EXISTING FLOOR: 1442 sq.ft.
NEW FLOOR AREA: 640 sq.ft.
TOTAL AREA: 2132 sq.ft.
LOT COVERAGE: 2157 sq.ft.
PERFORMANCE INFO:
EXTERIOR WALL AREA: 1230 sq.ft.
WINDOW AREA: 167 sq.ft.
W.S&G%= 13.6%

COVER PAGE

DESCRIPTION	DATE
FOR REVIEW	2023-12-13
FOR ENGINEERING	2024-01-12
REVISED	2025-05-21
REVISED	2025-08-27

DATE: 2025-08-27
SCALE: 3/16"=1'-0"
SHEET: **A-1**

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PROJECT DESCRIPTION:
Buchan Residence
 1083 White Oak Dr.
 Burlington ON L7T 2L6
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 W.S.&G%= 13.6%

MAIN FLOOR PLAN

DESCRIPTION	DATE
FOR REVIEW	2023-12-13
FOR ENGINEERING	2024-01-12
REVISED	2025-05-21
REVISED	2025-08-27

DATE: 2025-08-27
 SCALE: 3/16"=1'-0"
 SHEET: **A-2**

- PROVIDE REINFORCEMENT FOR GRAB BARS IN MAIN BATH
- ROOF VENTING TO BE 1 SQ. FT. FOR EVERY 300 SQ. FT. OF INSULATED CEILING AREA
- ALL STAIRS AS PER O.B.C. 9.8.3 HANDRAILS AND GUARDS AS PER O.B.C. 9.8.7-9.8.8
- PROVIDE MIN. 2 ROWS BRIDGING BELOW CERAMIC TILED AREAS O.B.C 9.30.6.4
- PROVIDE DOUBLE JOIST OR BLOCKING FOR ALL PARALLEL WALLS ABOVE
- ALL WINDOWS MORE THAN 1.8m ABOVE THE GROUND AND LESS THAN 900mm ABOVE THE FLOOR TO COME WITH OPENING LIMIT OF NOT MORE THAN 100mm

WOOD LINTEL SPANS SPF 1 OR 2 GRADE AS PER O.B.C. 2024

LINTEL SIZE	ROOF & CEILING ONLY		ROOF/CEILING + 1 STORY		ROOF/CEILING + 2 STORY	
	EXT. WALLS	INT. BRG. WALLS	EXT. WALLS	INT. BRG. WALLS	EXT. WALLS	INT. BRG. WALLS
2-2X6	4'-10"	4'-5"	4'-2"	3'-4"	3'-10"	2'-10"
2-2X8	5'-10"	5'-4"	5'-1"	3'-11"	4'-8"	3'-5"
2-2X10	7'-2"	6'-7"	6'-2"	4'-9"	5'-7"	4'-2"
2-2X12	8'-4"	7'-7"	7'-0"	5'-5"	6'-5"	4'-9"

F1 MAIN FLOOR
 3/16" = 1'

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ALL WORK TO CONFORM TO THE O.B.C.

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E1 FRONT ELEVATION
3/16" : 1'

PROVIDE GUARDS AT DOORS WHERE DISTANCE TO GRADE IS 2'-0" OR GREATER (SB-7 TYPE GUARDS FOR HOUSING OR SMALL BUILDINGS)

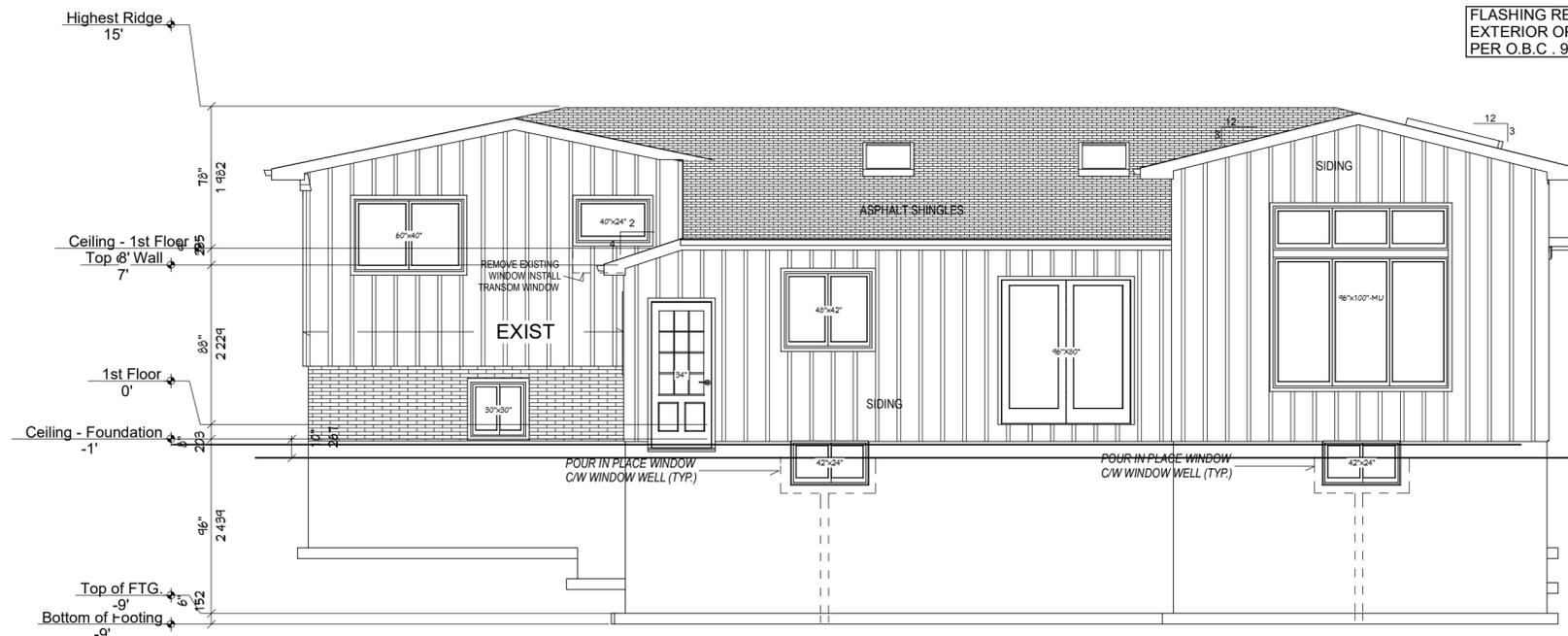
ALL TRUSSES PARALLAM BEAMS AND TJI FLOOR JOISTS TO BE SUPPLIED AND DESIGNED BY THE LUMBER SUPPLIER OR TRUSS MANUFACTURER

PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1

ALL CONSTRUCTION TO COMPLY WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE

ALL DOORS AND WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.6.8 & 9.7.6

FLASHING REQUIRED OVER EXTERIOR OPENINGS AS PER O.B.C. 9.27.3



E2 REAR ELEVATION
3/16" : 1'

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ALL WORK TO CONFORM TO THE O.B.C.

PROJECT DESCRIPTION:
Buchan Residence
1083 White Oak Dr.
Burlington ON L7T 2L6

Addition

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TOTAL AREA: 2132 sq.ft.

LOT COVERAGE: 2157 sq.ft.

PERFORMANCE INFO:
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WINDOW AREA: 167 sq.ft.
W.S&G%= 13.6%

FRONT/ REAR ELEVATIONS

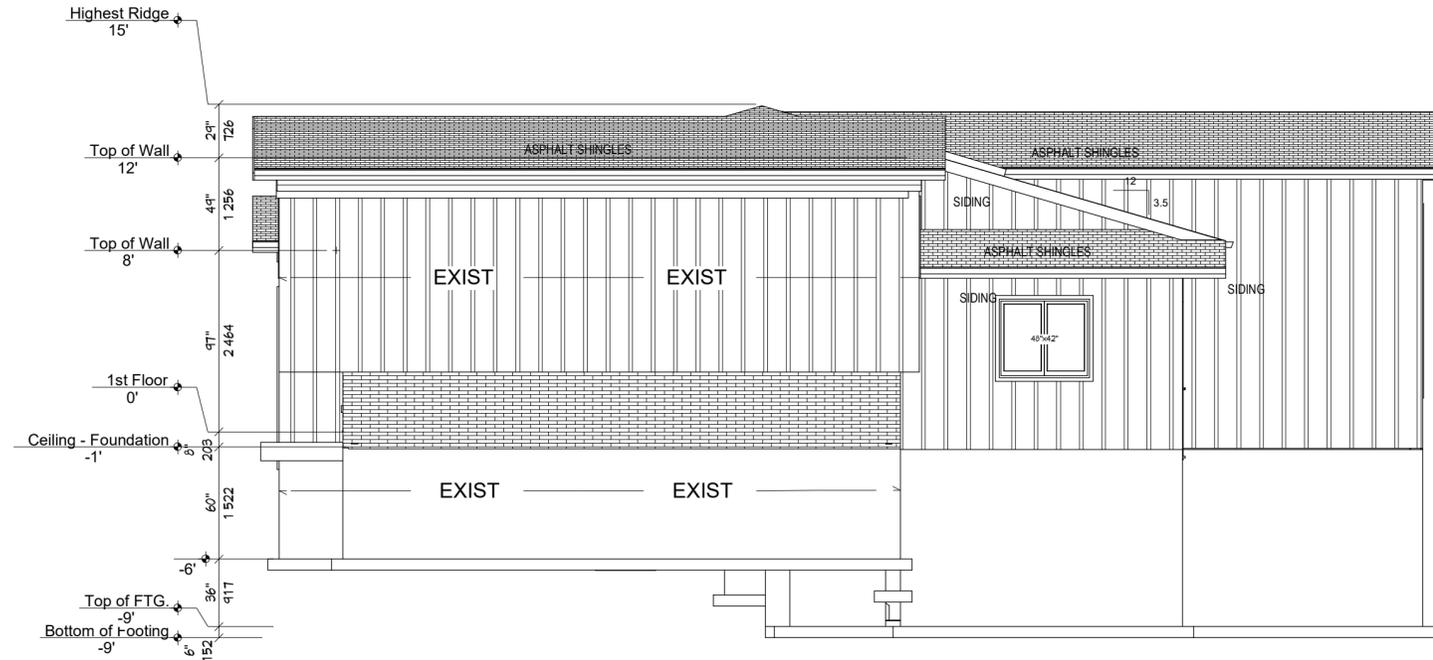
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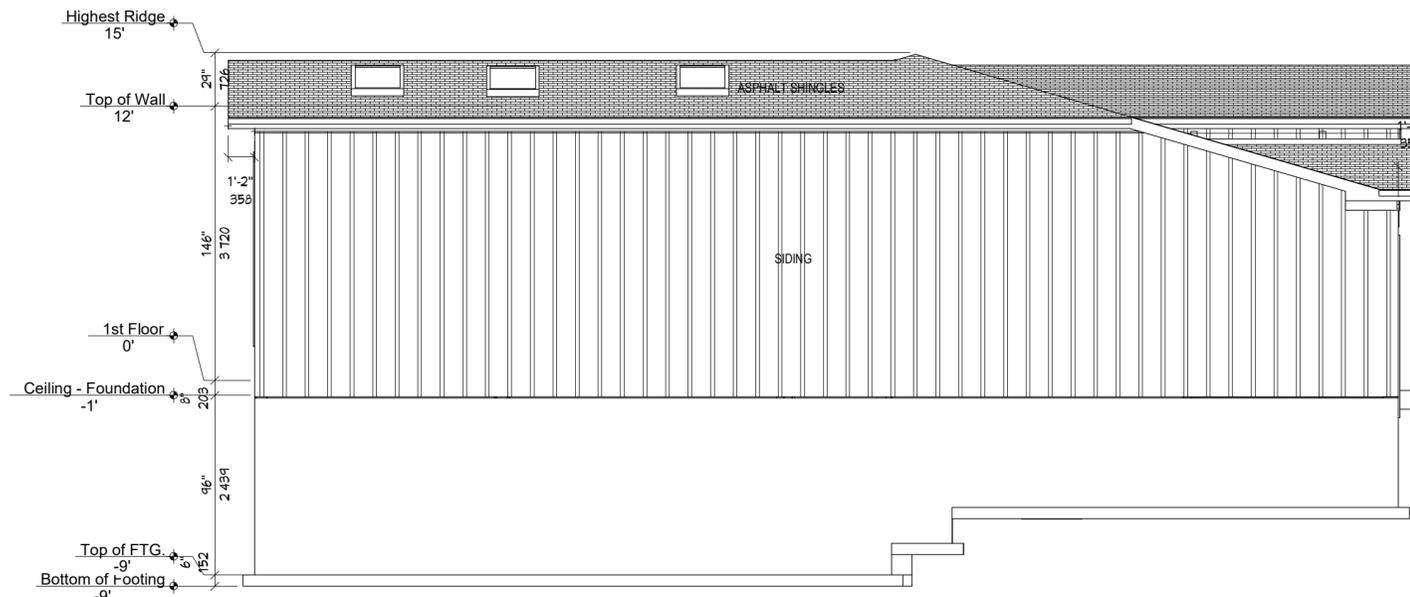
SCALE: 3/16"=1'-0"

SHEET: **A-4**

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E3 RIGHT ELEVATION
3/16" : 1'



E4 LEFT ELEVATION
3/16" : 1'

PROVIDE GUARDS AT DOORS WHERE DISTANCE TO GRADE IS 2'-0" OR GREATER (SB-7 TYPE GUARDS FOR HOUSING OR SMALL BUILDINGS)

ALL TRUSSES PARALLAM BEAMS AND TJI FLOOR JOISTS TO BE SUPPLIED AND DESIGNED BY THE LUMBER SUPPLIER OR TRUSS MANUFACTURER

PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1

ALL CONSTRUCTION TO COMPLY WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE

ALL DOORS AND WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.6.8 & 9.7.6

FLASHING REQUIRED OVER EXTERIOR OPENINGS AS PER O.B.C. 9.27.3

PROJECT DESCRIPTION:

Buchan Residence
1083 White Oak Dr.
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W.S&G%= 13.6%

SIDE ELEVATIONS

DESCRIPTION	DATE
FOR REVIEW	2023-12-13
FOR ENGINEERING	2024-01-12
REVISED	2025-05-21
REVISED	2025-08-27

DATE: 2025-08-27

SCALE: 3/16"=1'-0"

SHEET: **A-5**

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ALL WORK TO CONFORM TO THE O.B.C.

GENERAL NOTES

ALL CONSTRUCTION TO MEET OR EXCEED THE LATEST ADDITION OF THE ONTARIO BUILDING CODE

FOUNDATIONS

1. FOOTINGS TO CONFORM TO O.B.C. 9.15.
2. FOOTINGS TO BE MIN. 2200 PSI POURED CONC. AND TO REST ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 2000 LBS. PER SQUARE FT.
3. THE UNDERSIDE OF ALL FOOTINGS TO BE MIN. OF 48" BELOW GRADE.
4. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING.
5. DOWN SPOUTS SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FOR BUILDING AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.
6. FOUNDATION WALLS TO BE MIN. 5 7/8" ABOVE FINISHED GRADE.
7. ALL ANCHOR BOLTS TO BE MIN 1/2" DIA. EMBEDDED MIN. 4" INTO CONCRETE FOUNDATION AND SPACED NOT MORE THAN 7'-10" APART.

FRAMING

1. ALL LUMBER SHALL MEET O.B.C. STANDARDS AND BE S.P.F. GRADE NO. 1&2 AND SHALL BE IDENTIFIED BY A STAMP.
2. SILL PLATES TO BE MIN. 2X4 LUMBER.
3. HEADER JOISTS TO BE DOUBLED IF SPAN IS OVER 3'11" AND NOT OVER 10'-4".
4. MIN. 1 1/2" BEARING OF ALL JOISTS, CEILING JOISTS AND RAFTERS.
5. USE ENGINEERED METAL JOIST HANGERS FOR SUPPORT OF ALL JOISTS AND BEAMS WITH FRAMING INTO THE SIDES OF WOOD BEAMS, TRIMMERS AND HEADERS.
6. INTERIOR WALLS TO BE MADE UP OF 2X4 STUDS 16" O.C. UNLESS OTHERWISE NOTED.

BEAMS & COLUMNS

1. ALL STEEL BEAMS AND COLUMNS TO BE PRIMED.
2. MIN. 3 1/2" BEARING BENEATH ALL WOOD AND STEEL BEAMS.
3. STEEL COLUMNS NOTED TO HAVE A MIN. OF 3/16" WALL THICKNESS.
4. WOOD COLUMNS FOR CARPORTS OR GARAGES TO BE MIN. 3 1/2" X 3 1/2".
5. ALL OTHER WOOD COLUMNS TO BE A MIN. OF 5 1/2" X 5 1/2".

ROOF CONSTRUCTION

1. ALL TRUSSES SHALL BE DESIGNED AND CONSTRUCTED AS PER THE O.B.C.
2. SUPPLIER SHALL SUPPLY ALL PLANS INCLUDING THE LAYOUT, BEARING AND BRACING AND SHALL BEAR THE SEAL OF AN ENGINEER WITH A LICENCE TO PRACTICE IN THE PROVINCE OF ONTARIO.
3. HIP AND VALLEY RAFTERS NOT TO BE LESS THAN 2" GREATER IN DEPTH THAN THE COMMON RAFTERS AND NOT LESS THAN 1 1/2" THICK.
4. ROOF AND CEILING FRAMING TO BE DOUBLED ON EACH SIDE OF OPENING GREATER THAN 2 RAFTERS OR JOIST SPACING.
5. ROOF SPACES OR ATTICS TO BE VENTED AS PER O.B.C. 9.19.1 TO THE EXTERIOR HAVING A TOTAL AREA OF 1/300 OF THE INSULATED CEILING AREA.
6. INSULATION SHALL BE INSTALLED IN A MANNER WHICH WILL NOT REDUCE THE FLOW OF AIR THROUGH THE VENTS AT ANY PORTION OF THE ROOF SPACE.
7. Baffles SHALL BE INSTALLED AT THE SOFFIT/WALL AREA TO ENSURE AIR FLOW FROM SOFFIT VENTS.

MASONRY VENEER WALLS

1. ALL MASONRY WALLS TO BE MIN. 3 5/8" THICKNESS AND 24'-0" MAX. HEIGHT.
2. MASONRY TIES TO BE MIN. 22ga. 7/8" WIDE AND SPACED NOT MORE THAN 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY AND NAILED TO THE STUDS BENEATH THE SHEATHING.
3. PROVIDE 1" AIR SPACE BETWEEN VENEER AND WALL SHEATHING.
4. MAX. CORBEL OVER FOUNDATION WALL IS 1/2".

ENGINEERED LUMBER

1. BEAM AND JOIST SUPPLIER SHALL SUBMIT SHOP DRAWINGS AND ENGINEERING CALCULATIONS FOR ALL BEAMS AND JOISTS AND SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO.
2. ALL FRAMING MATERIALS AND METHODS FOR GLUE LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECS.
3. ALL CONNECTORS AND FASTENERS TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECS.

STAIRS:

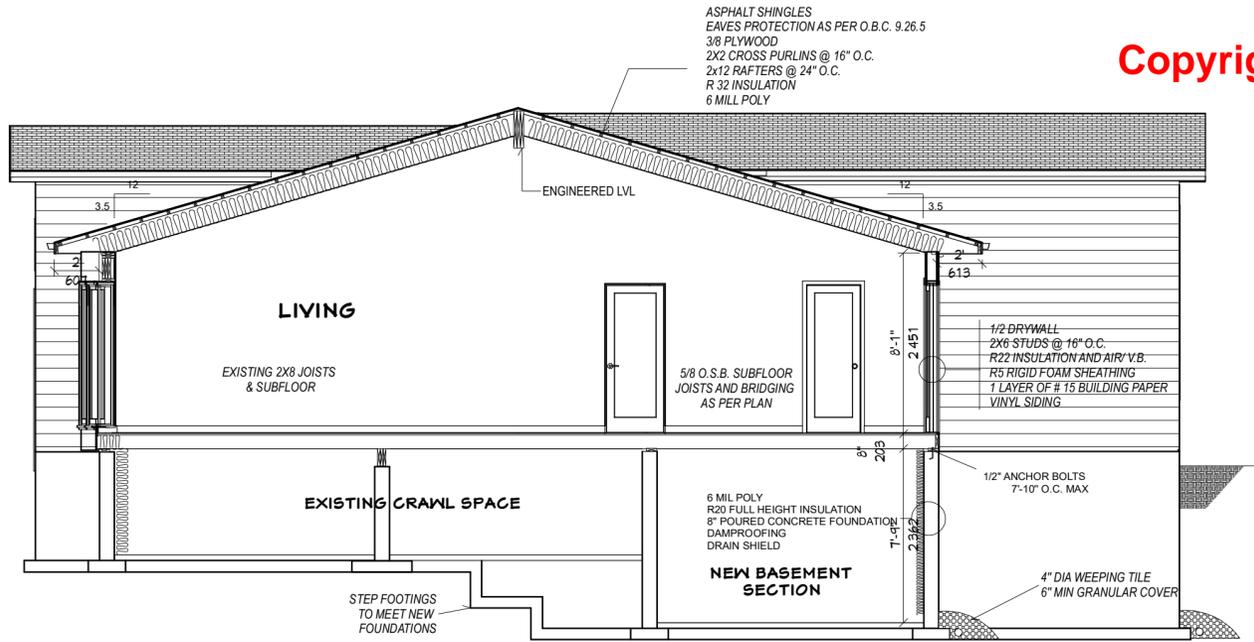
- MAX. RISE 7 7/8"
- MIN. RUN 10 1/16"
- MIN. TREAD 10 1/16"
- MIN. HEAD RM. 6' 9"
- MIN. WIDTH 2' 10"

1. A LANDING MUST BE MIN. THE WIDTH OF THE STAIR OR 43" IN LENGTH AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPLE ENTRANCE TO A DWELLING AND OTHER ENTRANCES WITH MORE THAN 5 RISERS.
2. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE THAT IS MORE THAN 25 5/8" ABOVE THE ADJACENT SURFACE.
3. GUARDS SHALL HAVE NO OPENINGS GREATER THAN 4" AND NO MEMBER BETWEEN 4" AND 2'-11" THAT WILL FACILITATE CLIMBING.
4. HEADROOM FOR STAIRS WITHIN LIVING AREAS SHALL BE MIN. 6'-9" MEASURED VERTICALLY FROM A LINE DRAW FROM THE FRONT OF THE NOSING.
5. HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF ALL STAIRS LESS THAN 3'-7" IN WIDTH.
6. EXTERIOR STAIRS WITH 3 OR MORE RISERS TO HAVE A HANDRAIL ON AT LEAST ONE SIDE.

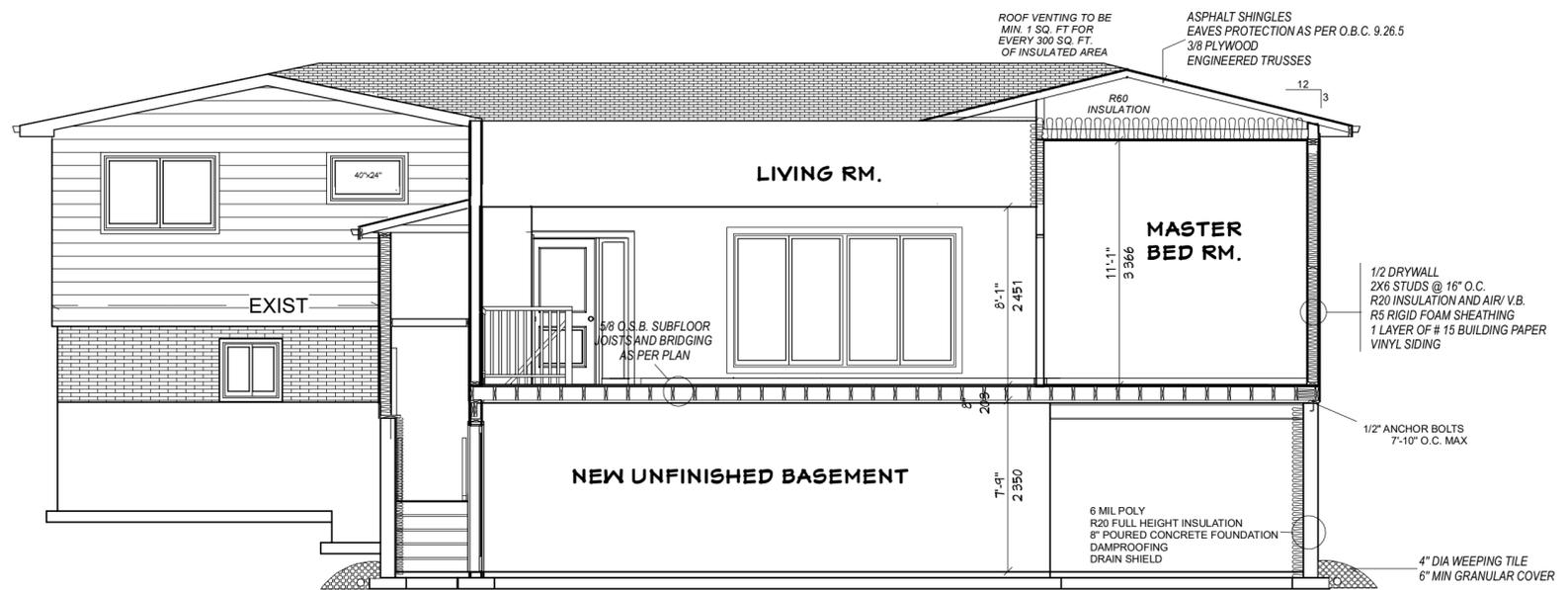
DOORS & WINDOWS

1. EVERY FLOOR CONTAINING A BEDROOM AND NOT CONTAINING AN UNOBSTRUCTED OPENING AREA OF 3.8 SQ. FT. AND NO DIMENSION LESS THAN 15" WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS.
2. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6' 7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY.
3. DOORS SHALL HAVE A DEADBOLT.

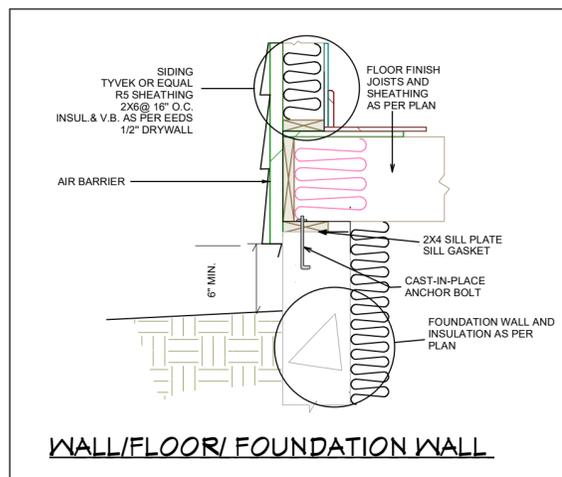
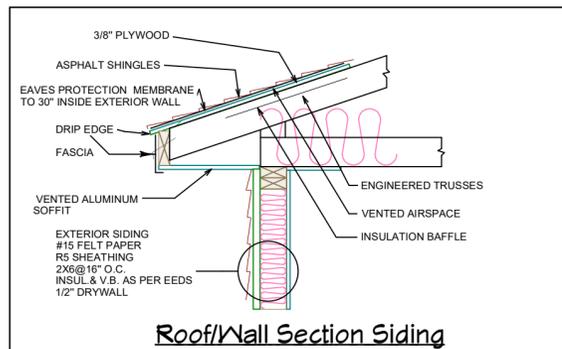
Copyright Act Applies to Use and Production



A-A SECTION
3/16" : 1'



B-B SECTION
3/16" : 1'



PROJECT DESCRIPTION:
Buchan Residence
1083 White Oak Dr.
Burlington ON L7T 2L6
Addition

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. SANDD Construction Ltd. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF SANDD CONSTRUCTION LTD. DEVELOPED FOR THE EXCLUSIVE USE OF SANDD CONSTRUCTION LTD. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SANDD CONSTRUCTION LTD. IS PROHIBITED.

DRAWINGS PROVIDED BY:
SD
sanddconstruction@outlook.com
PHF 905-679-5991

REGISTRATION INFORMATION
The undersigned has reviewed and takes responsibility for this design and has the qualifications set out in the Ontario Building Code to be a designer
Name: JAMES SUPPLE B.C.I.N.# 36897

AREA:
EXISTING FLOOR: 1442 sq.ft.
NEW FLOOR AREA: 640 sq.ft.
TOTAL AREA: 2132 sq.ft.
LOT COVERAGE: 2157 sq.ft.
PERFORMANCE INFO:
EXTERIOR WALL AREA: 1230 sq.ft.
WINDOW AREA: 167 sq.ft.
W.S&G%= 13.6%

NOTES SECTIONS

DESCRIPTION	DATE
FOR REVIEW	2023-12-13
FOR ENGINEERING	2024-01-12
REVISED	2025-05-21
REVISED	2025-08-27

DATE: 2025-08-27
SCALE: 3/16"=1'-0"
SHEET: **A-6**

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ALL WORK TO CONFORM TO THE O.B.C.

Committee of Adjustment

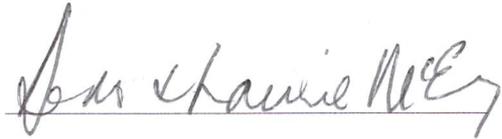
August 5th, 2025

City of Burlington

To Whom it May Concern,

We have reviewed the drawings as shown to us by Mr. and Mrs. Buchan for the renovation and addition they are considering for their home at 1083 White Oak Drive. We understand these drawings will be submitted to the city of Burlington for a Minor Variance Application and we have no objections to the proposal.

Sincerely,



Signature

DENNIS & LAURIE MCENIRY

Printed Name

1073 WHITE OAK DR. BURLINGTON

Address

August 6/25

Date

Committee of Adjustment

August 5th, 2025

City of Burlington

To Whom it May Concern,

We have reviewed the drawings as shown to us by Mr. and Mrs. Buchan for the renovation and addition they are considering for their home at 1083 White Oak Drive. We understand these drawings will be submitted to the city of Burlington for a Minor Variance Application and we have no objections to the proposal.

Sincerely,

Grant Borowik

Signature

GRANT BOROWIK

Printed Name

1079 WHITE OAK DR BURLINGTON ON L7N 2L6

Address

August 6, 2025

Date

Committee of Adjustment

August 5th, 2025

City of Burlington

To Whom it May Concern,

We have reviewed the drawings as shown to us by Mr. and Mrs. Buchan for the renovation and addition they are considering for their home at 1083 White Oak Drive. We understand these drawings will be submitted to the city of Burlington for a Minor Variance Application and we have no objections to the proposal.

Sincerely,



Signature

Lucy Altobelli

Printed Name

Address

August 6, 2025

Date

Committee of Adjustment

August 5th, 2025

City of Burlington

To Whom it May Concern,

We have reviewed the drawings as shown to us by Mr. and Mrs. Buchan for the renovation and addition they are considering for their home at 1083 White Oak Drive. We understand these drawings will be submitted to the city of Burlington for a Minor Variance Application and we have no objections to the proposal.

Sincerely,



Signature

Charlie Johns

Printed Name

210 Grove Park Drive

Address

August 9, 2025

Date

Committee of Adjustment

August 5th, 2025

City of Burlington

To Whom it May Concern,

We have reviewed the drawings as shown to us by Mr. and Mrs. Buchan for the renovation and addition they are considering for their home at 1083 White Oak Drive. We understand these drawings will be submitted to the city of Burlington for a Minor Variance Application and we have no objections to the proposal.

Sincerely,

P. Matsos

Signature

Philomena Matsos

Printed Name

1086 White Oak Dr.

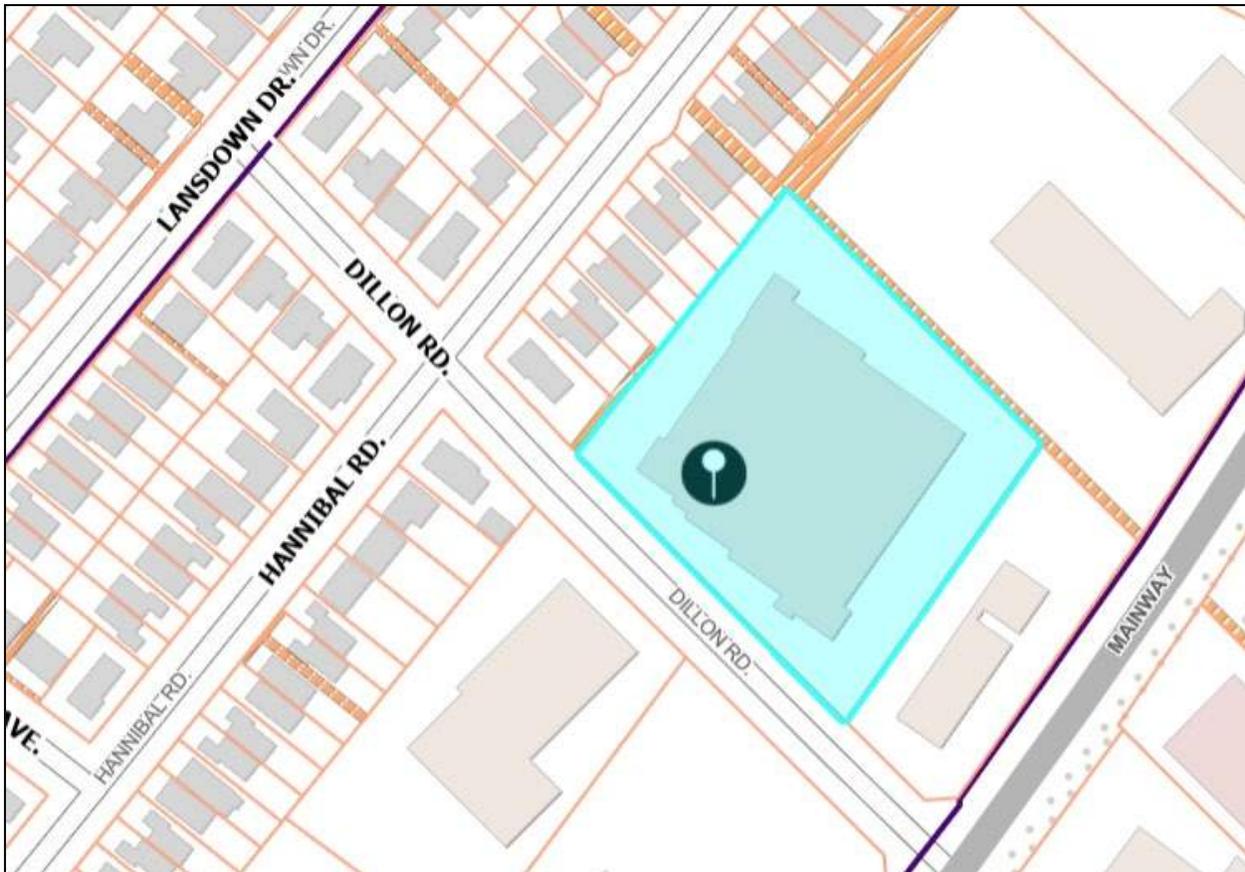
Address

AUGUST 6, 2025

Date

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Owner(s): 1000417067 Ontario Inc.
Address: 1233 Dillon Rd., Burlington
File No. **A-073/25**
Ward: 4



Staff Comments

Committee of Adjustment

This application was deferred from the January 21, 2026 meeting at the request of the applicant. The applicant requested additional time to provide justification for their application and address public concerns. There have been no changes made to the application at this time; however, the applicant has provided supplemental material to support their minor variance request.

Date: February 3, 2026

Prepared By: E. Shacklette

There are 4 previous minor variance applications on record for this property.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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File No. A-089/2023 – Withdrawn

- Description of file

File No. A-058/1991 – Approved

- To permit the extension/enlargement of a use previously permitted by the Committee of Adjustment;
- To permit a 12.8m wide side yard setback abutting a residential zone instead of the required 15.2m

File No. A1407/1971 - Approved

- To permit indoor tennis and archery courts being similar in nature to presently permitted uses specifically provided as “Bowling Alleys” and “Curling” as the said by-law specifies.

File No. A1854

- undetermined

Date: January 6, 2026

Prepared By: E. Shacklette

Zoning

The subject property is zoned GE2 (General Employment), under Zoning By-Law 2020, as amended. The GE2 zone requires, among other things, the following:

USES	ZONES			
	BC1	BC2	GE1	GE2
Office				
All Office Uses	✓	✓	✓	✓
Hospitality				
Hotel	✓ (e)			
Convention/Conference Centre	✓	✓	✓	
Banquet Centre	✓	✓	✓	
Caterer	✓	✓	✓	
Automotive				
Car Wash per Part 1, 2.9	✓		✓	✓ (a)
Motor Vehicle Sales, Leasing, Rental, and Service			✓	
Motor Vehicle Service Station per Part 1, 2.10	✓		✓	✓
Motor Vehicle Repair Garage	✓		✓	✓ (a)
Retail				
Convenience Store	✓ (f)	✓ (f)	✓ (f)	✓ (f)
Nursery or Garden Centre			✓ (f)	✓ (a,f)
Machinery & Equipment	✓ (f)	✓ (f)	✓ (f)	✓ (a,f)
Computer Hardware & Software	✓ (f)	✓ (f)	✓ (f)	✓ (f)
Office Furniture & Equipment	✓ (f)	✓ (f)	✓ (f)	✓ (f)
Service Commercial				

**COMMITTEE OF ADJUSTMENT
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USES	ZONES			
	BC1	BC2	GE1	GE2
Standard Restaurant	✓ (f)	✓ (f)	✓ (f)	✓ (a,f)
Standard Restaurant with Dance Floor	✓ (f)	✓ (f)	✓ (f)	✓ (a,f)
Fast Food Restaurant	✓ (f)	✓ (f)	✓ (f)	✓ (a,f)
Convenience Restaurant	✓ (f)	✓ (f)	✓ (f)	✓ (f)
Night Club	✓ (f, h)	✓ (f, h)	✓ (f, h)	
Banks, Trust Companies, Credit Unions	✓ (f)	✓ (f)	✓ (f)	✓ (f)
Retail Brewery	✓ (f)	✓ (f)	✓ (f)	✓ (a,f)
Other Service Commercial Uses	✓ (f)	✓ (f)	✓ (f)	✓ (f)
Outdoor Patio	✓ (k)	✓ (k)	✓ (k)	✓ (k)
Recreation				
Recreational Establishment	✓ (f)	✓ (f)	✓	✓ (g)
Other				
Body-Rub Parlour per Part 1, Subsection 2.32			✓	

Footnotes to Table 3.2.1

- f) Permitted on a lot having a total building floor area of 3000 m². The total floor area of all retail, service commercial and recreation uses shall not exceed 15% of the floor area of each building within which a retail or service commercial use is located. Notwithstanding the above, a restaurant may occupy up to 100% of the total floor area of a single building on a lot, provided that the total existing building floor area of all buildings on the lot is not less than 3000 m², and provided the lot abuts an arterial, multi-purpose arterial, or minor arterial road. Where multiple contiguous lots are developed as one comprehensive development or under a single comprehensive site plan, all lots shall be deemed to be one lot for purposes of applying this zoning regulation.
- g) Outdoor recreational activities are not permitted on lands abutting a residential zone.

Proposal:

The applicant is proposing to establish a dog daycare which would be open to the general public. The proposed use is considered a service commercial use and requires a variance to be permitted as the GE2 zone only permits 15% of a building over 3000m² to contain Retail, Service Commercial or Recreational Establishment uses.

The existing building operates with a recreational establishment and associated accessory uses. While the GE2 zone does not restrict recreational establishments to a maximum percentage of the building if they are a stand alone use, the inclusion of a proposed dog daycare triggers a variance as footnote (f) applies to service commercial uses.

The variance request seeks to exclude recreational establishment uses from the requirements of footnote (f) as they are permitted as of right within the GE2 zone as a standalone use.

Variance required:

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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1. To exclude recreational establishment uses from the requirements of Part 3, Table 3.2.1, footnote (f), whereas Zoning By-law 2020 restricts the total floor area of all retail, service commercial and recreation uses to a maximum of 15% of each building.

Condition:

1. The applicant shall apply for a Zoning Clearance Certificate.

Note:

1. The proposal does not trigger a parking review as the Service Commercial parking rate is less than the recreational establishment parking rate.

Date: November 21, 2025Prepared By: Nathan Dart, CPT**Site Planning**

Site Characteristics	
Lot Frontage (m)	113.33 m
Lot Area (m²)	11,029.17 m ²
Existing Land Uses <i>(ex. buildings, structures, driveways, fences, etc...)</i>	6062.29m ² recreational establishment with associated parking lot (100 spaces)
Site Grading <i>(ex. Flat and level, significant grade differences)</i>	Generally flat and level with small amounts of undulation and grade change
Notable Site Features	N/A
Surrounding Land Uses <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Low-rise Residential (north) Employment uses (east, west and south)
Nearest Major Intersection	Walkers Line and Mainway
Neighbourhood Boundaries* <small>*Based on OP, 1997 residential neighbourhood definition</small>	North: Lansdown Drive East: Walkers Line South: CN Railway West: Palmer Trail

Neighbourhood Characteristics:

- The prevailing form consists of a blend of residential and employment uses, with the subject lands situated at the interface between a stable low-rise neighbourhood and a collection of larger-format employment properties.
- The residential area is characterized by one-storey and one-and-a-half-storey detached dwellings, including a mix of original bungalows and newer two-storey replacement homes that maintain a low-rise neighbourhood character.
- The adjoining employment area is comprised of large-format employment buildings situated on expansive lots, accommodating a wide range of uses such

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

as autobody shops, breweries, service trades, recreational establishments, warehousing, and other general employment uses.

- The zoning in the surrounding area reflects this land use transition and includes R4 and R3.2 residential zones, as well as GE2 and GE1 general employment zones.

A site visit was conducted on December 11, 2025, and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

The proposal meets the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- Section 76 of the ROP indicates that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. Given that small-scale service commercial uses are permitted within the General Employment designation in the Burlington Official Plan, 1997 the variance is consistent with the intent and purpose of this regional Official Plan section
- The proposal to exclude recreational uses from the requirements of Part 3, Table 3.2.1, footnote (f), is consistent with the permitted uses of the 'Employment Areas' overlay designation on Map 1h, which permits a range of ancillary uses that are associated with an employment use or supportive of the overall Employment Area, as identified in Local Official Plans in accordance with Section 83.2(6)b) of this Plan;
- The proposal meets the intent of section 83.2 (6) b) [ii], which requires local municipalities to identify a range of employment uses, ancillary uses, and sensitive land uses, as appropriate for the planned function of the specific land use designations and their role within the Regional Urban Structure and Local Urban Structures

Regional Staff have also reviewed this application and have no objections to the Minor Variance application.

Official Plan, 1997 & 2020

Parts of Burlington Official Plan, 2020 (BOP, 2020) are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

in-force policies under BOP, 2020 and the older Burlington Official Plan 1997 (BOP, 1997).

The proposal/variances meet the general intent and purpose of the Official Plan for the following reasons:

- The proposal is consistent with the ‘General Employment’ land use designation under Schedule ‘B’ (Comprehensive Land Use Plan- Urban Planning Area) of the BOP, 1997 as amended, which permits recreational uses and a limited range of service commercial uses subject to the provisions of Part III, Subsection 3.3.2 d)
- Whereas sites designated ‘General Employment’ are subject to specific evaluation criteria under Part III, Subsection 3.3.2 d), the proposed service commercial use is consistent in the following ways:
 - The surrounding GE1 & GE2 employment area includes a wide range of uses such as autobody shops, breweries, service trades, recreational establishments and warehousing. A dog daycare functions as a service commercial use that supports the surrounding area by offering a convenient, discretionary service that complements the functioning of the area, consistent with criteria (i)
 - the existing structure has floor area greater than 3,000m², consistent with criteria (ii)
 - the proposed dog daycare is under 15% of the total floor area threshold, consistent with criteria (iii)
 - the proposed use is not automotive related, consistent with criteria (iv)
- Whereas sites designated ‘General Employment’ are subject to specific evaluation criteria under Part III, Subsection 3.3.2 f), the proposed service commercial use is consistent in the following ways
 - There is no change proposed to the existing building footprint and the proposal does not trigger a significant change to the parking requirements or built form, consistent with the criteria of this section
- Whereas *compatible* is defined as “Development or re-development that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health”, which is evaluated in accordance with measurable/objective standards, the planner notes the following:
 - The proposal is a technical variance that has no functional adverse impacts on existing or proposed development in the area
 - The proposed does not introduce a sensitive land use to an employment area
 - Engineering has reviewed the proposal for potential drainage impacts affecting neighbouring properties and does not object.
 - Forestry staff have reviewed the proposal for potential tree impacts and do not object.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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-
- Transportation staff have reviewed the proposal for potential traffic impacts and do not object.

2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes

The general intent and purpose of the limit to retail, service commercial and recreation uses (footnote f)) provision of Burlington Zoning Bylaw 2020 is to preserve employment land, allow only ancillary commercial uses to a certain floor area, and prevent large collections of uses from eroding the employment function of GE1 & GE2 zones while still offering limited amenities that support employment operations. The proposed minor variance is consistent with this intent for the following reasons:

- The requested variance is technical in nature, arising solely from how footnote (f) is triggered once a service commercial use is introduced into an otherwise permitted recreational establishment.
- The recreational establishment use is permitted as-of-right within the GE2 zone and may occupy 100% of the building floor area under Table 3.2.1, independent of the proposed service commercial use.
- Footnote (f) unintentionally limits the recreational establishment use once the dog daycare is introduced, even though the zoning framework allows recreational uses to operate as the principal use without floor area limitation under footnote (g).
- No external building changes or intensification of built form are proposed, and the existing employment function of the site remains unchanged.
- The dog daycare represents a small, ancillary service commercial use that complements the broader employment area and does not undermine the employment land supply or the primary recreational use operating on the site.
- The overall employment role of the GE2 zone is preserved, as the variance prevents a permitted principal use from being constrained solely due to the addition of a minor ancillary service.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

The proposed variance is desirable for the appropriate development of the land because:

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

-
- The variance enables the continued functioning of an existing, permitted recreational establishment without imposing unintended limitations triggered only because a small service commercial use is added.
 - The introduction of a dog daycare is low-impact and internal to the building, generating no negative effects (introduction of a sensitive land use) on adjacent employment uses or the surrounding area.
 - The variance maintains the intent of the GE2 zone by ensuring the principal recreational use remains permitted while allowing a small ancillary component without altering the site's employment function.
 - There are no external changes proposed, meaning no impacts on streetscape, built form, traffic circulation, or site operations.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed variance is considered minor in nature for the following reasons:

- The variance relates to a technical interpretation of how the floor area for recreational uses is restricted once a service commercial use is introduced, rather than an expansion of built form, intensity, or site activity.
- No external construction or increase in building massing is proposed, ensuring no visual, operational, or compatibility impacts on the surrounding employment area.
- The dog daycare occupies less than 15% of the total floor area and does not result in a net loss in employment space compared to the building's current uses. The introduction of a small dog daycare would not preclude other portions of the building from conversion to employment uses
- The recreational establishment is already permitted at its existing scale, and the variance merely prevents the recreational use from becoming restricted due to the introduction of one small service commercial use.

Cumulative Effects of Multiple Variances and Other Planning Matters:

NA

Recommendation:

Staff has reviewed the proposed variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Date: December 19, 2025

Prepared By: Ryan Kochuta

**Report Schedules & Attachments:
Attachment No. 1 (Site Photos)**



View from the front



View from the southeast side



View from the southwest side



View from the northeast side



View from the northeast side



View from the southeast side

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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Development Engineering

Development Engineering has reviewed the proposed minor variances and no objection.

Date: December 15, 2025 Prepared By: P. Dimitroulias

Forestry

Forestry has no objection to the proposed variance requested. However, forestry provides the following advisory comments:

Advisory Comments:

1. A tree permit will be required for any and all work around regulated trees in accordance with the City's Public and Private Tree By-laws.

Date: December 15, 2025 Prepared By: M.Krzywicki

Building

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.

No additional comments received at the time the staff report was published.

Transportation Planning

Deemed Road Width Analysis

Dillon Road is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: September 26th 2025 Prepared By: Taylor Kirchknopf

Transportation Planning have reviewed the proposed minor variance application and have no comments.

Date: November 24, 2025 Prepared By: E. Chen

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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Finance

Notice regarding Development Charges:

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: Nov 21, 2025

Prepared By: L. Bray

Halton Region

Regional Staff have reviewed the Minor Variance application proposing to permit a service commercial use (dog daycare) to occupy more than 15% of a building over 3000 m² within the GE2 zone.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.
- Staff have reviewed the application from the Region's Source Water Protection requirements. In accordance with the MOU and to ensure protection of groundwater sources, Halton Region provides the following comments:
 - The property is located within the jurisdiction of the Halton-Hamilton Source Protection Plan (SPP). The Halton-Hamilton SPP can be accessed online at: <http://www.protectingwater.ca/>
 - The property is located in an Intake Protection Zone 2 (VS= 6.3) and a Highly Vulnerable Aquifer.
 - Based on the information provided by the applicant, this application is not subject to Section 59 under the *Clean Water Act, 2006*. Therefore, this application can

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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proceed from a Source Water Protection perspective, and a Section 59 notice will not be required.

- Reference material related to the Source Water Protection Program and the important role landowners play in protecting drinking water sources, has also been attached for the owner's information.
- Regional staff have no objections to the Minor Variance application.

Date: December 17, 2025

Prepared By: Amanda Rogers

Burlington Hydro

Please see attachments at the end of this report for Burlington Hydro Comments.

Date: December 4, 2025

Prepared By: Zakariya Al-Doori

Source Water Protection Factsheet

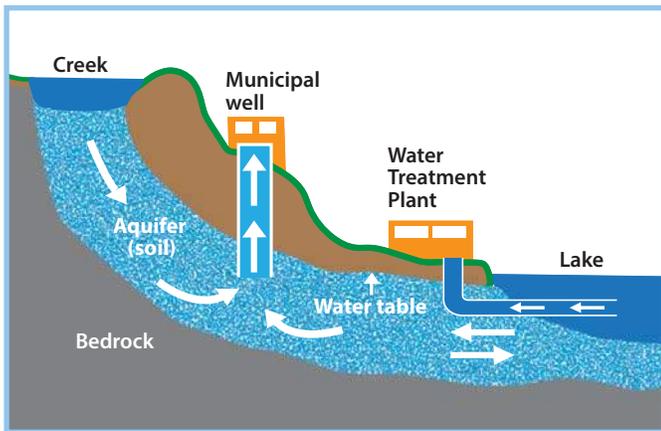
halton.ca

Planning and Building Applications



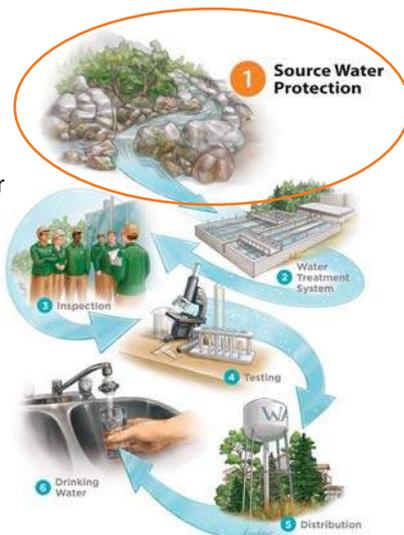
Sources of drinking water

Sources of drinking water include groundwater from underground aquifers and surface water from streams, rivers and lakes. These water sources are used to supply municipal drinking water systems and private wells in Halton Region, as illustrated below.



Protecting Halton's drinking water

To ensure the consistent delivery of safe and high quality drinking water to our residents and businesses, Halton Region uses a proactive multi-barrier approach to safeguard our municipal drinking water. Under the *Clean Water Act, 2006*, the very first barrier in this approach is **Source Protection**.



Source water protection and Planning/Building Applications

Under the *Clean Water Act, 2006*, additional protection of these drinking water sources from potential contamination or overuse is provided through the mandatory implementation of approved Source Protection Plans. These Plans contain policies to protect municipal sources of drinking water in certain **vulnerable areas**.

Planning/building applications on properties located within **vulnerable areas** may be subject to Source Protection Plan policies if they propose activities identified as significant drinking water threats that may potentially contaminate or overuse municipal drinking water sources such as:

- Applying, handling and storing road salt and snow storage.
- Handling and storing fuels, solvents, hazardous waste and other related chemicals.
- Activities that reduce return of water into the ground.
- Applying, handling, and storing pesticides, fertilizers, agricultural and non-agricultural materials.
- Activities that take water without returning it to the same water source.
- Installing or modifying septic and other sewage systems.
- Use of land for livestock yards and/or pasturing.

Is my property in a vulnerable area?

Applicants can contact their local municipal Planning and Building Departments or Halton Region's Source Protection Office to obtain this information prior to submitting an application. To find out if your property falls within a vulnerable area, such as a wellhead protection area or surface water treatment plant intake zone, visit **halton.ca** or call 311.

Did you know? Compliance with Source Protection Plans is applicable law in the Planning Act and the Ontario Building Code when the property is located in a vulnerable area.

How is my application reviewed?

Municipalities have developed tools to determine whether your application may be subject to Source Protection Plan policies, such as the **Source Protection Checklist** (available at local municipal building/ planning service desks). If the subject property is located in a vulnerable area, applicants will be requested to complete and submit this single page checklist along with other supporting documentation (drawings, details, etc.).

Staff will review the submission and communicate any Source Water Protection requirements to the applicant. In some cases, additional information regarding the proposed activity may be requested to complete the review process.

Step 1

Local municipal staff circulate applications (including Source Protection Checklist) within vulnerable areas to Halton Region's Source Protection Office



Step 2

Halton Region staff will communicate results of Source Protection assessment to applicant and local municipal staff



What do I need to do to comply with Source Water Protection?

Some activities will be managed through traditional methods such as Environmental Compliance Approvals, Permits-To-Take-Water, Nutrient Management Plans and Nutrient Management Strategies. However, depending on the level of risk associated with the proposed activities, some may be prohibited as proposed or require other supporting documents such as:

- Risk Management Plans (see Risk Management Plan fact sheet)
- Site-Specific Salt Management Plans
- Water Balance Assessments
- Hydrogeological Assessments

Where proposed activities are prohibited or regulated through Source Water Protection, municipal staff will provide applicants with detailed feedback regarding what is required.

Did you know? For planning/ building applications located in vulnerable areas, a notice to proceed is required from Halton Region's Risk Management Official before applications are processed.



For more information, visit halton.ca, email sourcewater@halton.ca or call 311.

**RETHINK
WATER**



Enjoy Conserve Protect





December 2, 2025

Applicants: 1000417067 Ontario Inc.

Subject: Minor Variance

File NO: 540-02-A-073/25

Location: 1233 Dillon Road, Burlington, ON.

In response to your correspondence(s), a member of our Engineering Department has reviewed the circulated information and has the following comments:

We have **no objection** to the proposal to establish a dog daycare.

In addition, we want to stipulate the following:

- Customers and their agents planning and designing for electricity service must refer to all applicable Provincial and Canadian electrical codes, all applicable federal, provincial, municipal laws, regulations, codes, and by-laws to ensure compliance.
- All work on the BHI distribution system shall be conducted in accordance with the latest edition of the Ontario Occupational Health and Safety Act (OSHA), the Regulations for Construction Projects, the Regulations for Industrial Establishments and the Electrical Utility safety Rules published by the Infrastructure Health and Safety Association (IHSA).
- Service is available under BHI's latest Standard Service Conditions:**
<https://www.burlingtonhydro.com/about/regulatory-affairs/conditions-of-service.html>
- Relocation, modification, or removal of existing hydro facilities, if required, shall be at the customer's expense. BHI will refer to the latest Standards and Regulations if possible issues with the clearances arise between existing BHI facilities and existing/proposed building structures.
- BHI easement (if any) is to remain clear of heavy vehicle traffic, and the customer is responsible for keeping the easement lands free and clear of any trees, fences, buildings, structures, or obstructions unless any of the foregoing is approved in writing by Burlington Hydro Inc. Further, the Customer shall remove the same upon the request of Burlington Hydro Inc.
- The customer is to ensure that Burlington Hydro Inc. (BHI) has access to the hydro facilities.
- The customer is to acquire any easements for BHI if required.
- The project must meet City of Burlington Standards.



- ☑ A building, permanent structure or building apparatus shall maintain minimum horizontal clearance from existing power lines (Refer to the Burlington Hydro brochure, notice that the clearances shown on the standard are minimum; additional clearances are required to allow conductor swing, scaffold installation and future building maintenance). Please arrange for a site meeting with the BHI representative, calling Eng. Desk at 905 332-2250, or emailing Engineering@burlingtonhydro.com to validate the required minimum clearances to existing power lines, obtain approved hydro service layout/consent and avoid any possible safety issues.
- ☑ Please arrange for underground hydro cable locate(s), prior to beginning construction, by contacting Ontario One Call (800) 400-2255.
- ☑ Do not excavate within two meters of BHI's transformer, poles and anchors.
- ☑ Please ensure that no work is performed in close proximity to the hydro service cable. Machine excavation within 1.0m of the underground hydro plant is strictly prohibited.
- ☑ Please refer to the latest edition of the Occupational Health and Safety Act ("OHSA") and Regulations for Construction Projects when work is planned to be performed in proximity to the hydro distribution system.
- ☑ Arrange for the disconnect and isolation of the power supply if a person or equipment is to encroach on the minimum distance permitted under the OHSA and OESC.
- ☑ Please arrange for a site meeting with a BHI representative by sending an email to Eng. Desk Engineering@burlingtonhydro.com, prior to beginning any construction/demolition near existing overhead or underground hydro facilities, to get approved BHI service layout/consent and avoid any possible service complications or safety issues.

1340 Brant street, Burlington, ON - L7R 3Z7 burlingtonhydro.com (905) 332-1851

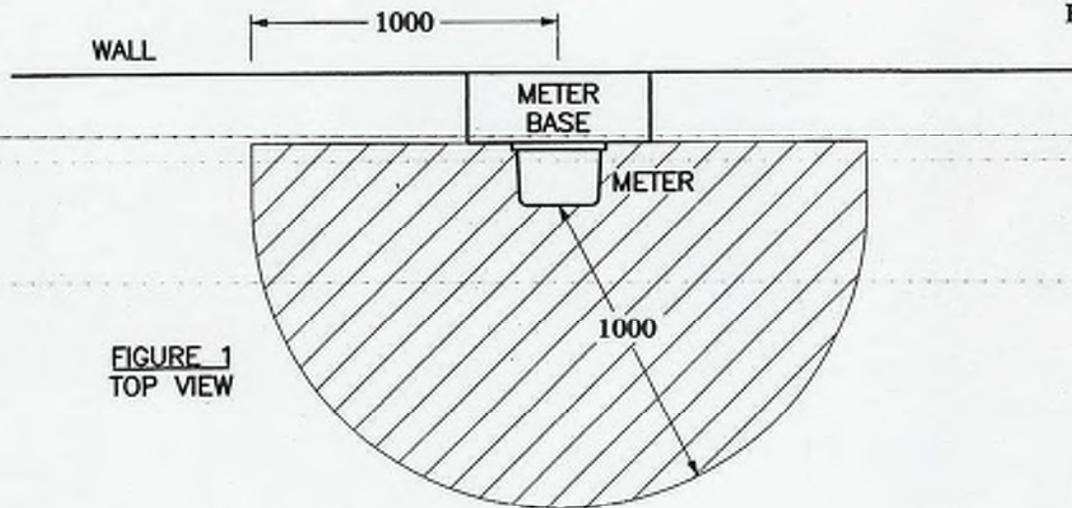
Regards,
Zakariya Al-Doori
Engineering Services Technician

Cc: Rosso Parra, P. Eng
Engineering Manager, Customer Connections
& Key Accounts

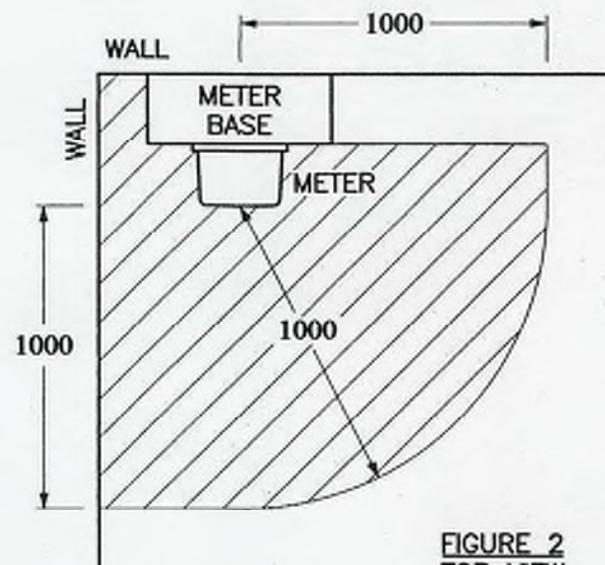
06.03/2025
RP



partner since 2009

FIGURE 1
TOP VIEW**NOTES**

1. HATCHED AREA TO BE KEPT CLEAR OF ANY OBSTRUCTION TO ALLOW FOR SAFE WORKING CLEARANCE.
2. WHERE MULTIPLE METERS ARE INSTALLED, CLEARANCES ARE REQUIRED AROUND EACH METER.
3. WHERE METERS ARE INSTALLED IN CABINETS, ALL DOORS MUST BE ABLE TO BE OPENED 100 DEGREES.

FIGURE 2
TOP VIEW**REQUIRED WORKING CLEARANCE AROUND METERS****METRIC**
LINEAR DIMENSIONS SHOWN IN MILLIMETRES

Clearances to Overhead Electrical Infrastructure

Communication between all parties involved in the design, construction, renovation, for the use and maintenance of buildings near overhead (OH) electrical infrastructure is key. Planners, architects, developers / contractors, and property owners must be informed and work together to ensure all laws, regulations and local requirements are met for the safety of workers and occupants.

New Buildings or Additions to Buildings

It is essential that Burlington Hydro Inc. is notified on proposed projects early in the design phase to review and provide feedback. Site plan applications should be provided, including the drawings, to capture any conflicts before any permit is issued by the municipality. Ideally, Burlington Hydro Ince. will be asked to provide pre-design input.

For any new building or additions to existing buildings, there are a number of codes and regulations that govern the proximity to overhead electrical infrastructure that must be adhered to by all stakeholders. The Ontario Building Code (OBC), Ontario Electrical Safety Code (OESC), Ontario Occupational Health and Safety Act (OHSA), and Ontario Regulation 22/04 all have the same requirements regarding clearances. **These clearances take into account the conductor swing as per the OBC and apply to the outermost part of the building, which includes the balconies, fire escapes, flat roofs, or other projections beyond the face of the building as shown in Figure 1.**

The OBC regulates the design and construction of all new buildings and for additions, alterations and change of use of existing buildings. Applying Article 3.1.19.1, Above Ground Electrical Conductors; Clearances to Buildings, **minimum horizontal clearances to OH electrical infrastructure are as follows:**

Clearance from the OH Power Line	<750V	>750V
Radial to conductor	3 m (10 ft)	5 m (16.5 ft)
Along the OH pole line (from a vertical line drawn from power line to ground level)	2 m (6.5 ft)	5 m (16.5 ft)

All stakeholders should contact Burlington Hydro Inc. to determine the requirements for the specific design scenario.

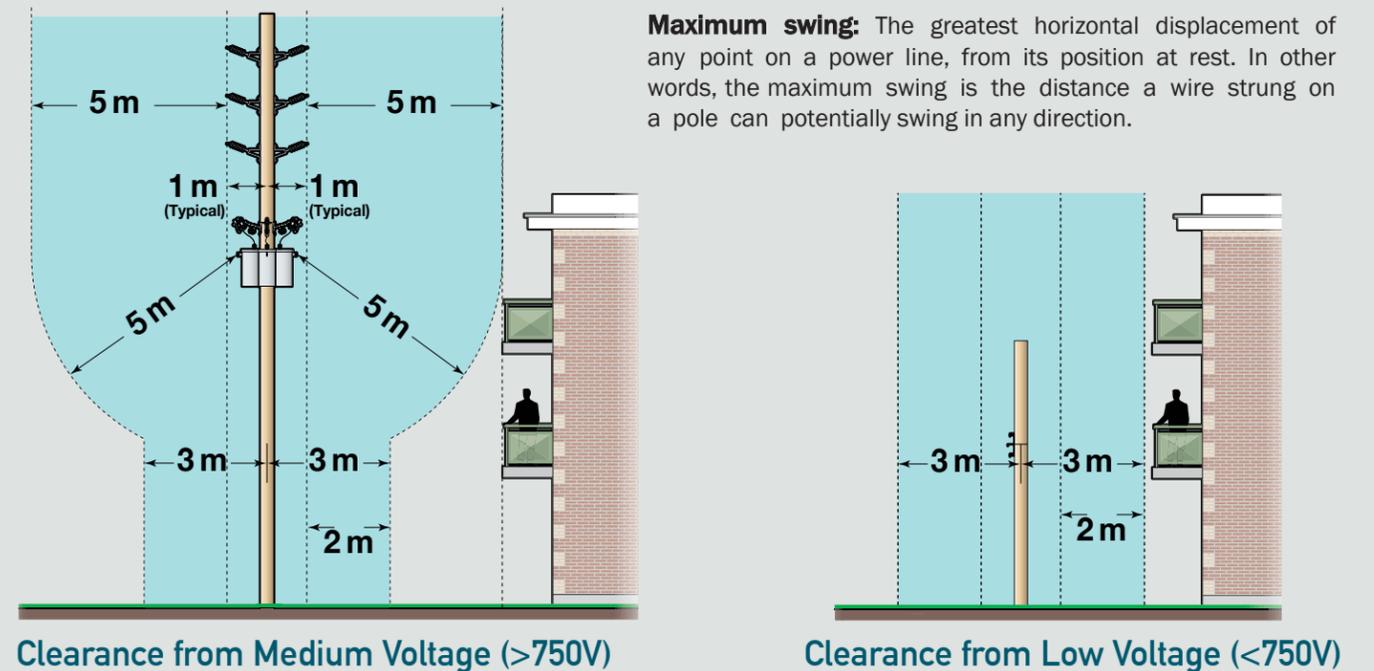
According to CSA C22.3 No. 1, permanent or temporary structures / buildings or their extensions, should not be over or underneath overhead electrical infrastructure.

Examples of instances when these clearances become necessary for workers and occupants:

- **Workers** – using scaffolding during construction, putting up signs and lighting, or other equipment to maintain the building, i.e. resurfacing, window washing or use of cranes.
- **Occupants** – using clothes lines, business signs, flags, or general reach from a balcony

Burlington Hydro Inc. should be contacted prior to any activity within 3 m of the OH electrical infrastructure, such as tree trimming or working on the sides of a building. According to the Ministry of Labour's Occupational Health and Safety Act and the Electrical Safety Code, only Burlington Hydro's employees or approved contractors can work in proximity to these lines.

Figure 1: Ontario Building Code Clearance Requirements

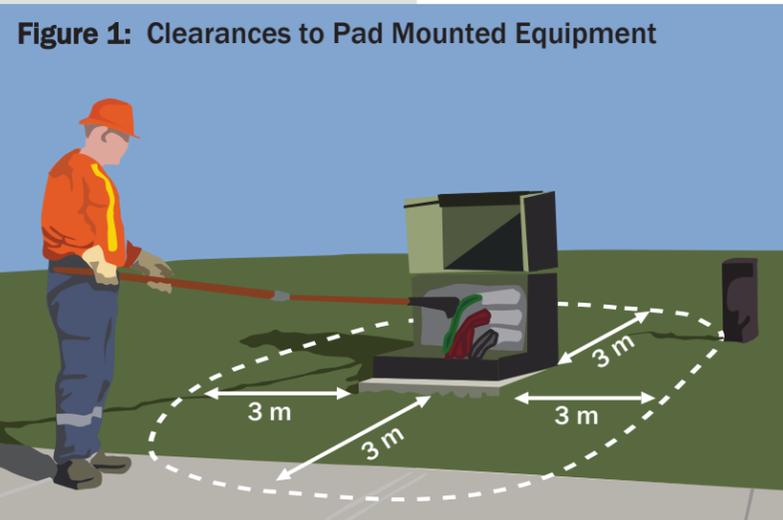




Clearances to Underground Electrical Infrastructure

Clearances around underground (UG) electrical infrastructure as per Burlington Hydro's specifications and standards must be met by planners, architects, developers / contractors, municipalities, and property owners.

Electrical workers must be able to safely access equipment to operate, maintain or replace it, see **Figure 1**. The property owner will be responsible for any costs related to removing an obstruction, or if power restoration is delayed due to the obstruction.



The following clearances around pad mounted electrical equipment mitigate all risks associated with working space and hazards related to the ground grid. This area must remain free of any structures, obstructions, or plantings:

3 m (10 ft) on all sides



Other UG Utilities

Burlington Hydro Inc. and all other UG utility stakeholder infrastructure including communications, water, wastewater, and gas facilities must **meet the clearances to UG electrical infrastructure as per CSA C22.3 No.7 Underground Systems**.

In order to meet these requirements, coordination of all facilities within proximity of other UG equipment is essential.

Municipalities & Property Owners

Above ground obstructions or hiding the electrical equipment is not permitted, see **Figures 2 and 3**. Municipalities and property owners must be aware of the clearances for the safety of its assets in proximity to UG electrical infrastructure, including but not limited to:

Municipalities: bus shelters, traffic signs

Property Owners: decks or patio blocks, retaining walls, pool equipment, hot tubs, storage sheds, metallic objects like mail-boxes, flag posts, outdoor patio seating (temporary and permanent)

Locates

It is important to know where UG electrical infrastructure and other utilities are located before work begins, regardless of the project size. Examples include but are not limited to:

Contractors: excavating for an addition, new building, sidewalks, or repairing buried infrastructure

Property Owners: planting a tree, landscaping, installing a fence, deck, driveway, or repairing buried infrastructure (pools, heated driveways, irrigation and sprinkler systems)

To protect the project from unnecessary damage, injuries, and financial penalties, contractors and property owners involved in the above activities must contact Ontario One Call at:

Request a locate
Ontario One Call or 1-800-400-2255
www.ontarioonecall.ca

The various utilities will mark the location of buried UG infrastructure so the dig can be done safely.

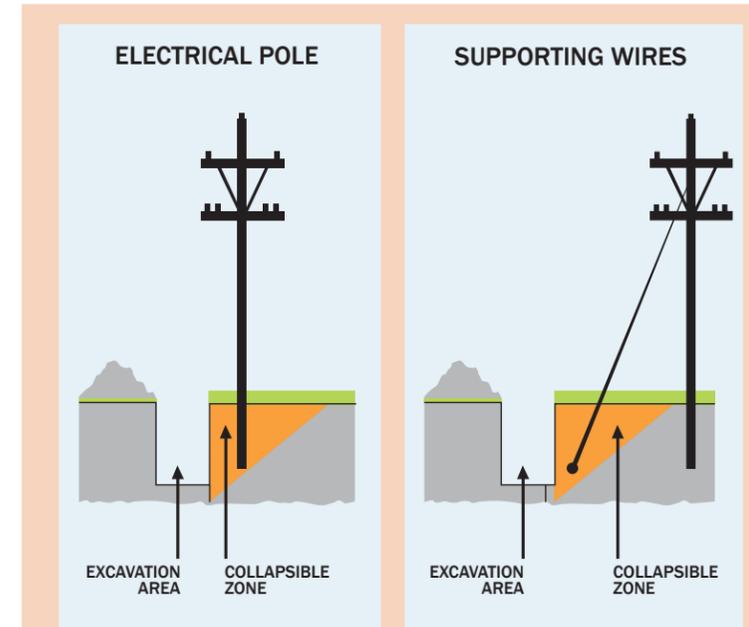


Figure 4: Excavation Near Electrical Equipment

Excavating & Digging

Extreme caution should be used when digging near the marked UG infrastructure or electrical pole (including guy wires, ground grid) see **Figures 4 and 5**. **Contact with a sharp shovel or excavation equipment could easily damage electrical infrastructure and could result in harmful electrical current.**

See ESA's "Guideline for Excavating in the Proximity of UG Distribution Lines" www.esasafe.com and contact Burlington Hydro Inc. for guidance before excavation in the proximity of electrical infrastructure.

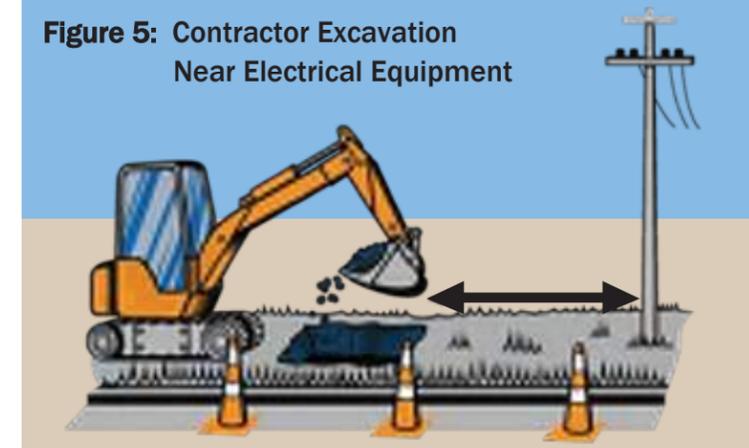
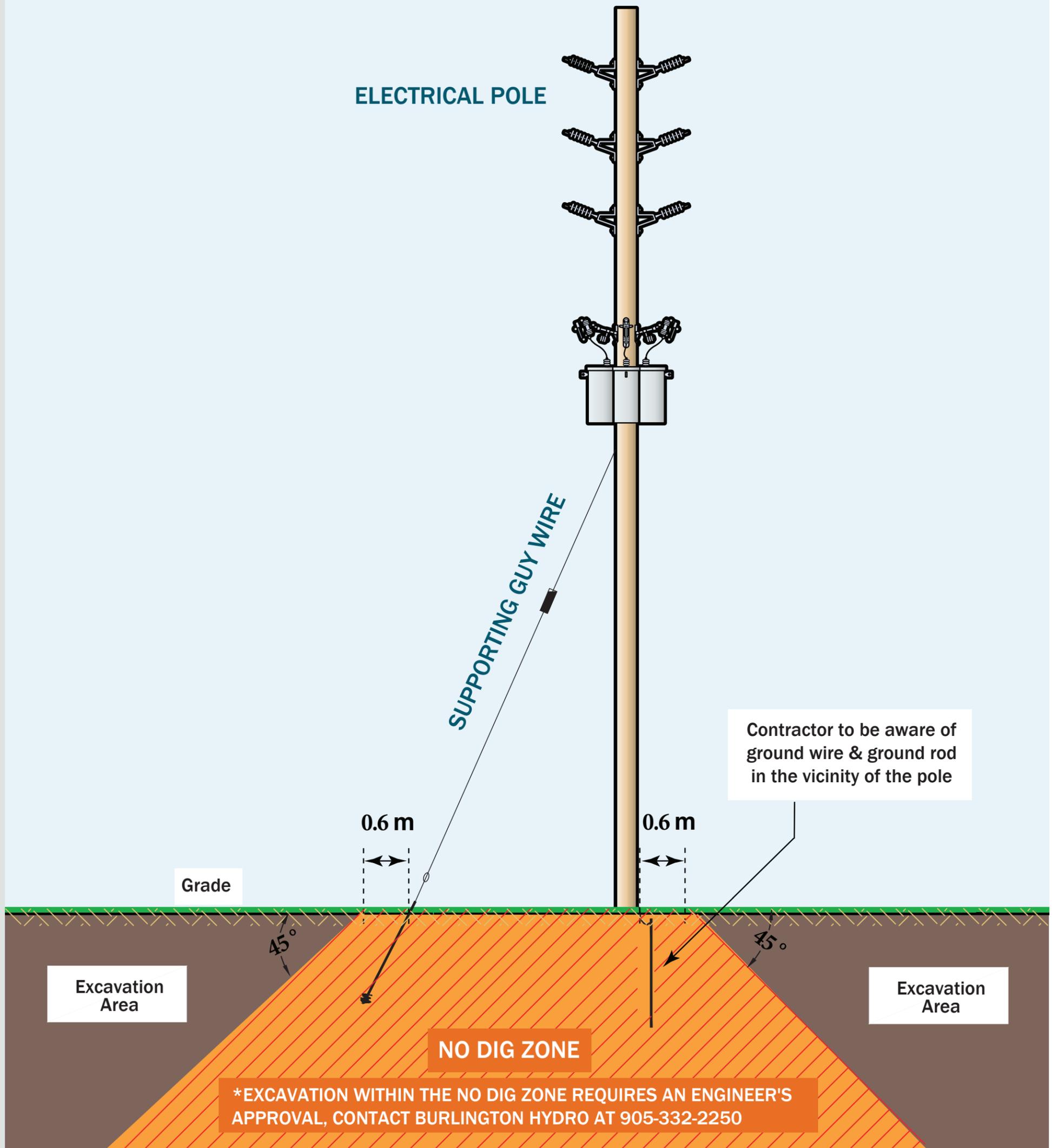


Figure 5: Contractor Excavation Near Electrical Equipment

Excavation Around Pole, Anchor & Guy Wire Guideline

Minimum Distance from the Pole or Anchor = Depth of Excavation(m) + 0.6m



Guideline for Working near Overhead Electrical Powerlines & Equipment on Construction Projects

Working near overhead powerlines can be dangerous—even deadly—if proper safety precautions are not taken. Being aware of the hazards and keeping a safe distance from electrical powerlines and equipment are the best means of protection.

Powerline Technicians need specialized training and equipment to protect themselves when working on or near powerlines. Construction workers may also have to work near powerlines. However, they may not know the hazards of working around powerlines or have the knowledge, training, and experience to protect themselves.



This guideline can help construction workers protect themselves and their co-workers from electrical hazards when working near powerlines.

STEP 1 Identify Electrical Hazards

The first step is to recognize where electrical hazards exist and identify the precautions that need to be taken to avoid contact. Ideally, this should be done at the planning stage before work begins. Look around the work area to see if powerlines are close by. Then, consider whether the type of work being done or the type of equipment being used may come close enough to powerlines to present an electrical hazard.

Table 1 shows the minimum safe distances to powerlines based on their voltage. The distance for 750 volts and above is taken from the Construction Projects regulation (O. Reg. 213/91, s. 188(2)) under the OHSA. A distance of 1 metre (3.3 ft) is recommended for less than 750 volts.

Table 1: Minimum Distances to Powerlines

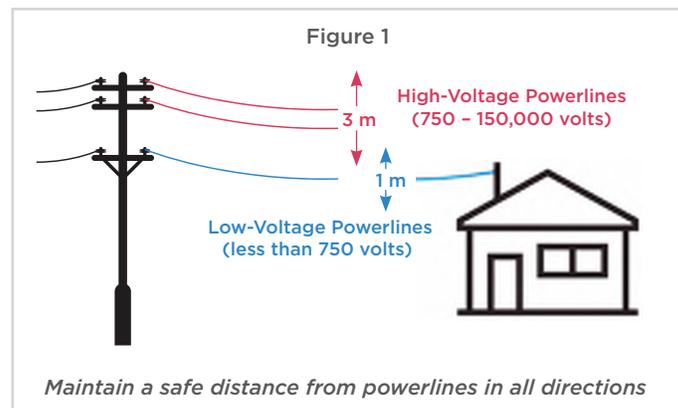
Voltage Rating	Minimum Distance
Less than 750 volts	1 metre (3.3 feet)*
750 to 150,000 volts	3 metres (10 feet)†
More than 150,000 volts, but no more than 250,000 volts	4.5 metres (15 feet)†
More than 250,000 volts	6 metres (20 feet)†

*Recommendation from the Working Group

†Source: O. Reg. 213/91, s. 188 (2)

Employers must take every reasonable precaution to prevent hazards to workers from energized electrical equipment, installations, and conductors (O. Reg. 213/91, s. 183). This means keeping the minimum distance as required by Table 1.

Powerlines or electrical equipment rated at less than 750 volts are considered **low voltage**, while those rated at 750 volts or above are considered **high voltage**. Workers must keep a safe distance of at least 1 metre (3.3 feet) from low-voltage powerlines to be protected from exposure to electrical shock or arc flash burn. For high-voltage powerlines, the distance is 3 metres (10 feet) or more, depending on the voltage (Figure 1).

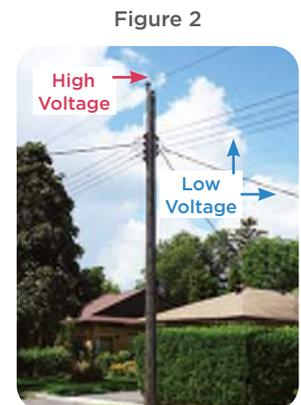


High-voltage powerlines are usually located higher on a pole than low-voltage powerlines (Figure 2). However, some high-voltage lines can look like low-voltage lines and can be located below low-voltage lines on a pole.

Misidentifying the voltage of powerlines can cause workers to go beyond the minimum safe distance and lead to an electrical incident.

In addition, workers have been known to focus on maintaining their distance from low-voltage lines, only to make contact with high-voltage lines.

If you are uncertain of the voltage, get help from an electrically qualified person or contact the owner.



Respect Electricity!

Every wire that brings ELECTRICITY to a business, home, or area CAN KILL YOU. No matter the voltage, keep a safe distance from powerlines to avoid electrical contact, shock, and burns.

The type of equipment being used when working near overhead powerlines may indicate that precautions need to be taken to prevent electrical injury. This includes tall or long-reach equipment such as:

- Cement trucks, concrete pumps, hydro-vac trucks (Figure 3)
- Excavators, backhoes, front-end loaders
- Cranes, drill rigs, boom trucks, bucket trucks
- Ladders, scaffolds
- Dump trucks, waste material/recycling trucks, material delivery trucks
- Swing stages, scissor lifts, forklifts, zoom booms
- Snow-removal equipment, paving machines, farm machinery (including augers).

Figure 3



In addition to the type of equipment being used, the type of work being done near overhead powerlines may indicate that electrical hazards need to be identified and assessed. This type of work can include:

- Siding and painting (Figure 4)
- Roofing and eavestroughing
- Framing
- Stucco and brick work
- Window cleaning and balcony work
- Tree pruning, tree removal, and landscaping.

Figure 4



Keep the following points in mind when doing a hazard assessment on overhead powerlines:

- Electrical hazards can sometimes be hard to identify. Electricity is invisible in its usual state and any wire that contains electricity looks exactly the same as a wire without electricity.
- Electricity can jump through the air and into objects and people nearby. Direct contact is not required to make it an electrical hazard.
- Wind and weather can cause wires to swing and heat, ice, or changing electrical demand can cause them to sag. Higher-voltage wires have been known to sag as much as three metres in one hour from heating up during high-demand conditions.
- Long building materials and equipment such as ladders, boards, poles, or scaffold members can be extended or repositioned to the point where they may contact or come near enough to electrical equipment to cause an electrical arc.
- A slip or a fall can move a worker or their tools, equipment, and materials closer than the recommended distance to an electrical hazard.
- Electricity is not only carried by the wires on an electric pole but also by other electrical equipment such as transformers, which can be shaped like a box (Figure 5) or a steel barrel (Figure 6).

Figure 5



Figure 6



A JSA or HRA can also help when estimating the costs associated with a project. Early detection of the hazards and pre-planning control options to prevent these hazards can affect the quote because health and safety concerns must always be taken into consideration. Before work begins, consideration should be given to questions such as:

- How will materials be brought in or removed from the site?
- How will workers access the work location?
- Will wires have to be moved or disconnected for work to be completed safely?
- Are workers knowledgeable/qualified or will assistance be needed to determine voltage/proper clearance distances, etc.?

STEP 2 Complete a Hazard Assessment

Electrical incidents can result in serious injuries or fatalities caused by:

- direct contact from touching energized equipment
- contact with an electrical arc
- exposure to an arc flash.

Completing a **Job Safety Analysis (JSA)** or a **Hazard Risk Assessment (HRA)** is a good way to ensure that hazards have been identified and safe work procedures have been put in place to prevent electrical incidents.

Don't Guess. Do it Right!

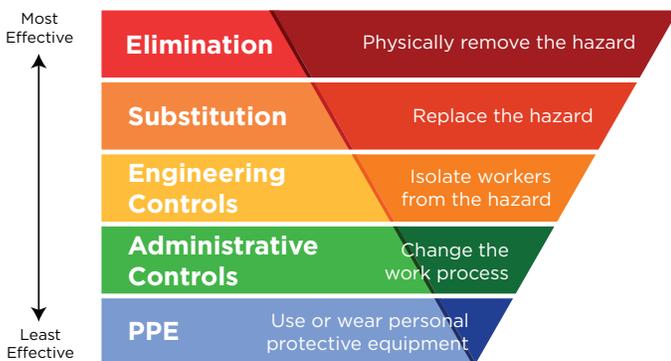
Always contact the owner of the overhead powerline to verify the correct voltage.

STEP 3 Eliminate or Control the Hazards

Once the electrical hazards have been identified and the workers have been made aware of them, the hazards need to be eliminated. If this is not possible, the hazards should be controlled. This means using barriers or other controls to reduce the possibility of a hazard or lessen its severity as much as possible.

Before putting controls in place to address health and safety hazards, consideration should also be given to their effectiveness. Figure 7 below shows the **hierarchy of controls**, which ranks control options from most effective to least effective.

Figure 7



Hierarchy of Controls

Eliminating the hazards of working near overhead powerlines is most effective because the hazard no longer exists. This can be done by:

- Relocating the work to another location that is farther away from overhead powerlines.
- Having a **qualified** person (e.g., a Powerline Technician) who has been **authorized** by the owner of the powerline shut the electricity off, verify that it is off, and ensure that all stored energy is removed.

If the hazard cannot be eliminated, **engineering controls** may be put in place to isolate the worker from the hazard. This can include asking the owner of the powerline to raise or move them, making it more difficult to go beyond the minimum safe work distance.

The utility owner may provide additional assistance, such as installing powerline coverups to protect workers from accidental contact with energized components (Figure 8).

Figure 8



If engineering controls are not practicable, the next best option is putting **administrative controls** in place to change the work process. This may include the following:

- Taking additional precautions to ensure workers keep a safe distance away from powerlines (i.e., the minimum distance shown in Table 1 and Figure 1).
- Designating a signaller (Figure 9) to make sure that workers, loads, and equipment do not go beyond the minimum safe distance from powerlines. (Refer to the requirements of a signaller in O. Reg. 213/91, s. 188(8)).

Figure 9



- Ensuring that all workers are aware of the location of overhead electrical hazards, know how to protect themselves, and are familiar with the safe work procedures.

- Installing warning signs (Figure 10) or flags to remind workers about the dangers of working near powerlines.

Figure 10



- Ensuring that the emergency response plan deals with treating electrical injuries and that proper first aid supplies are available.

Although using or wearing **PPE** (personal protective equipment) is not the most effective method of injury prevention according to the Hierarchy of Controls (Figure 7), it can still minimize exposure to a hazard or reduce its severity.

Some PPE is required by law. Depending on the possible hazards workers may encounter, this can include:

- A Class E hard hat
- Grade 1 work boots with dielectric protection (i.e., an Omega tag)
- CSA-approved safety glasses with side shields
- A high-visibility safety vest
- Protective work gloves
- Hearing protection devices.



As best practice, always consider electricity to be on and electrical wires to be live unless a qualified electrical worker who is authorized by the owner of the electrical equipment confirms that it is off.

STEP 4 Ensure that All Legal Requirements Are Met

Under Ontario's *Occupational Health and Safety Act* (OHS) and its associated regulations, employers and supervisors have a legal duty to identify hazards (including electrical hazards), inform workers about these hazards, and protect workers from them.



Employers and supervisors must ensure that their legal duties under the OHS and the requirements of the Construction Projects regulation (213/91) are met

Duties of Employers and Supervisors under the OHS

Section 25 of the OHS requires the **employer** to:

- Acquaint a worker or a person in authority with any hazard in the work
- Provide information, instruction, and supervision to workers to protect their health or safety
- Ensure the equipment, materials, and protective devices prescribed by law are provided, are used as prescribed, and are maintained in good condition
- Ensure the measures and procedures prescribed by law are carried out
- Take every reasonable precaution to protect workers.

Section 27 requires the **supervisor** to:

- Advise workers if they are aware of potential or actual danger to their health or safety
- Where prescribed by the health and safety legislation, provide workers with written instructions on protective measures and procedures
- Ensure that workers follow protective measures and procedures and use the required protective devices.

Regulatory Requirements for Employers and Supervisors

Additional requirements are found in the Construction Projects regulation (O. Reg. 213/91):

- The **supervisor** will inspect all machinery and equipment, including electrical installations, at least once a week (s. 14).
- The **employer** will ensure that workers wear and use protective clothing, equipment, and devices, and be trained in their care and use (s. 21). This includes protective headwear (s. 22), protective footwear (s. 23), and eye protection when there is a risk of eye injury to the worker (s. 24).
- Do not store material or equipment moved by a crane or hoisting device near an energized overhead electrical conductor (s. 37 (2)).
- Post a sign where there is a potential hazard from an energized overhead electrical conductor at more than 750 volts (s. 44 (3)).
- The **employer** will ensure that the site-specific work plan for a suspended work platform system or boatswain's chair includes identification of electrical hazards (s. 141.5).
- The **constructor** and **employer** will take every reasonable precaution to prevent hazards from energized electrical equipment (s. 183).
- The **supervisor** will authorize any person who is permitted to enter a room or enclosure containing exposed energized electrical parts (s. 184 (1)).
- Do not store tools, equipment, or materials capable of conducting electricity so close to energized electrical equipment that they can make electrical contact (s. 187).
- Do not bring any object closer to an energized overhead electrical conductor than the minimum distances in Table 1 (s. 188 (2)).
- Designate a competent worker as a signaller to warn the equipment operator if part of the equipment or its load may encroach on the minimum distance to powerlines (s. 188 (8)).

NOTE: This is not a complete list of relevant legislation. Always consult a current version of the OHS and its associated regulations.

Developed by a collaborative working group from IHSA's Labour-Management Network in partnership with IHSA



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NOTICE OF PUBLIC HEARING

This Application was Deferred at the January 21, 2026 Meeting

1000417067 Ontario Inc. of 7 Mussle White Rd. Brampton, has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **1233 Dillon Rd. Burlington** (see map).

The applicant proposed to establish a dog daycare which would be open to the general public. The proposed use is considered a service commercial use and requires a variance to be permitted as the GE2 zone only permits 15% of a building over 3000m² to contain Retail, Service Commercial or Recreational Establishment uses. This proposal results in the following variances

1. To exclude recreational establishment uses from the requirements of Part 3, Table 3.2.1, footnote (f), whereas Zoning By-law 2020 restricts the total floor area of all retail, service commercial and recreation uses to a maximum of 15% of each building.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **February 9, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 25, 2026,

This application is scheduled to be heard at or after 1:00 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **12:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

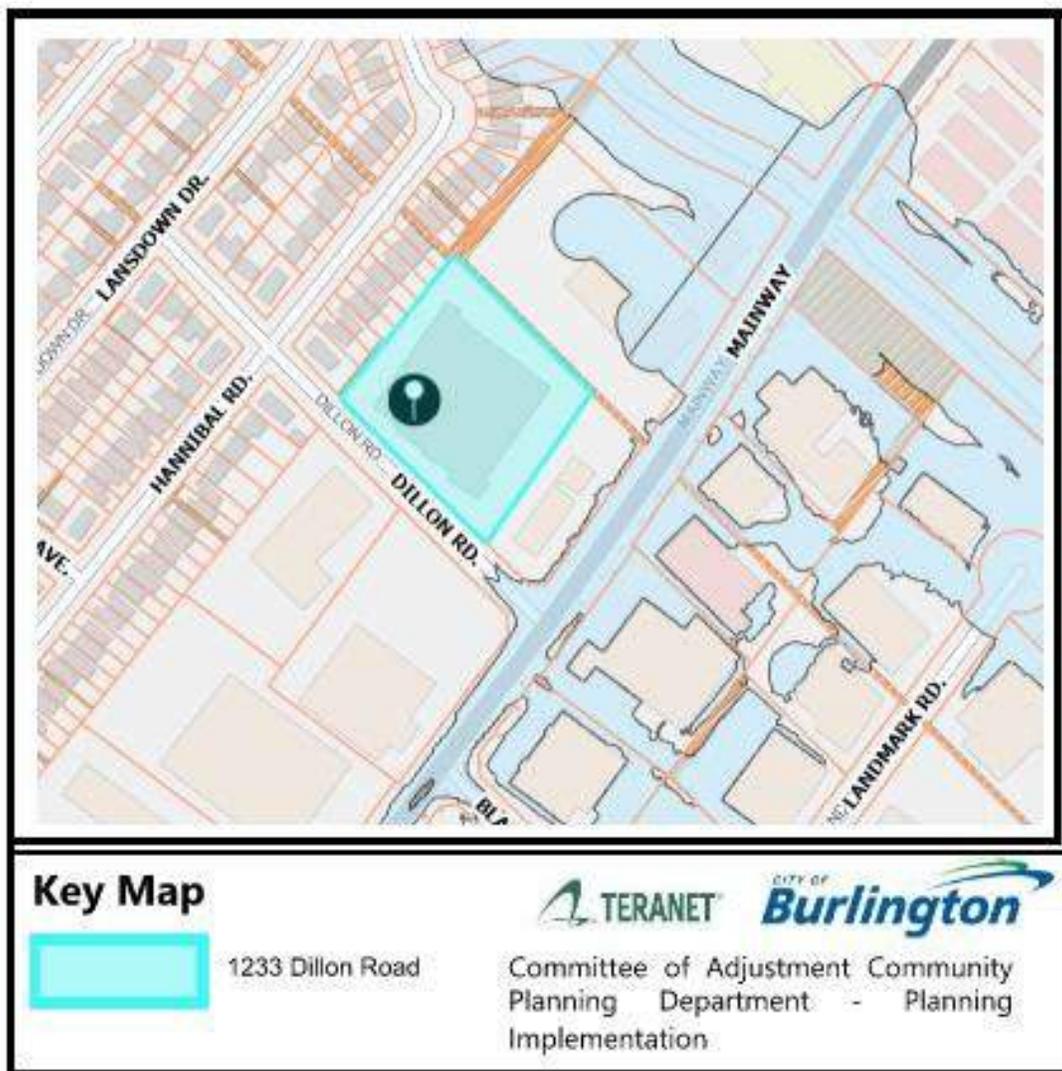
For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

Yours truly,

Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



Sep 04,2025

Committee of Adjustment

City of Burlington
426 Brant St., PO Box 5013
Burlington, ON
L7R 3Z6

APPLICATION FOR MINOR VARIANCE FOR DOG DAYCARE AT EXISTING RECREATIONAL ESTABLISHMENT @ 1233 DILLON RD BURLINGTON ON L7M 1K6

On behalf of our client, Tarlochan Singh, we, Mehboob Bangash Architects Inc., acting as Agents, are submitting a minor variance application for a dog daycare on the subject property, which is currently developed as a single-use recreational establishment. We are seeking to permit the dog daycare under the category of "Other Service Commercial Uses" on the subject property within the existing building envelope.

The application included the following:

- Filled Minor Variance application form
- Floor Plans along with the Elevations
- Site Plan
- Survey
- Zoning Clearance Certificate Application Status Report

Regards,

Neelam Bangash (Applicant)

URBAN PLANNER / DESIGN LEAD
MES, MIP, BARCH, OPPI, RPP

Mehboob Bangash
Architects Inc
391A Matheson Blvd, E
Mississauga, Ontario
L4Z2H2

Tel [REDACTED]
Cel [REDACTED]
Fax [REDACTED]
@ [REDACTED]
web www.mbarch.ca

NOTICE OF PUBLIC HEARING

This Application was Deferred at the January 21, 2026 Meeting

1000417067 Ontario Inc. of 7 Mussle White Rd. Brampton, has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **1233 Dillon Rd. Burlington** (see map).

The applicant proposed to establish a dog daycare which would be open to the general public. The proposed use is considered a service commercial use and requires a variance to be permitted as the GE2 zone only permits 15% of a building over 3000m² to contain Retail, Service Commercial or Recreational Establishment uses. This proposal results in the following variances

1. To exclude recreational establishment uses from the requirements of Part 3, Table 3.2.1, footnote (f), whereas Zoning By-law 2020 restricts the total floor area of all retail, service commercial and recreation uses to a maximum of 15% of each building.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **February 9, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 25, 2026,

This application is scheduled to be heard at or after 1:00 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **12:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

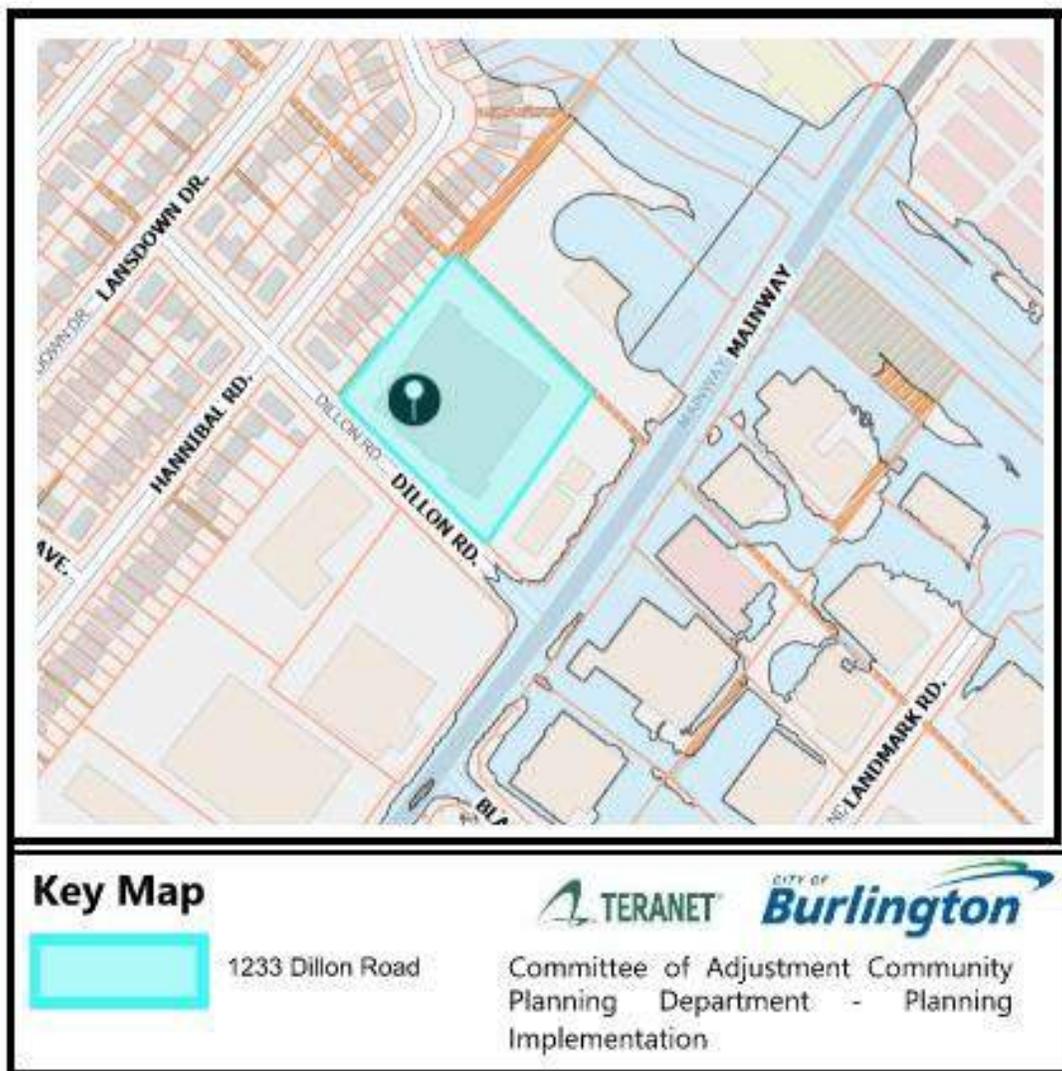
Yours truly,



Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: _____ Name of Zoning Examiner: NATHAN DART, CPT

PROPERTY INFORMATION

Municipal Address(es) of property:

1233 DILLON RD BURLINGTON ON L7M 1K6

Legal Description of property:

PT LT 12 CON. 2 S.D.S. ; PART 4 - PLAN 20R-311

Official Plan Designation: EMPLOYMENT GROWTH AREA Current Zoning Designation GE2

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

1000417067 Ontario Inc.

Mailing Address: 1233 DILLON RD City: BURLINGTON

Postal Code: L7M 1K6 Home Phone: _____ Mobile Phone: [REDACTED]

Work Phone: _____ E-Mail: [REDACTED]

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name: NEELAM BANGASH

Business Address: 391 MATHESON BLVD E City: MISSISSAUGA

Postal Code: L4Z 2H2 Home Phone: _____ Mobile Phone: [REDACTED]

Work Phone: _____ E-Mail: [REDACTED]

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

The Subject property is a single use recreational establishment (fitness centre and racquet sports). To better serve its clients, the owners is proposing to establish a dog daycare center within existing building which is accessible to both the members and public . The daycare will operate during the facility's operational hours, staffed by two personnel to care for pets. The proposal was discussed with Zoning Examiner who advised that Dog daycare is not a permitted use as an accessory in single use recreational establishment. However, It can be permitted under "Other Services Commercial Uses" through minor variance.

Variance(s) Requested	Zoning Bylaw Requirement
To allow Dog Daycare as permitted use under "Other Service Commercial Uses" that is open to existing recreational establishment and general public.	The current site is zoned as GE2 and developed as a Recreational Establishment. Allowing dog daycare that is accessible to the general public is not considered an accessory use. It is classified under "Other Service Commercial Uses"

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

1. Why is the variance(s) minor in nature? The variance is minor in nature as it's for a permitted use only. it does not require any zoning bye-laws amendment or major changes to the existing building.

2. Why are the variance(s) desirable for the appropriate use of the land? _____

The variance is desirable as it is proposed within an existing building without major changes. This facility is needed to efficiently contribute to the community.

3. Do the variance(s) meet the intent and purpose of the Official Plan? _____

Yes, the site complies with intent and purpose of the Official Plan.

4. Do the variance(s) meet the intent and purpose of the Zoning By-law? _____

Yes.

FOR COMMERCIAL, MIXED USE, INDUSTRIAL AND OTHER

Dimensions of Property			Street Width (see first page of application for how to obtain)			Density	Have you applied for Site Plan Approval? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> File #:
Frontage	Depth	Area	Actual	Deemed	Required		
113.33 m	101.12 m	11,029.17 m ²	20.00	20.00			

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Building)		PROPOSED (Building/Addition)	
Ground Floor Area:	5,236.67 M ²	Ground Floor Area:	M ²
Gross Floor Area:	6062.29 M ²	Gross Floor Area:	M ²
Number of Storeys:	2	Number of Storeys:	
Width:	72.23 M	Width:	M
Length:	73.30 M	Length:	M
Height:	Approx 12 M	Height:	M
Floor Area: Office Space	M ²	Floor Area: Office Space	M ²
Floor Area: Warehouse/Retail/Other:	M ²	Floor Area: Warehouse/Retail/Other:	M ²
# of Existing Units:		# of Proposed Units:	
Floor Area Ratio:		Floor Area Ratio:	
Required Parking Spaces:		Proposed Parking Spaces:	
Existing Parking Spaces:	100		
EXISTING (Other)		PROPOSED (Other)	
Ground Floor Area:	M ²	Ground Floor Area:	M ²
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Number of Storeys:		Number of Storeys:	
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M

LOCATION of all existing and proposed buildings and structures

EXISTING (Building) TO REMAIN		PROPOSED (Building) NOT APPLICABLE	
Front:	approx 9.3 M	Front:	M
Rear:	approx 14 M	Rear:	M
Side:	approx 20.6 M	Side:	M
Side:	approx 15.3 M	Side:	M
OTHER		OTHER	
Front:	M	Front:	M
Rear:	M	Rear:	M
Side:	M	Side:	M
Side:	M	Side:	M

EXEMPTION FROM NEW SURVEY REQUIREMENT

Minor additions to an existing dwelling or for a proposed accessory building or structure (i.e., deck, driveway, pergola, shed), may be exempt from having to provide a new survey. Please refer to Page 3 of this application package for more details. Minor Variances with concurrent Consent applications require a new survey.

Applicant/Owner:

Property Address:

1233 Dillon Rd, Burlington

1 I, Tarlochan Singh In my capacity as Owner do attest to the following:
Print Name (Owner or agent)

Please complete Section A, B, or C

A. The OLS survey/sketch of survey dated _____
has been revised by: _____
mmm/dd/yyyy
(Person or Company Name)

OR

B. The site plan, architect's plan or engineer's plan dated _____
has been revised by: _____
mmm/dd/yyyy
(Person or Company Name)

OR

C. The sketch or plot plan** dated _____
**Accepted for applications involving variances for Uses only.
was prepared by: _____
N/A
mmm/dd/yyyy
Mehboob Bangash Architects
(Person or Company Name)

2. All structures, measurements, setbacks and boundaries of the property are shown accurately as of: _____
N/A
mmm/dd/yyyy

3. The material submitted shows all measurements in metric, as calculated/converted by: _____
N/A
(Person or Company Name)

4. Should the need arise during application processing for an new OLS survey, the applicant/agent agree to provide the survey as required by Committee or city staff in order to receive a decision on the application.

Tarlochan Singh
Signature of Owner/Applicant

Jun/12/2025
Date (mmm/dd/yyyy)

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name	Tarlochan Singh 	Property Address	1233 DILLON RD BURLINGTON ON L7M 1K6
	_____ Signature of Owner/Applicant		_____ Date (mmm/dd/yyyy) 04-09-2025

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized

Agent: Mehboob Bangash Architects

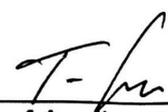
I, Tarlochan Singh of the Region of Peel of _____ in the City of Mississauga
(print name) (Region/City/County) (City/Town/Township)

of _____ solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the City of Burlington in the Region of Halton
(Region/City/County) (City/Town/Township)

this 18th day of December 2025:

 Jo-Anne Rudy, Committee Clerk
The Corporation of the City of
Burlington, Region of Halton
A Commissioner of Oaths pursuant
to s. 228(4) of the Municipal Act etc.
Signature of Commissioner etc.

 _____
Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 1233 Dillon Rd, Burlington, ON

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

 _____
Signature of Owner

Tarlochan Singh
Print Name

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, Tarlochan Singh being the registered owner of the subject lands, hereby
(print name)

Authorize Neelam Bangash to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.



Signature of Owner

04-09-2025

Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	✓
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	✓
SITE PLAN <ul style="list-style-type: none"> <input type="checkbox"/> Metric Scale <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Frontage <input checked="" type="checkbox"/> Depth <input checked="" type="checkbox"/> Lot Area <input checked="" type="checkbox"/> Lot Coverage <input checked="" type="checkbox"/> Deemed Street Line <input checked="" type="checkbox"/> Existing Front Yard Setbacks <input checked="" type="checkbox"/> Existing Rear Yard Setbacks <input checked="" type="checkbox"/> Existing Side Yard Setbacks <input checked="" type="checkbox"/> Existing Street Side Yard Setbacks <input type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Proposed Front Yard Setbacks <input type="checkbox"/> Proposed Rear Yard Setbacks <input type="checkbox"/> Proposed Side Yard Setbacks <input type="checkbox"/> Proposed Street Side Yard Setbacks <input type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Streets (Public and Private) <input checked="" type="checkbox"/> Street Names <input type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

<p>Minor Variance Application Checklist</p> <p>Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.</p>
<p>LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES</p> <ul style="list-style-type: none"> <input type="checkbox"/> Setbacks <input type="checkbox"/> Height <input type="checkbox"/> Area <input type="checkbox"/> Length <input type="checkbox"/> Width
<p>ELEVATIONS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Metric <input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Rear <input checked="" type="checkbox"/> Side 1 <input checked="" type="checkbox"/> Side 2
<p>FLOOR PLANS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Metric <input type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Gross Floor Area Calculation <input checked="" type="checkbox"/> Ground Floor Area Calculation <input type="checkbox"/> Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.



 Neelam Bangash
 Signature of Owner/Agent

 04-09-2025
 Date (mmm/dd/yyyy)

From: [Hassan Ali](#)
To: [Mailbox - Planning - Committee of Adjustment](#)
Cc: [Neelam Bangash](#)
Subject: Re: New MV Application_Neelam Bangash_1233 DILLON RD BURLINGTON ON
Date: Monday, September 22, 2025 11:46:49 AM
Attachments: [image002.png](#)

CAUTION: This email originated from outside of the organization Do not click links or open attachments unless you recognize the sender and know the content is safe
Good Morning Erin,

Yes. I wanted to confirm that we are submitting this application under Section 45 (1) of the Planning Act.

Regards,
Hassan Ali
PLANNER
B.Sc. CRP MURP

Mehboob Bangash
Architects Inc
391-A Matheson Blvd, E
Mississauga, Ontario L4Z 2H2
Canada



This e-mail (including any attachments) is for the sole use of the intended recipient and may contain confidential information which may be protected by legal privilege. If you are not the intended recipient, please immediately notify us by reply e-mail or by telephone, delete this e-mail and destroy any copies. Any unauthorized disclosure is strictly prohibited. Thank you

From: Mailbox, Planning - Committee of Adjustment <committeeofadjustment@burlington.ca>
Sent: Monday, September 22, 2025 10:48
To: [Redacted] Mailbox, Planning - Committee of Adjustment <committeeofadjustment@burlington.ca>
Cc: [Redacted]
Subject: RE: New MV Application_Neelam Bangash_1233 DILLON RD BURLINGTON ON

Good morning Hassan,

Thank you. I want to confirm that you are submitting this application under section 45(1) of the Planning Act? I forgot to highlight this section at the top of page 7 of the application when I sent my comments back to you on September 8.

APPLICATION NO. 2025- (AS AMENDED)

Application made under:	<input type="checkbox"/> Section 45 (1) of the Planning Act	<input type="checkbox"/> Section 45 (2) of the Planning Act
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Your file number is A-073-2025. Your receipt for the payment is attached.

Warm regards,

Erin Shacklette, CPT, ACST
Committee Clerk & Assistant to the Secretary Treasurer
Committee of Adjustment
Community Planning | Development and Growth Management
426 Brant St, Burlington, ON
(905) 335 7777, ext 7875
erin.shacklette@burlington.ca

For Committee of Adjustment specific inquiries, please include committeeofadjustment@burlington.ca in your communication



Our working hours may be different. You are not obligated to reply outside of your typical working hours.

Today is a good day to have a great day!

From: [Redacted]
Sent: Friday, September 19, 2025 1:24 PM
To: Mailbox, Planning - Committee of Adjustment <committeeofadjustment@burlington.ca>
Cc: [Redacted]
Subject: Re: New MV Application_Neelam Bangash_1233 DILLON RD BURLINGTON ON

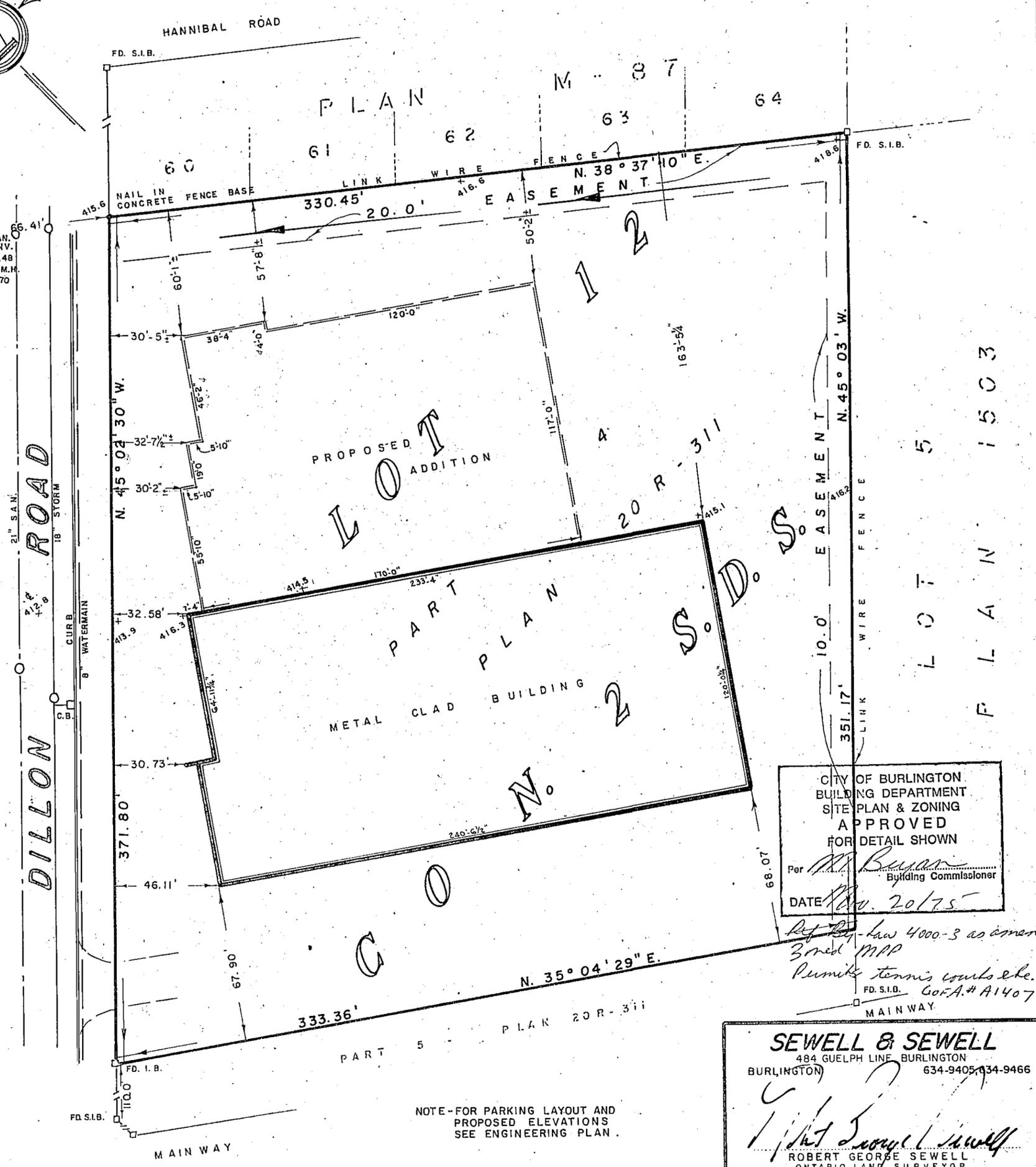
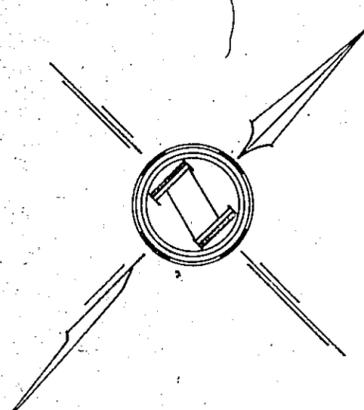
PLAN OF SURVEY
SHOWING
PART OF LOT 12
CONCESSION 2 S. D. S.
(TOWNSHIP OF NELSON)

City of Burlington

REGIONAL MUNICIPALITY OF HALTON

SCALE: 1" = 40'

COPYRIGHT ACT APPLIES TO USE
AND REPRODUCTION



CITY OF BURLINGTON
BUILDING DEPARTMENT
SITE PLAN & ZONING
APPROVED
FOR DETAIL SHOWN

Per *M. Bayan*
Building Commissioner

DATE *Nov. 20/75*

Ref. By-law 4000-3 as amended
3rd MAP
Permits tennis courts etc.

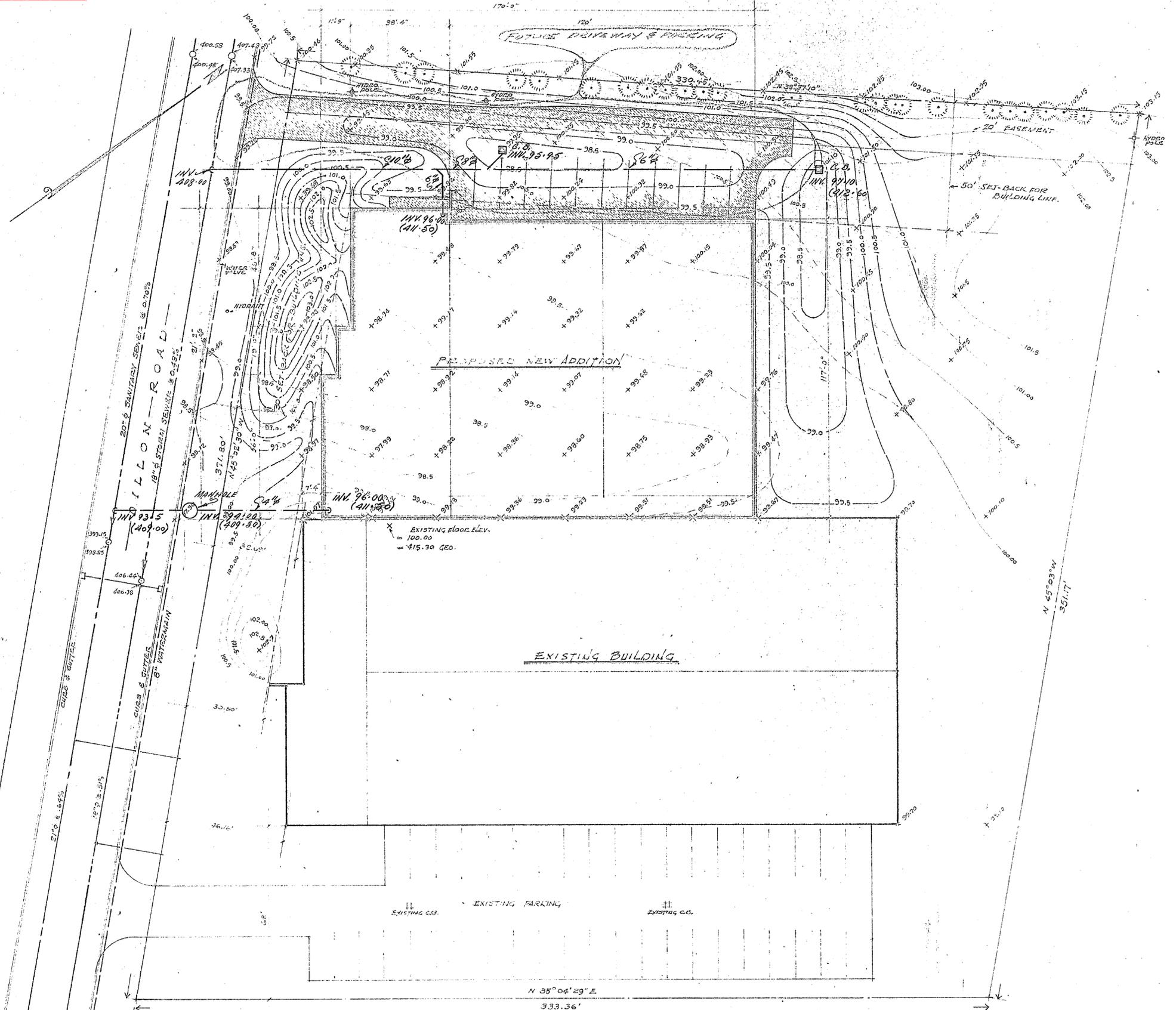
FD. S.I.B. CoFA.# A1407

SEWELL & SEWELL
484 GUELPH LINE BURLINGTON
BURLINGTON 634-9405/34-9466

Robert Sewell
ROBERT GEORGE SEWELL
ONTARIO LAND SURVEYOR

DATE: SEPT. 9. 1975 REF. N275-555

NOTE-FOR PARKING LAYOUT AND
PROPOSED ELEVATIONS
SEE ENGINEERING PLAN.



LEGEND

EXISTING SPOT HEIGHTS X 0.00

EXISTING CONTOURS UNALTERED.....

EXISTING CONTOURS ALTERED.....

CONTOURS SHOWING NEW DESIRED GRADES 0.00

THE CORPORATION OF
THE CITY OF BURLINGTON

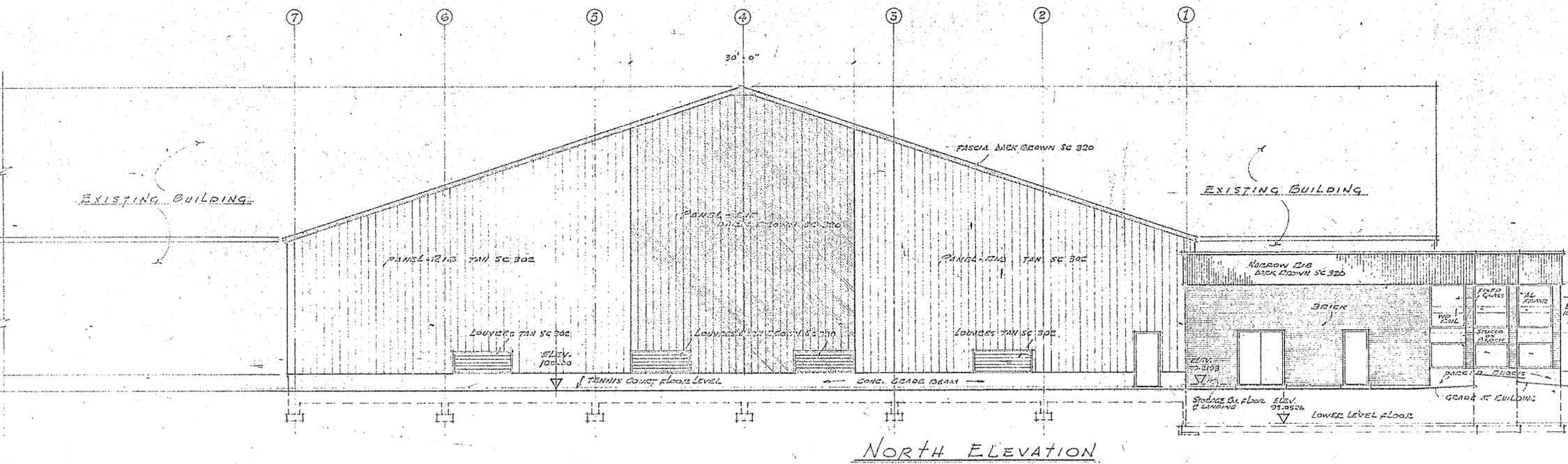
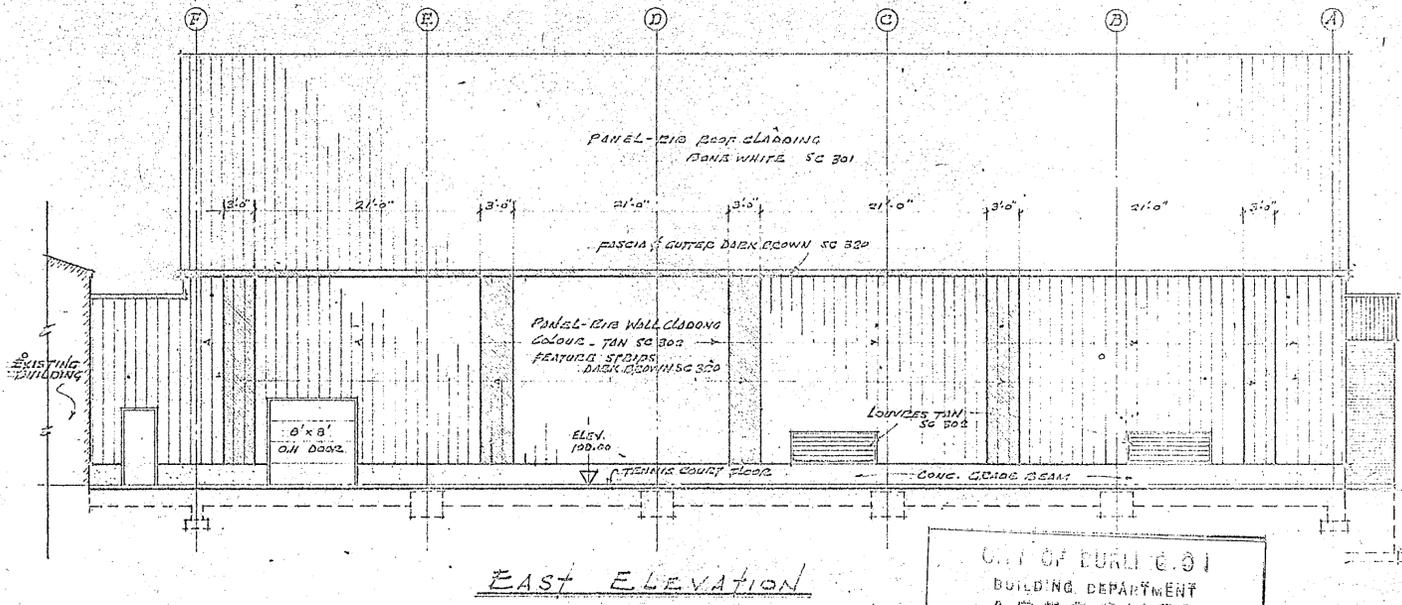
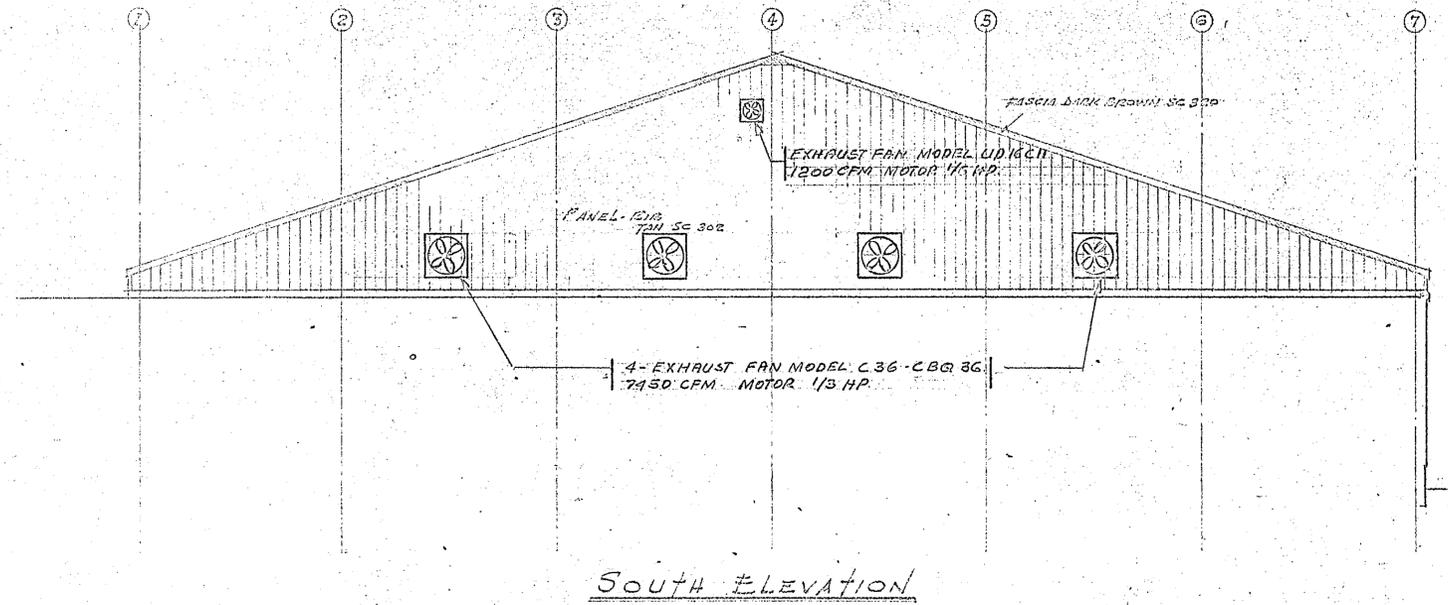
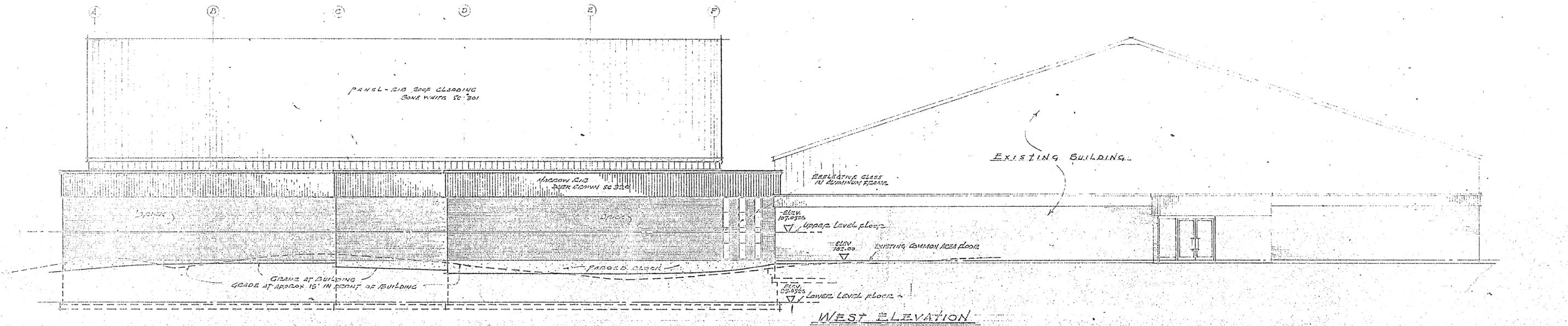
APPROVED
by Council on Oct 27/75
[Signature]
Councillor

SITE PLAN
SCALE: 1" = 20'

SHOWING PART A. OF SURVEY PLAN OF PART OF LOT 12 - CONCESSION 2, S.O.S. FORMERLY IN THE TOWNSHIP OF NELSON - NOW IN THE TOWN OF BURLINGTON, COUNTY OF HALTON
MELAN G. HALL ONTARIO LAND SURVEYOR
REG. NO. 1571 - S-10 - 53-E
REG. STICK DIV. COUNTY OF HALTON PLAN NO. 2012
INFORMATION RE ROAD, SEWER AND WATERMAIN FROM PLAN INDEX NO. K19
CITY OF BURLINGTON - ENGINEERING DEPT.
DATED: APRIL 1975

No.	Date	Description	By
REVISIONS			
ROBERTSON CONTRACTING DIVISION ROBERTSON BUILDING SYSTEMS LIMITED			
<i>BURLINGTON RACQUETS CLUB</i> BURLINGTON, ONTARIO			
<u>PROPOSED ADDITION</u>			
<u>SITE PLAN</u>			
Scale AS NOTED		Project No. 15175	
Date SEPT. 1975		Drawing No. (M) RC-1001	
Drawn WJS	Checked	Rev.	





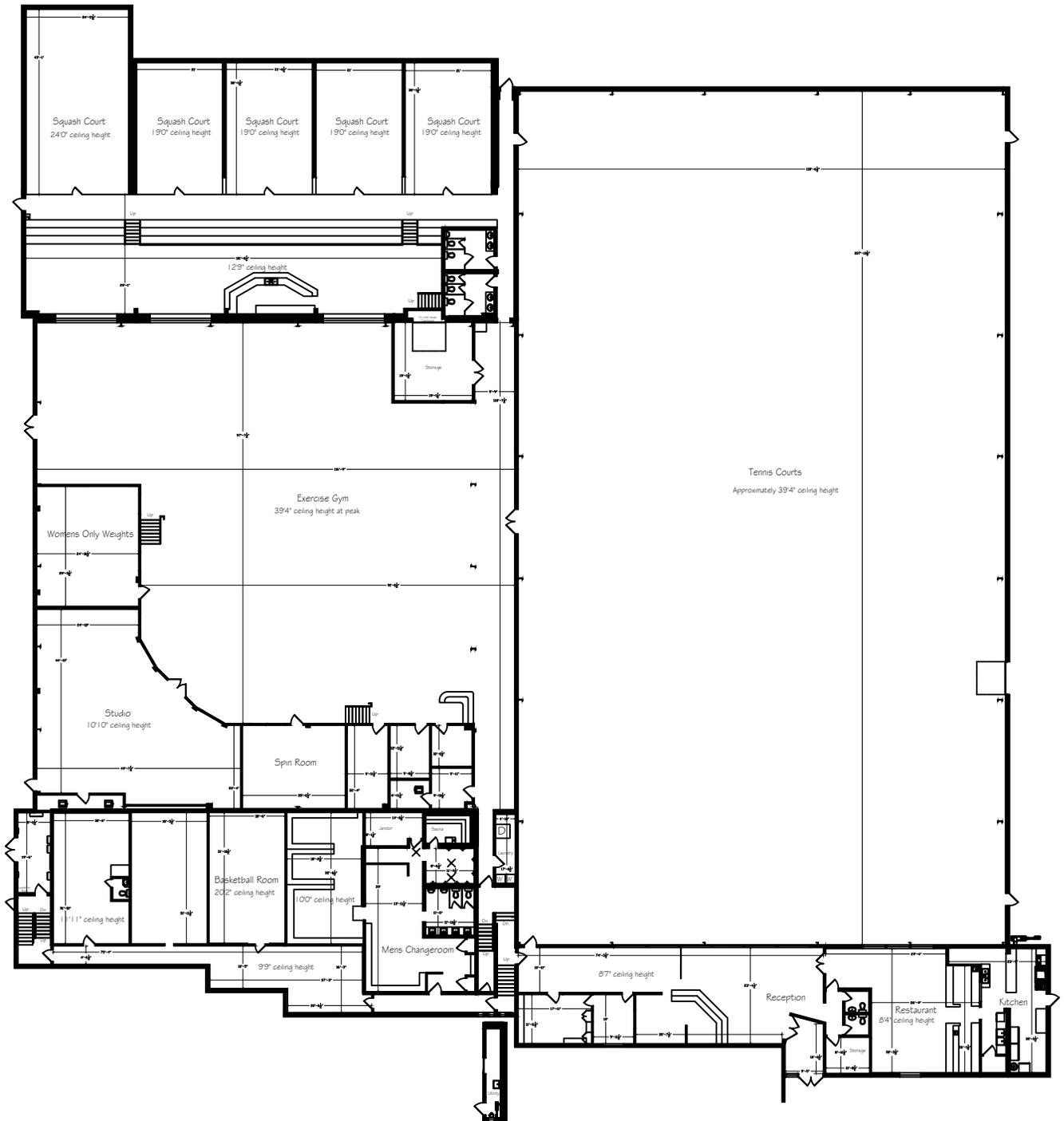
CITY OF BURLINGTON
BUILDING DEPARTMENT
APPROVED
Walter Stewart P. ENG.
BUILDING COMMISSIONER
DATE OF APPROVAL
PERMIT NUMBER
EXAM ISSUED BY
PRINTED
APR 09 1976

No.	Date	Description	By
REVISIONS			
ROBERTSON CONTRACTING DIVISION			
ROBERTSON BUILDING SYSTEMS LIMITED			
BURLINGTON BUILDING DEPARTMENT			
BURLINGTON TOURIST CLUB			
PROPOSED ADDITION			
DATE OF APPROVAL			
ELEVATION NUMBER 8			
EXAM ISSUED BY			

Robertson Building Systems
Scale 1/8" = 1'-0"
Date OCT. 1975
Project No. 15175
Drawing No. SC-1005
Rev. 0

Dimensions are for space planning purposes only

Copyright Act Applies to Use and Production



Main Floor - 56,367 Square Feet

PREPARED BY:



measuredup.ca 647-371-1505

LOCATION:

Main Floor Plan View
1 233 Dillon Road
Burlington, Ontario

PREPARED FOR:

CBRE Limited

DATE:

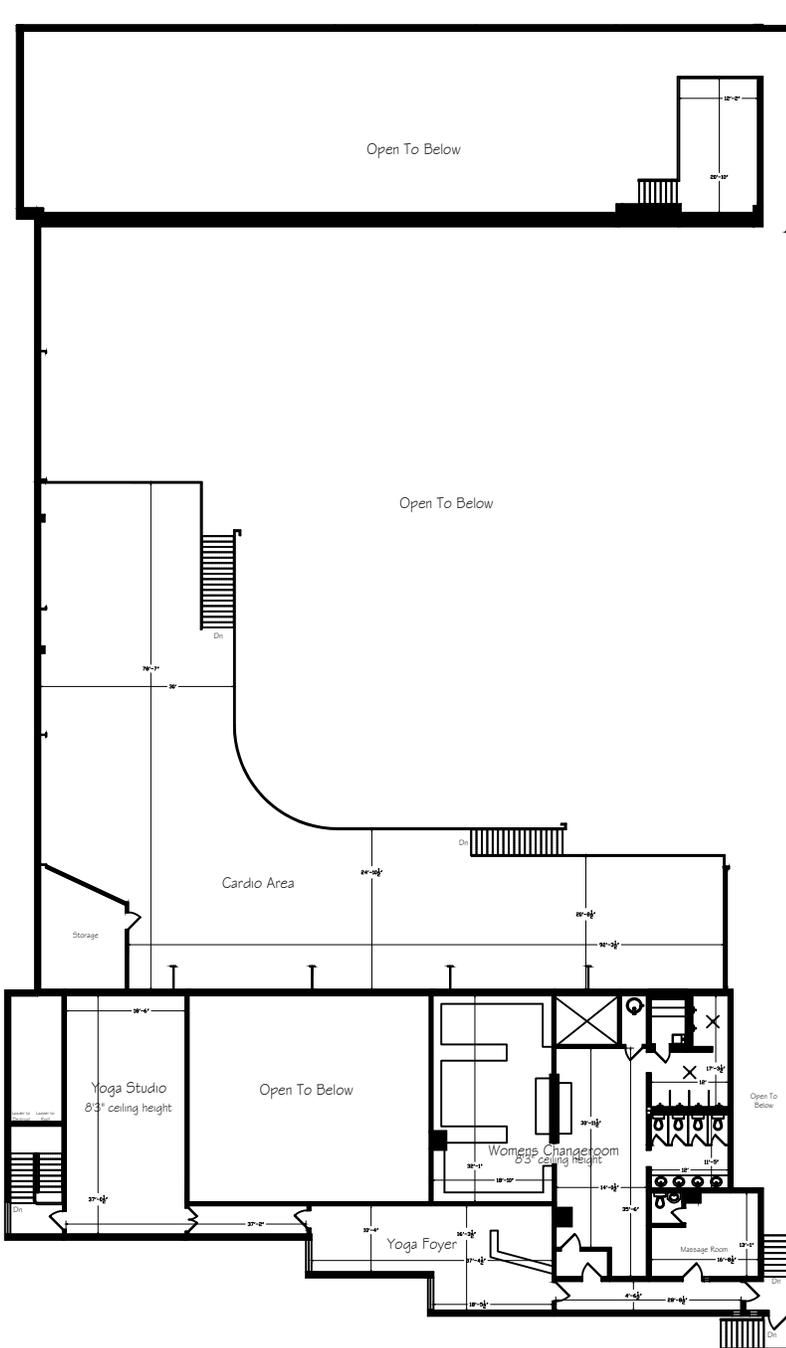
December 7, 2021

FILE:

1 233dillon-B-W.dwg

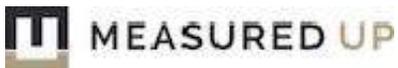
Dimensions are for space planning purposes only

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Second Floor - 4,267 Square Feet
Does not include mezzanine

PREPARED BY:



measuredup.ca 647-371-1505

LOCATION:

Second Floor Plan View
1 233 Dillon Road
Burlington, Ontario

PREPARED FOR:

CBRE Limited

DATE:

December 7, 2021

FILE:

1 233dillon-B-W.dwg

Note: Floor Plan with uses for reference only.

PROPERTY DETAILS

TOTAL SIZE 60,634 Sq. Ft.
4,620 sq.ft. fully functional steel mezzanine
not included in square footage

LOT SIZE ±2.74 Acres

ZONING GE2

CLEAR HEIGHT 39'4" at the peak (download
floorplans to see all
measurements)

FIXTURES & CHATTELS Available

PARKING Approx. 100 Stalls

POWER 600 VOLTS 800 AMPS

POSSESSION Vacant



**ZONING PERMITS
NUMEROUS USES**



**RESTAURANT
WITH LIQUOR
LICENSE**

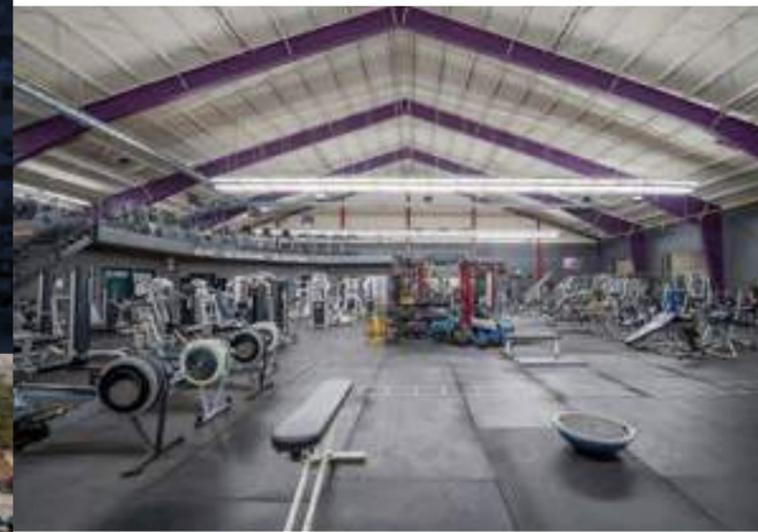


**COLUMN FREE SPACE
IDEAL FOR
SPORTS USES**



**PREVIOUS USE
INDUSTRIAL**

A MUST SEE FOR ANY ATHLETIC USE



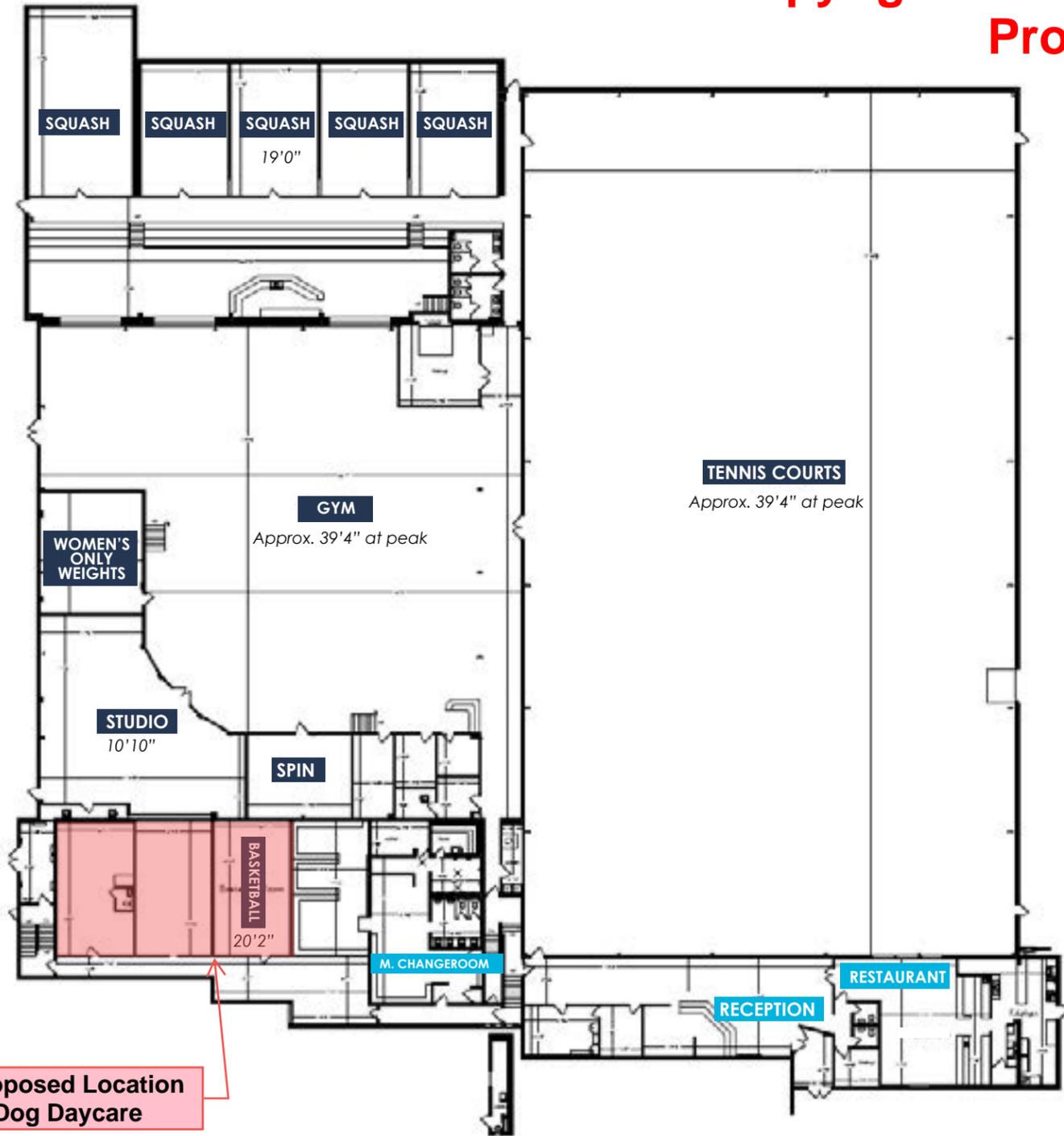
**Copyright Act Applies to Use and
Production**

Note: Floor Plan with uses for reference only.

FLOOR PLANS

Main Floor - 56,367 Sq.Ft.

Copyright Act Applies to Use and Production



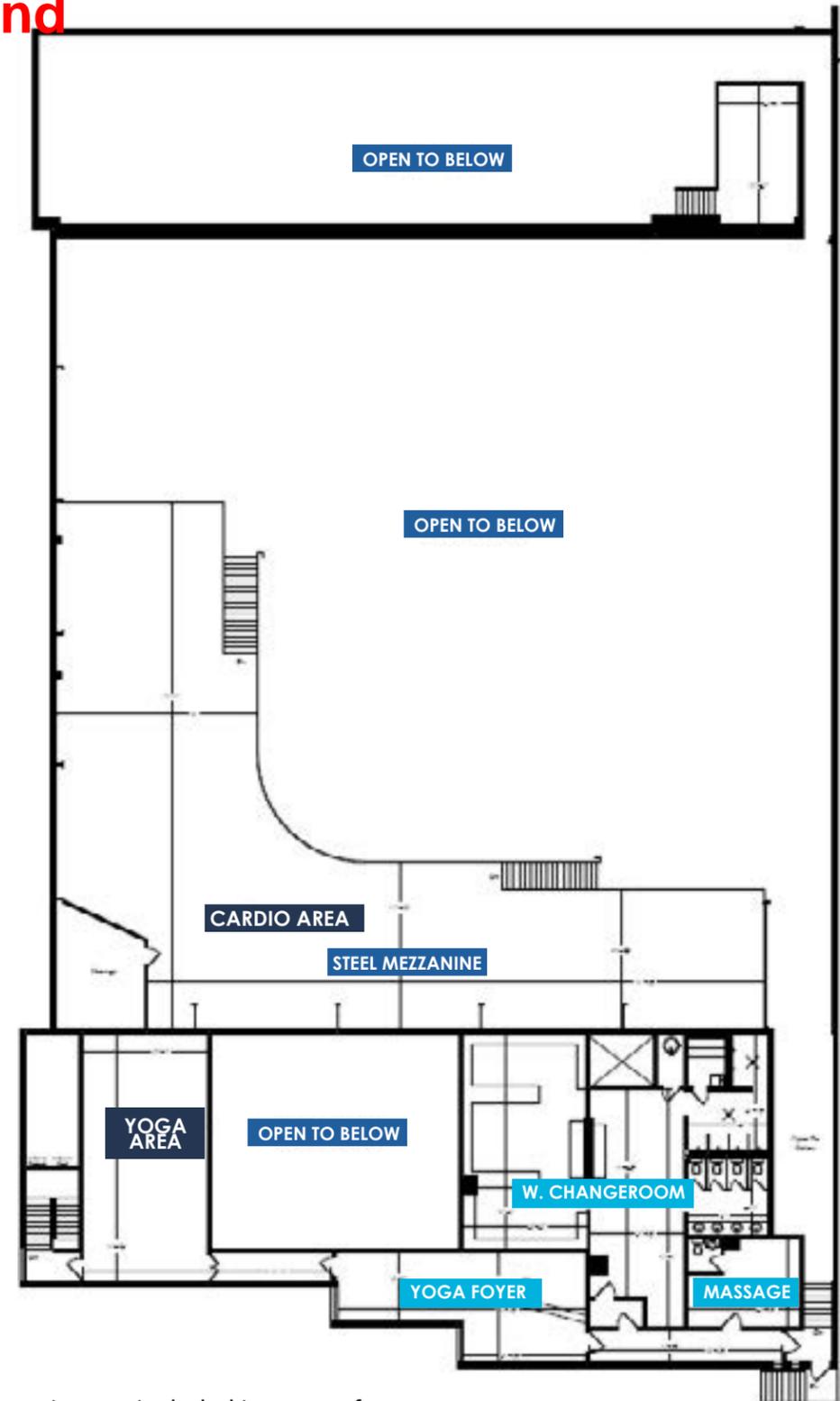
Proposed Location of Dog Daycare

CLICK TO DOWNLOAD FLOOR PLANS (Measurements & Ceiling Heights Included)

FLOOR PLANS

Second Floor - 4,267 Sq.Ft.*

*Does not include mezzanine



4,620 sq.ft. steel mezzanine not included in square footage

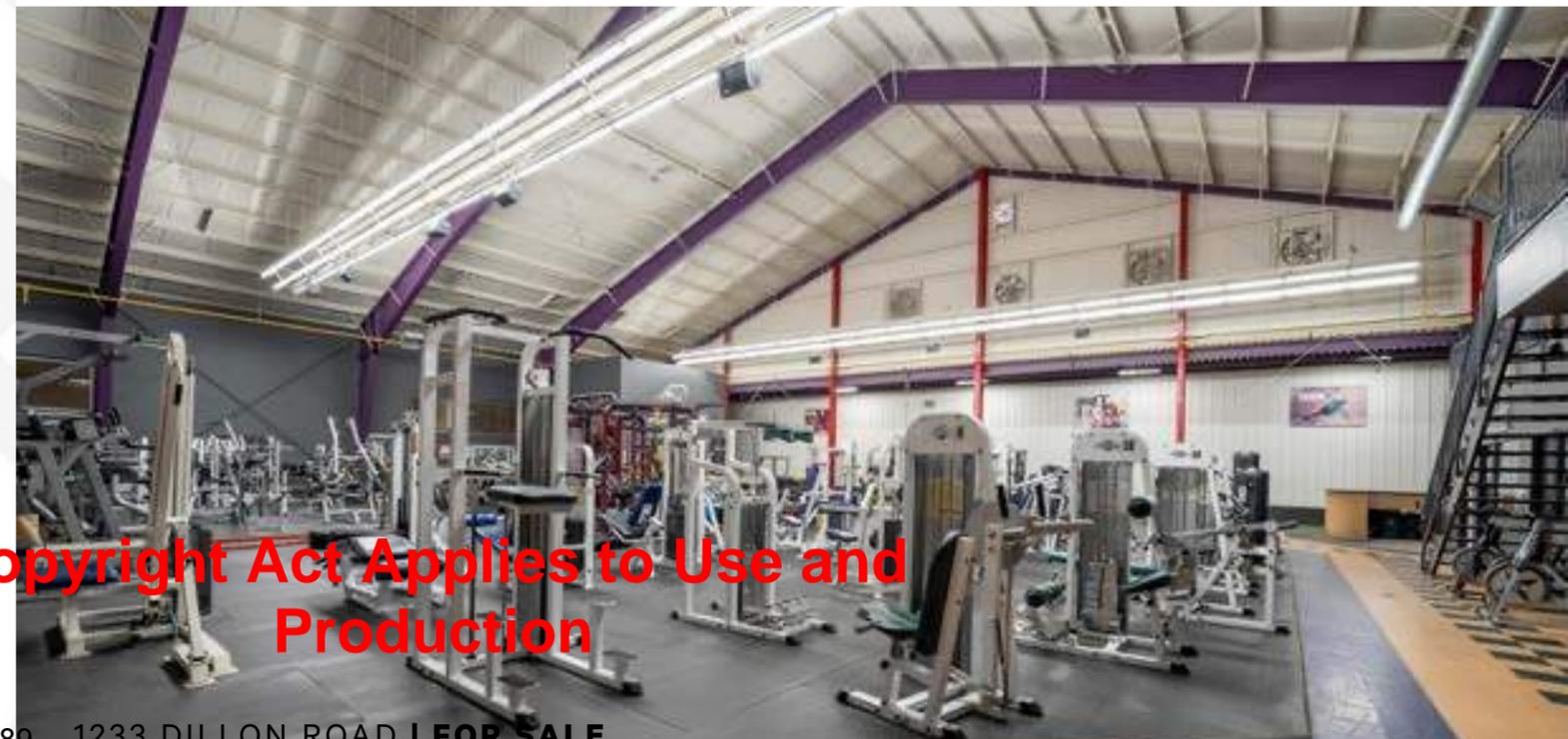
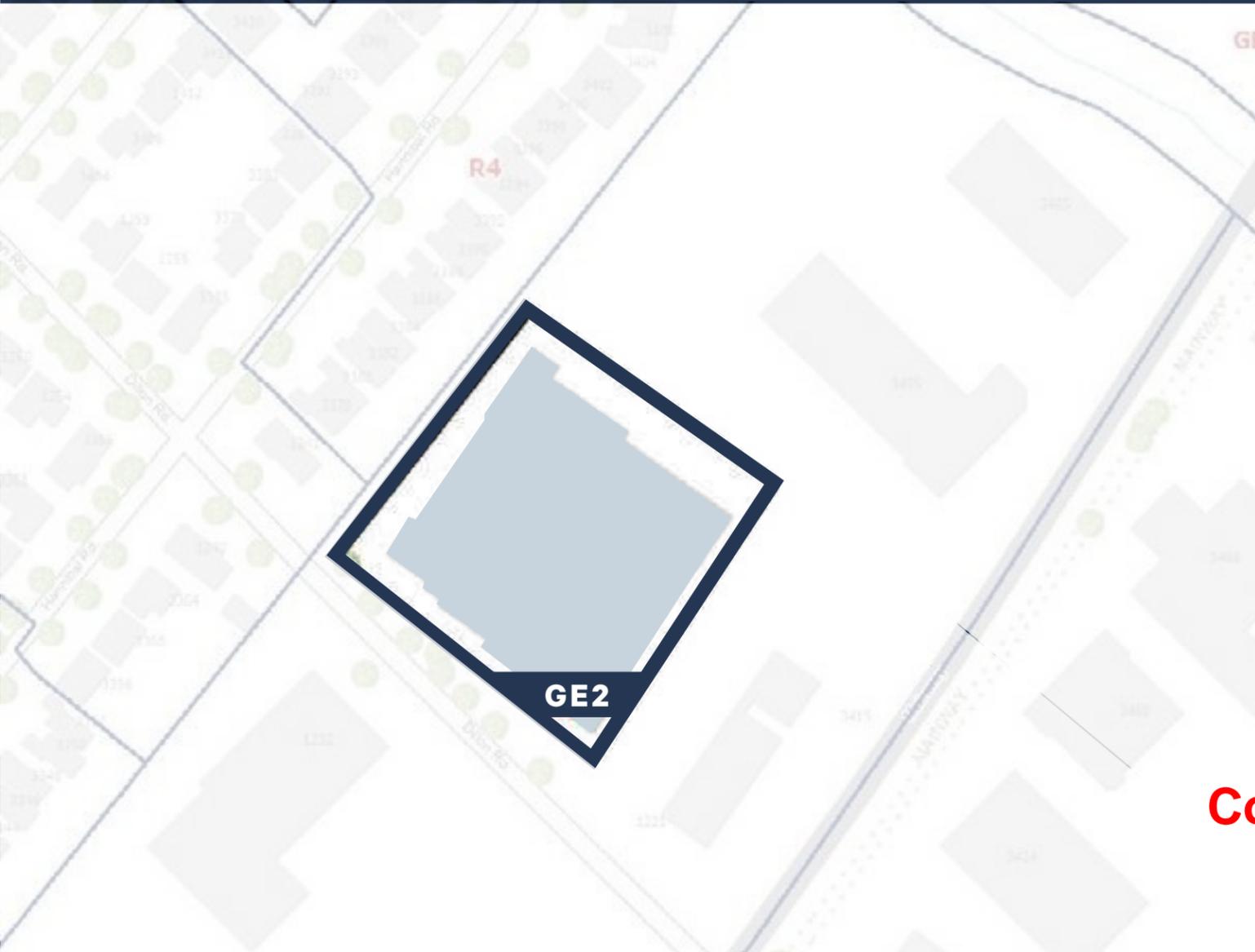
ZONING

NOTABLE USES

- Recreational Establishment
- All Office Uses
- Warehouse & Logistics
- Wholesale Trade
- Training Centre
- Motor Vehicle Service Station



CLICK TO VIEW
GE2 ZONING
PERMITTED USES

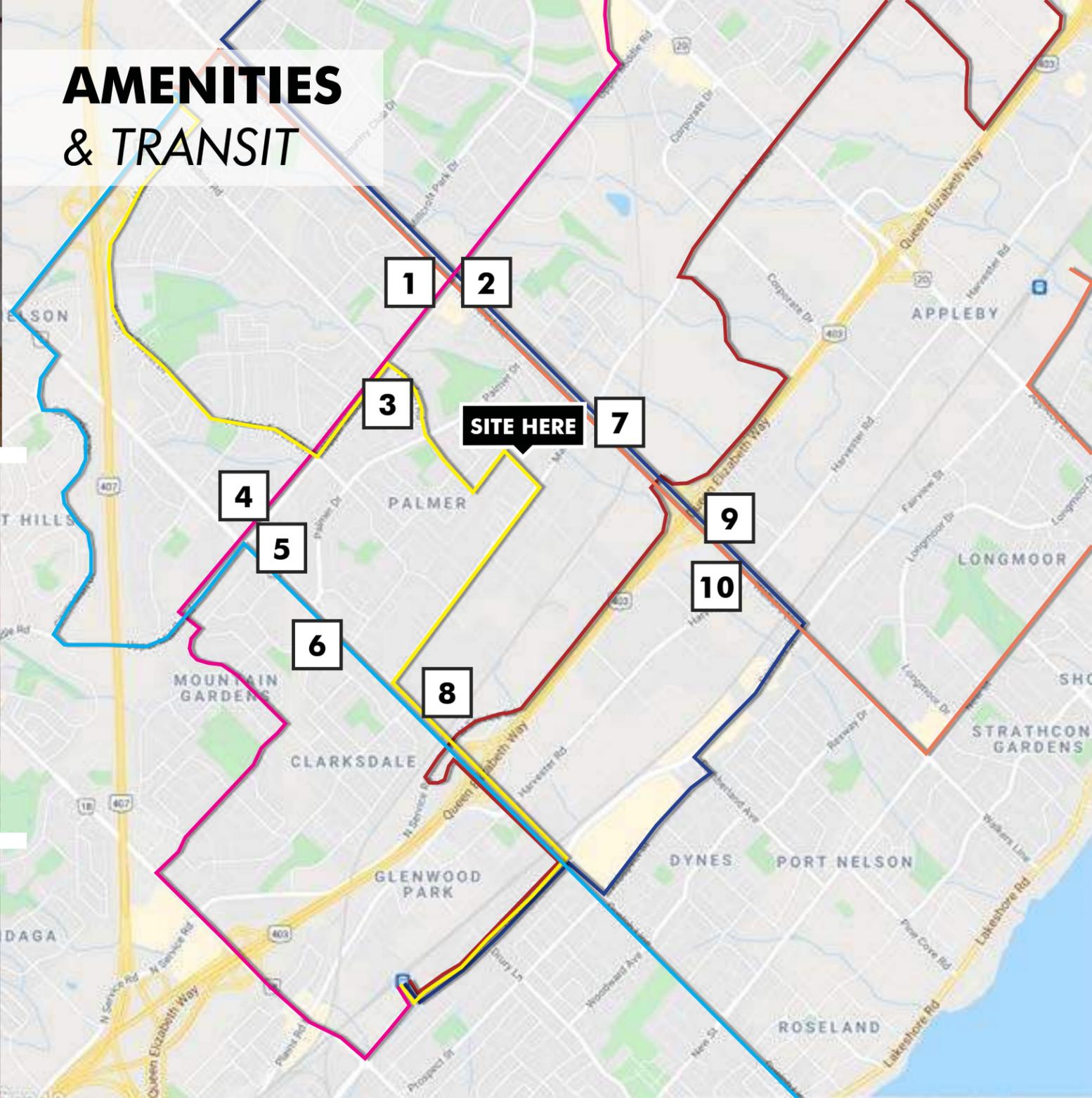


Copyright Act Applies to Use and Production

Note: Floor Plan with uses for reference only.



AMENITIES & TRANSIT



BURLINGTON TRANSIT ROUTES

- BUS ROUTE 03 - GUELPH
- BUS ROUTE 06 - HEADON
- BUS ROUTE 12 - UPPER
- BUS ROUTE 25 - WALKER
- BUS ROUTE 51 - BURLINGTON NORTHEAST
- BUS ROUTE 81 - NORTH SERVICE

LOCAL AMENITIES

- | | | | |
|---|--|--|---------------------------------------|
| 1 FreshCo
Shoppers
Tim Hortons
Scotiabank
Subway
Petro-Canada | 3 Shoppers | 6 Husky | 9 The Brick |
| 2 BMO
A&W | 4 Fortinos
LCBO
Beer Store
Giant Tiger | 7 Tim Hortons
Shell
Petro- | 10 Tim Hortons
Petro-Canada |
| | 5 McDonalds | 8 Home Depot
Planet Fitness
RBC
Esso
Montanas | |

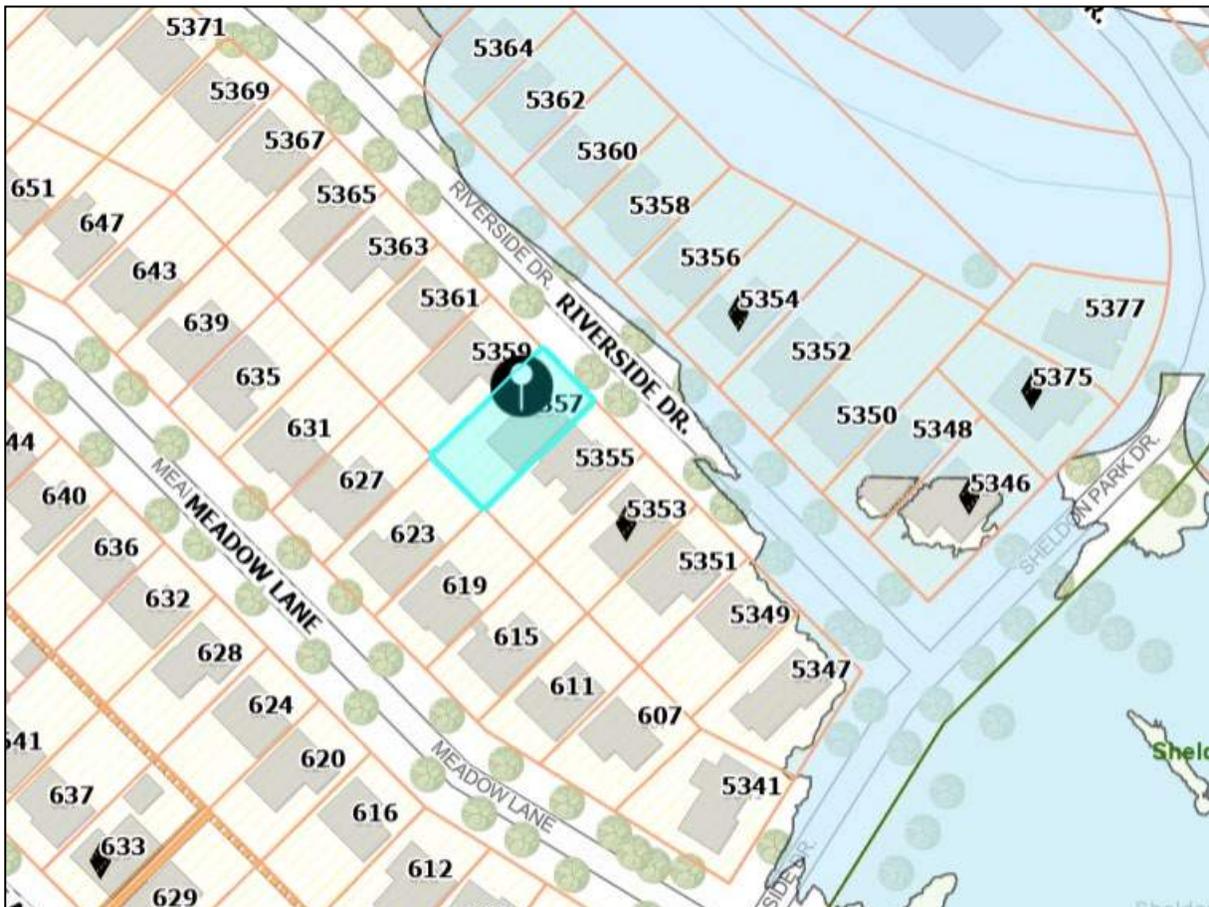
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1233 DILLON ROAD | FOR SALE
 Note: Floor Plan with uses for reference only.

1233 DILLON ROAD | FOR SALE

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Owner(s): Matthew McManus and Cara McManus
Address: 5357 Riverside Dr. Burlington
File No. **A-092/25**
Ward: 5



Staff Comments:

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: December 19, 2025

Prepared By: E. Shacklette

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Zoning

1) **Background information:**

The subject property is zoned R3.2, Low Density Residential, under Zoning By-Law 2020, as amended, and is located in the designated area for lot coverage and floor area ratio. The R3.2 zone requires, among other things, the following:

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R3 ZONES						
R3.2	15 m	425 m ²	6 m	9 m (c)	(b)	4.5 m

Footnotes to Table 2.4.1

(b)

With attached garage or carport:

(i) One or one and a half storey side: 1.2 m

(ii) Two or more storey side: 1.8 m

4.2 MAXIMUM LOT COVERAGE

Table 2.4.3

Dwelling Type	Dwelling with Attached Garage	Dwelling without Attached Garage
All Dwellings in Designated Areas (b) (c)	35% for one storey dwellings including accessory buildings 30% for one and a half storey dwellings including accessory buildings 25% for all other dwelling types including accessory buildings	27% for one storey dwellings plus 8% for accessory buildings 22% for one and a half storey dwellings plus 8% for accessory buildings 17% for all other dwelling types plus 8% for accessory buildings

2) **Proposal:**

The applicant is proposing the construction of a two-storey addition including attached garage to the existing one storey dwelling without attached garage.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

3) **Variances required:**

1. To permit a north-west side yard of 1.2 m instead of the minimum required 1.8 m for a proposed two-storey addition.
2. To permit lot coverage of 31.6% instead of the maximum permitted 25% for a two-storey detached dwelling with an attached garage.

4) **Notes and conditions:**

Notes:

1. A Pre-Building Approval application has been applied for under file 25-021945. The Pre-Building Approval application will be required to be issued prior to a Building Permit application being made.
2. Minor variances have been identified based on the plans submitted for zoning review. If changes to the plans are made after minor variance approval that result in the need for additional minor variances, they will be the responsibility of the applicant to obtain.
3. The zoning review is based on the portion of the site affected by the proposed development only.
4. The variances are being reviewed under 45(1) of the *Planning Act*.

Date: January 12, 2025

Prepared By: S. Boich

Site Planning

Site Characteristics	
Lot Frontage (m)	15.24 m
Lot Area (m²)	487.68 m ²
Existing Land Uses <i>(ex. buildings, structures, driveways, fences, etc...)</i>	One-storey detached dwelling with attached carport.
Site Grading <i>(ex. Flat and level, significant grade differences)</i>	Slight slope up from the street to the dwelling, otherwise, flat and level
Notable Site Features	n/a
Surrounding Land Uses <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Adjacent uses consist of one and two storey low density residential (detached dwellings).
Nearest Major Intersection	New Street and Burloak Drive

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

<p>Neighbourhood Boundaries*</p> <p><i>*Based on OP, 1997 residential neighbourhood definition</i></p>	<p>North: Centennial Trail East: Sheldon Creek South: New Street West: Appleby Creek</p>
---	--

Neighbourhood Characteristics:

- Located in the Residential Low Density (R3.2) zone which permits detached dwellings and additional residential units.
- The neighbourhood supports one-storey and two-storey detached dwellings of varied architectural character, primarily bungalows with attached carports and two storey side-split dwellings.
- Houses with living space positioned over a ground floor garage, similar to the proposed, are common on the street (ex. 5358 and 5356 Riverside Drive)
- Based on aerial imagery, side yard setbacks along Riverside Drive range from 0.8 m to 2.2 m.
- The existing dwelling maintains a lot coverage of 22.5% and has a similar footprint to other one-storey dwellings along Riverside Drive.
- The streetscape is mature, featuring landscaped front yards, and street trees.

A site visit was conducted on January 27, 2025, and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

The proposal does meet the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- Detached dwellings are permitted by the City's Zoning By-law, which is consistent with section 76 of the ROP indicating that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws.

Regional Staff have also reviewed this application and have no objections to the Minor Variance application.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Official Plan, 1997 & 2020

Parts of Burlington Official Plan, 2020 (BOP, 2020) are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of in-force policies under BOP, 2020 and the older Burlington Official Plan 1997 (BOP, 1997).

The requested variances meet the general intent and purpose of the Official Plan for the following reasons:

- The proposal is consistent with the permitted uses under the property's 'Low-Rise Neighbourhoods I' land use designation according to Schedule 'C'/Schedule 'B' (Land Use - Urban Area/Comprehensive Land Use Plan- Urban Planning Area) of the BOP, 1997/BOP, 2020, as amended, which permits ground-oriented, low-density housing, and where compatible infill, small-scale additions, and renovations are encouraged.
- Whereas Section 8.3.2(1)(a)–(d) of the BOP, 2020 (Low-Rise Neighbourhoods I) directs that new development and additions shall be compatible with the surrounding context and maintain the predominant character of the neighbourhood with respect to height, massing, and setbacks, the proposal is consistent with these objectives in the following ways:
 - The existing street supports one-storey and two-storey detached dwellings. The proposed addition would maintain an overall height of 8.23 m, which is less than the maximum 10 m building height permitted for two storey buildings by the Zoning By-law. Staff also note that the second storey addition covers only a portion of the ground floor footprint of the dwelling, minimizing the massing of the addition. For these reasons, staff is of the opinion the proposal respects the existing low-rise character of the street in terms of height and massing.
 - The proposed addition is to be sited in alignment with the front yard setback of the existing dwelling. The proposed addition will be slightly closer to the north-west side yard than the existing carport and will extend further towards the dwelling's rear elevation and rear yard. The proposed addition will preserve the relationship of the existing dwelling to the street, which is in general alignment with adjacent dwellings.
 - Despite the requested reduction in north-west side yard setback and increased lot coverage, staff are of the opinion that the resulting dwelling will still maintain sufficient amenity area and transition between dwellings.
- Whereas compatible is defined in the BOP 1997 as "Development or re-development that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health", which is evaluated in accordance with measurable/objective standards, the planner notes the following:

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

-
- The proposed two-storey addition would not result in significant massing impacts on the streetscape or on neighbouring properties.
 - There are no anticipated adverse effects related to shadowing or noise. There is some potential for overlook given that two windows are proposed to be located on the second floor of the north-west building elevation adjacent to the master bedroom and ensuite. Staff is of the opinion that the potential for overlook is less impactful given the windows would look out to the side yard.
 - The addition respects the established neighbourhood scale and supports the ongoing pattern of gradual residential reinvestment.

2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes – (Variance No. 1 - Reduced North-West Side Yard)

The application requests a variance to permit a north-west side yard of 1.2 m instead of the minimum required 1.8 m for a proposed two-storey addition. The intent of the side yard setback provisions is to ensure adequate separation between buildings for access, maintenance, drainage, privacy, and the provision of light and air between neighbouring dwellings. The requested minor variance maintains the general intent and intent and purpose of the Zoning By-law for the following reasons:

The requested minor variances are consistent with the intent of the Zoning By-law for the following reasons:

- Adequate separation is maintained between the subject dwelling and the adjacent property to allow for light, air, drainage, and building maintenance.
- The proposal respects the prevailing pattern of development in the area, where similar side-yard setbacks exist.

Yes – (Variance No. 2 – Increased Lot Coverage)

The application requests a variance to permit lot coverage of 31.6% instead of the maximum permitted 25% for a two-storey detached dwelling with an attached garage. The intent of lot coverage regulations is to ensure that an appropriate balance is maintained between built form and open space on a lot. By limiting the portion of a property that may be covered by buildings or structures, lot coverage standards help preserve adequate areas for landscaping, drainage, access, and outdoor amenity space, while also mitigating potential impacts related to stormwater runoff, massing, and neighbourhood character. The requested minor variance maintains the general intent and intent and purpose of Zoning By-law for the following reasons:

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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- The increase in lot coverage results from a 44m² expansion to the ground floor area of the existing dwelling. The requested increase in lot coverage represents a reasonable expansion to the existing dwelling without resulting in an overbuilt condition.
- The proposal maintains adequate landscaped open space on the lot, ensuring continued opportunities for access, grading, drainage, and outdoor amenity areas.
- The proposed development does not result in adverse impacts related to neighbourhood character and continues to reflect a low-density residential form.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

The requested minor variances are desirable for the appropriate development and use of the land for the following reasons:

- They support the ongoing renewal and gradual evolution of the surrounding Low-Rise Neighbourhood as envisioned by the BOP, 2020.
- The variances facilitate a modest addition containing a garage and laundry room at ground level and a master bedroom, walk-in closet and en-suite bathroom at the second floor that allows for reinvestment in the existing dwelling and improved functionality, while maintaining the low-rise residential character of the neighbourhood.
- Development Engineering, Forestry, Transportation Planning, and Halton Region have no objections to the requested variances.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed minor variances are minor in nature for the following reasons:

- The resulting built form will continue to provide adequate area for landscaping, amenity area, a functional driveway and sufficient separation between buildings.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

- The requested variances will not pose adverse effects to the subject property, adjacent properties or the surrounding streetscape.
- The requested variances would result in an addition that maintains compatibility with the neighbourhood.

Cumulative Effects of Multiple Variances and Other Planning Matters:

Although the variances have the potential to affect the built form relationship with the neighbouring dwelling to the north-west, the proposed two-storey addition is lower than the maximum permitted building height and provides sufficient spacing for amenity area and access around the property. As a result, staff are of the opinion that the proposal does not introduce new impacts related to privacy, drainage, or building maintenance. The cumulative effect of the variances is appropriate and maintains compatibility with the abutting property and the surrounding neighbourhood.

Recommendation:

Staff has reviewed the requested variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

Date: January 29, 2026

Prepared By: Melissa Dalrymple, MCIP, RPP

Report Schedules & Attachments:

Attachment No. 1 (Site Photos)



COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS



View of existing dwelling from rear yard.



View of rear yard.



Existing dwellings across the street from the subject lands.



Existing dwellings located north-west of the subject lands.



Existing dwellings south-east of the subject lands.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Technical Reviewer Comments:

Development Engineering

Development Engineering has reviewed the proposed minor variances and has no objections. Existing drainage patterns must not be altered and controlled drainage must not impact the property line. Drainage controls are to be installed as per the submitted grading plan.

Date: January 15, 2026

Prepared By: D. Savelli

Forestry

Forestry has no objection to the proposed minor variance(s) and provides the following advisory note(s) to the applicant:

1. A tree permit will be required for any and all work around regulated trees in accordance with the City's Tree By-laws.
2. Revisions to the report and/or plans may be required through the tree permit process.

Date: January 22, 2026

Prepared By: R. Shaw-Lukavsky

Building

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.
3. The City of Burlington's mapping system shows an overhead hydro wire within proximity of the proposed construction. Setbacks to the overhead conductor to meet the requirements of OBC Div. B, 3.1.19. in conformance with 9.1.1.5. or as per approval from Burlington Hydro Inc.

Date: Jan. 27, 2026

Prepared By: A. Kuzmichuk

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Transportation Planning

Deemed Road Width Analysis

Riverside Drive is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right-of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: December 22, 2025 Prepared By: Thalia Thompson

Transportation Planning have reviewed the proposed minor variance application and offer no comments.

Date: January 15, 2026 Prepared By: E. Chen

Finance

Notice regarding Development Charges:

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: January 13, 2026 Prepared By: L. Bray

Agency Comments:

Halton Region

Regional Staff have reviewed the Minor Variance application proposing the construction of a two-storey addition including attached garage to the existing one storey dwelling without attached garage. Variances are requested to the minimum required side yard and maximum permitted lot coverage.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.

- Staff have reviewed the application from the Region's Source Water Protection requirements. In accordance with the MOU and to ensure protection of groundwater sources, Halton Region provides the following comments:
 - The property is located within the jurisdiction of the Halton-Hamilton Source Protection Plan (SPP). The Halton-Hamilton SPP can be accessed online at: <http://www.protectingwater.ca/>
 - The property is located in Intake Protection Zone 2 (VS= 4.8).
 - The proposed application is not located in a Wellhead Protection Area (WHPA) or Issue Contributing Area (ICA), as such no source water protection policies apply to this application. Therefore, this application can proceed from a Source Water Protection perspective, and Section 59 notice will not be required.
 - Attached to these comments is a factsheet for the applicant, regarding the Source Water Protection program and the important role landowners play in protecting drinking water sources

- Regional Staff have no objections to the Minor Variance application.

Date: January 23, 2026

Prepared By: Navjot Kaur

Burlington Hydro

Comments were not received by the time of report publication.

Source Water Protection Factsheet

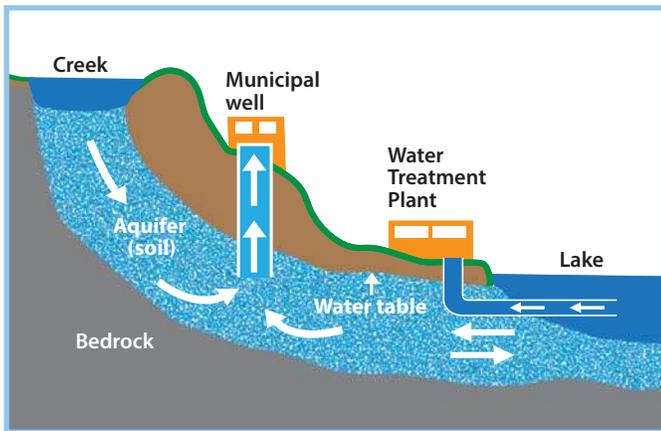
halton.ca

Planning and Building Applications



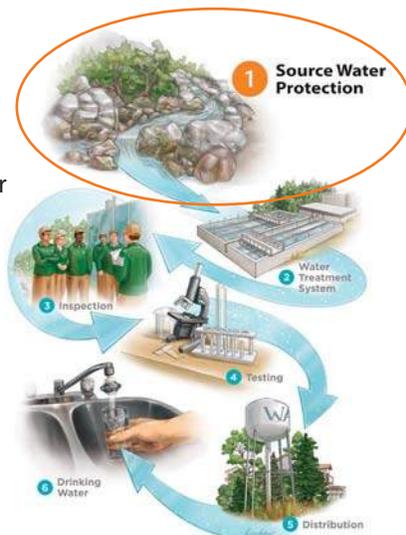
Sources of drinking water

Sources of drinking water include groundwater from underground aquifers and surface water from streams, rivers and lakes. These water sources are used to supply municipal drinking water systems and private wells in Halton Region, as illustrated below.



Protecting Halton's drinking water

To ensure the consistent delivery of safe and high quality drinking water to our residents and businesses, Halton Region uses a proactive multi-barrier approach to safeguard our municipal drinking water. Under the *Clean Water Act, 2006*, the very first barrier in this approach is **Source Protection**.



Source water protection and Planning/Building Applications

Under the *Clean Water Act, 2006*, additional protection of these drinking water sources from potential contamination or overuse is provided through the mandatory implementation of approved Source Protection Plans. These Plans contain policies to protect municipal sources of drinking water in certain **vulnerable areas**.

Planning/building applications on properties located within **vulnerable areas** may be subject to Source Protection Plan policies if they propose activities identified as significant drinking water threats that may potentially contaminate or overuse municipal drinking water sources such as:

- Applying, handling and storing road salt and snow storage.
- Handling and storing fuels, solvents, hazardous waste and other related chemicals.
- Activities that reduce return of water into the ground.
- Applying, handling, and storing pesticides, fertilizers, agricultural and non-agricultural materials.
- Activities that take water without returning it to the same water source.
- Installing or modifying septic and other sewage systems.
- Use of land for livestock yards and/or pasturing.

Is my property in a vulnerable area?

Applicants can contact their local municipal Planning and Building Departments or Halton Region's Source Protection Office to obtain this information prior to submitting an application. To find out if your property falls within a vulnerable area, such as a wellhead protection area or surface water treatment plant intake zone, visit **halton.ca** or call 311.

Did you know? Compliance with Source Protection Plans is applicable law in the Planning Act and the Ontario Building Code when the property is located in a vulnerable area.

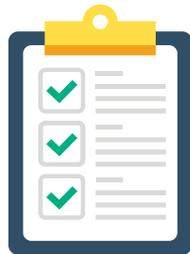
How is my application reviewed?

Municipalities have developed tools to determine whether your application may be subject to Source Protection Plan policies, such as the **Source Protection Checklist** (available at local municipal building/ planning service desks). If the subject property is located in a vulnerable area, applicants will be requested to complete and submit this single page checklist along with other supporting documentation (drawings, details, etc.).

Staff will review the submission and communicate any Source Water Protection requirements to the applicant. In some cases, additional information regarding the proposed activity may be requested to complete the review process.

Step 1

Local municipal staff circulate applications (including Source Protection Checklist) within vulnerable areas to Halton Region's Source Protection Office



Step 2

Halton Region staff will communicate results of Source Protection assessment to applicant and local municipal staff



What do I need to do to comply with Source Water Protection?

Some activities will be managed through traditional methods such as Environmental Compliance Approvals, Permits-To-Take-Water, Nutrient Management Plans and Nutrient Management Strategies. However, depending on the level of risk associated with the proposed activities, some may be prohibited as proposed or require other supporting documents such as:

- Risk Management Plans (see Risk Management Plan fact sheet)
- Site-Specific Salt Management Plans
- Water Balance Assessments
- Hydrogeological Assessments

Where proposed activities are prohibited or regulated through Source Water Protection, municipal staff will provide applicants with detailed feedback regarding what is required.

Did you know? For planning/ building applications located in vulnerable areas, a notice to proceed is required from Halton Region's Risk Management Official before applications are processed.



For more information, visit halton.ca, email sourcewater@halton.ca or call 311.

**RETHINK
WATER**



Enjoy Conserve Protect



NOTICE OF PUBLIC HEARING

Matthew McManus and Cara McManus, the owners of 5357 Riverside Dr. Burlington, have applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **5357 Riverside Dr. Burlington** (see map).

The applicant is proposing the construction of a two-storey addition including attached garage to the existing one storey dwelling without attached garage. This proposal results in the following variances:

1. To permit a north-west side yard of 1.2 m instead of the minimum required 1.8 m for a proposed two-storey addition.
2. To permit lot coverage of 31.6% instead of the maximum permitted 25% for a two-storey detached dwelling with an attached garage.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **February 9, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 25, 2026

This application is scheduled to be heard at or after 1:00 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **12:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

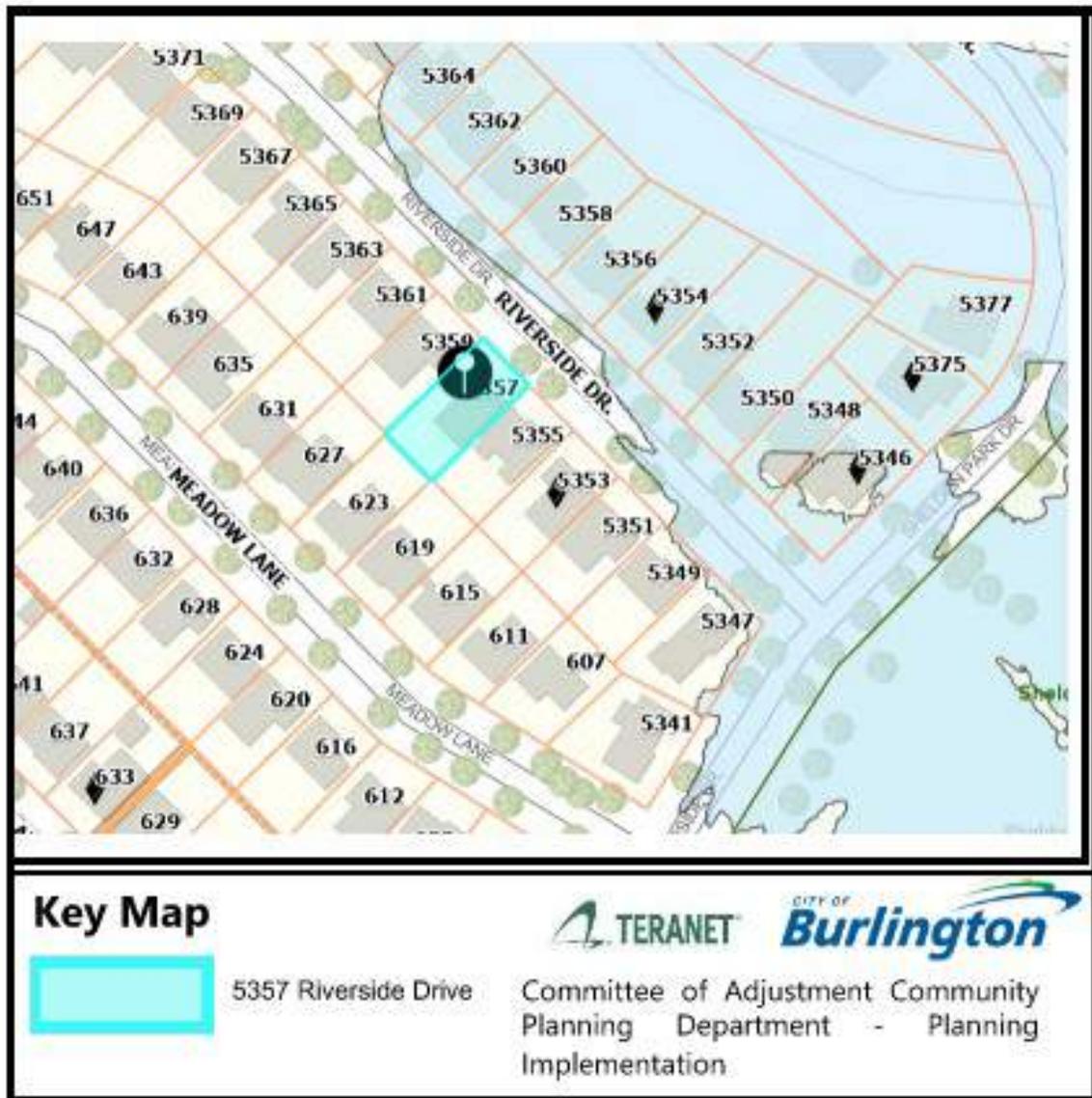
Yours truly,



Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: _____ Name of Zoning Examiner: Steve Boich

PROPERTY INFORMATION

Municipal Address(es) of property:

5357 Riverside Drive, Burlington, ON L7L 3X9

Legal Description of property:

All of lot 460, Registered Plan No. 1379, Town of Burlington

Official Plan Designation: Residential - Low Density Current Zoning Designation R3.2 -Residential

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

Matthew and Cara McManus

Mailing Address: 5357 Riverside Drive City: Burlington

Postal Code: L7L 3X9 Home Phone: _____ Mobile Phone: [REDACTED]

Work Phone: _____ E-Mail: [REDACTED]

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name: David Pick of Scale and Compass Design

Business Address: 25 Marilyn Street City: Caledon East

Postal Code: L7C 1H2 Home Phone: _____ Mobile Phone: [REDACTED]

Work Phone: _____ E-Mail: [REDACTED]

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

To build a 2 storey addition containing a garage on the main floor and a master bedroom on the second floor.

Variance(s) Requested	Zoning Bylaw Requirement
Maximum lot coverage of 31.6 %	4.2 - table 2.4.3 two storey max lot coverage for property zoned R3.2 is max of 25% lot coverage.
Interior Side yard setback of 1.258m	4.1 Lot width, area, yards Table 2.4.1 - R3.2 side yard (b) with attached garage or carport, (ii) two or more storeys: 1.8m min.

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

- Why is the variance(s) minor in nature? The lot area is 6.6 % more than the max allowable, which is minor in nature and the setback is .542m past the allowable for 2-storeys and still provides more than 1.2m of setback.
- Why are the variance(s) desirable for the appropriate use of the land? The added coverage and decreased setback allow for appropriate living space on the second floor and the ability to add the powder room and mudroom. The residence becomes more functional
- Do the variance(s) meet the intent and purpose of the Official Plan? Yes, they do, as the addition increases the floor area for low density residential and does not change the use type from the official plan
- Do the variance(s) meet the intent and purpose of the Zoning By-law? Yes, the variances are minor in nature.

PROPERTY DETAILS (please complete all fields):					
Date property purchased:	08/30/2010 <small>mmm/dd/yyyy</small>	Date property first built on:	1967 <small>mmm/dd/yyyy</small>	Date of proposed construction:	04/01/2026 <small>mmm/dd/yyyy</small>
Existing Use of the Subject Property (check one):			Length of time the existing uses of the subject property have continued:		
Detached Dwelling <input checked="" type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Stacked Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Vacant <input type="checkbox"/> Other <input type="checkbox"/> _____			SINCE 1967		
			Proposed Use of the Land:		
			Single Family Dwelling		
Existing Uses of Abutting Properties (check all that apply)					
Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right-of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input type="checkbox"/> Other <input type="checkbox"/> _____ Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>					
Additional Information					
Is liquor sold on site? Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>					
Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unknown <input type="checkbox"/>					
Type of Access to the Subject Lands					
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other(specify) <input type="checkbox"/>	
Municipal Services Provided					
Water <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____				
Sanitary Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____				
Storm Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____				
IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS:					
<input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input type="checkbox"/> Building Permit <input type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent					

FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Frontage	Depth	Area	Actual	Deemed	Required		
15.24m	32m	487.68 m ²	20m	20m		31.6%	

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Dwelling/Building)			PROPOSED (Dwelling/Building <u>Addition</u>)		
Ground Floor Area (incl. attached garage)	109.7	M ²	Ground Floor Area (incl. attached garage)	New: 44 Total: 153.7	M ²
Gross Floor Area:	109.7	M ²	Gross Floor Area:	197.7	M ²
Number of Storeys:	1		Number of Storeys:	2	
Width:	7.79	M	Width:	4.72	M
Length:	14.1	M	Length:	9.32	M
Height:	5.62	M	Height:	8.32	M
Garage/Car Port			Garage/Car Port		
Detached?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>		Detached?	Y <input type="checkbox"/> N <input type="checkbox"/>	
Gross Floor Area:	20.175	M ²	Gross Floor Area:		M ²
Width:	3.75	M	Width:		M
Length:	5.38	M	Length:		M
Height:	5.62	M	Height:		M
Accessory Structures (Shed, Gazebo, etc)			Accessory Structures		
Gross Floor Area:	6.45	M ²	Gross Floor Area:		M ²
Width:	2.7	M	Width:		M
Length:	2.7	M	Length:		M
Height:	3.0	M	Height:		M
Other (pool, additional sheds, decks, driveways, etc.)			Other		
Gross Floor Area:	35.28	M ²	Gross Floor Area:		M ²
Width:	4.2	M	Width:		M
Length:	8.4	M	Length:		M
Height:	n/a	M	Height:		M

LOCATION of all existing and proposed buildings and structures

EXISTING Main Dwelling			PROPOSED		
Front:	6.62	M	Front:	6.62	M
Rear:	11.26	M	Rear:	15.54	M
Side/Street Side:	6.26 (house wall)	2.835 Carport M	Side/Street Side:	1.258	M
Side/Other Side:	1.2	M	Side/Other Side:	1.2	M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

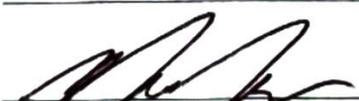
A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name	Matthew McManus	Property Address	5357 Riverside Drive, Burlington, ON
			12/16/2025
	Signature of Owner/Applicant		Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized Agent:

Agent: _____

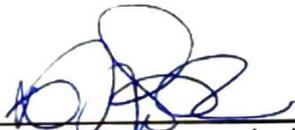
I, Matthew Mcmanus of the Halton Region of Halton in the City
(print name) (Region/City/County) (City/Town/Township)

of Burlington solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the City of Burlington in the Region of Halton
(Region/City/County) (City/Town/Township)

this 17 day of December 2025.

Debra Ann Hordyk, a
 Commissioner, etc., Province of
 Ontario, for The Corporation of the
 City of Burlington.
 Expires October 25, 2027.


 Signature of Commissioner, etc.


 Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 5357 Riverside dr

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.


 Signature of Owner

Matthew Mcmanus
 Print Name

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, Matthew McManus being the registered owner of the subject lands, hereby
(print name)
Authorize David Pick of Scale and
Compass Design to prepare, submit and act on my behalf with respect to this
(print agent name)
application for a Minor Variance.


Signature of Owner

12/16/2025
Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	
SITE PLAN <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Metric Scale <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Frontage <input checked="" type="checkbox"/> Depth <input checked="" type="checkbox"/> Lot Area <input checked="" type="checkbox"/> Lot Coverage <input checked="" type="checkbox"/> Deemed Street Line <input checked="" type="checkbox"/> Existing Front Yard Setbacks <input checked="" type="checkbox"/> Existing Rear Yard Setbacks <input checked="" type="checkbox"/> Existing Side Yard Setbacks <input checked="" type="checkbox"/> Existing Street Side Yard Setbacks <input checked="" type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Proposed Front Yard Setbacks <input checked="" type="checkbox"/> Proposed Rear Yard Setbacks <input checked="" type="checkbox"/> Proposed Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Street Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Streets (Public and Private) <input checked="" type="checkbox"/> Street Names <input checked="" type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

<p>Minor Variance Application Checklist</p> <p>Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.</p>
<p>LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Setbacks <input checked="" type="checkbox"/> Height <input checked="" type="checkbox"/> Area <input checked="" type="checkbox"/> Length <input checked="" type="checkbox"/> Width
<p>ELEVATIONS</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Metric <input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Rear <input checked="" type="checkbox"/> Side 1 <input checked="" type="checkbox"/> Side 2
<p>FLOOR PLANS</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Metric <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Gross Floor Area Calculation <input checked="" type="checkbox"/> Ground Floor Area Calculation <input checked="" type="checkbox"/> Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.



 Signature of Owner/Agent

12/15/2025

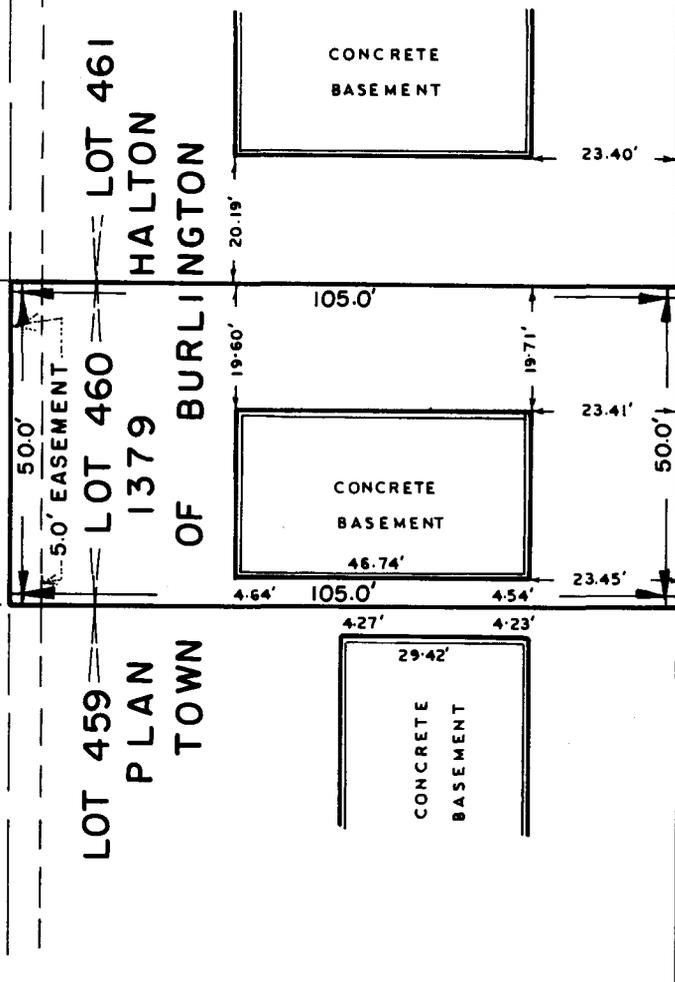
 Date (mmm/dd/yyyy)

Copyright Act Applies to Use and Production

483

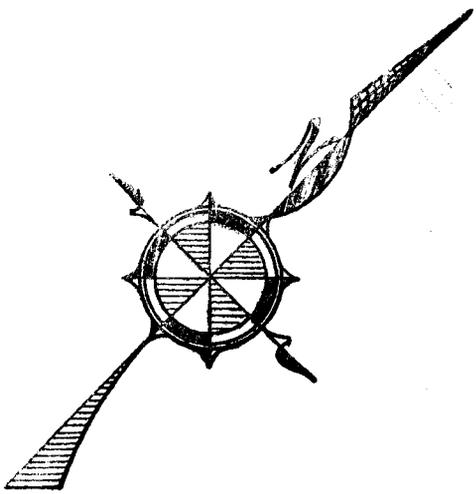
484

485



RIVERSIDE DRIVE

SCALE 1" = 30'



SEWELL AND SEWELL
 ONTARIO LAND SURVEYORS
 TORONTO
 233 ROBINSON ST. OAKVILLE

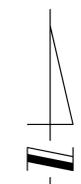
H. D. Sewell
 H. D. SEWELL LOT 460

DATE 27 MAY 1968. NO. 68-51.

Copyright Act Applies to Use and Production

SITE PLAN
5357 RIVERSIDE DRIVE
PIN 07014 - 0226
ON ALL OF LOT 460, REGISTERED PLAN No. 1379,
TOWN OF BURLINGTON,
NOW IN THE,
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON
SCALE - 1 : 100 METRES

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

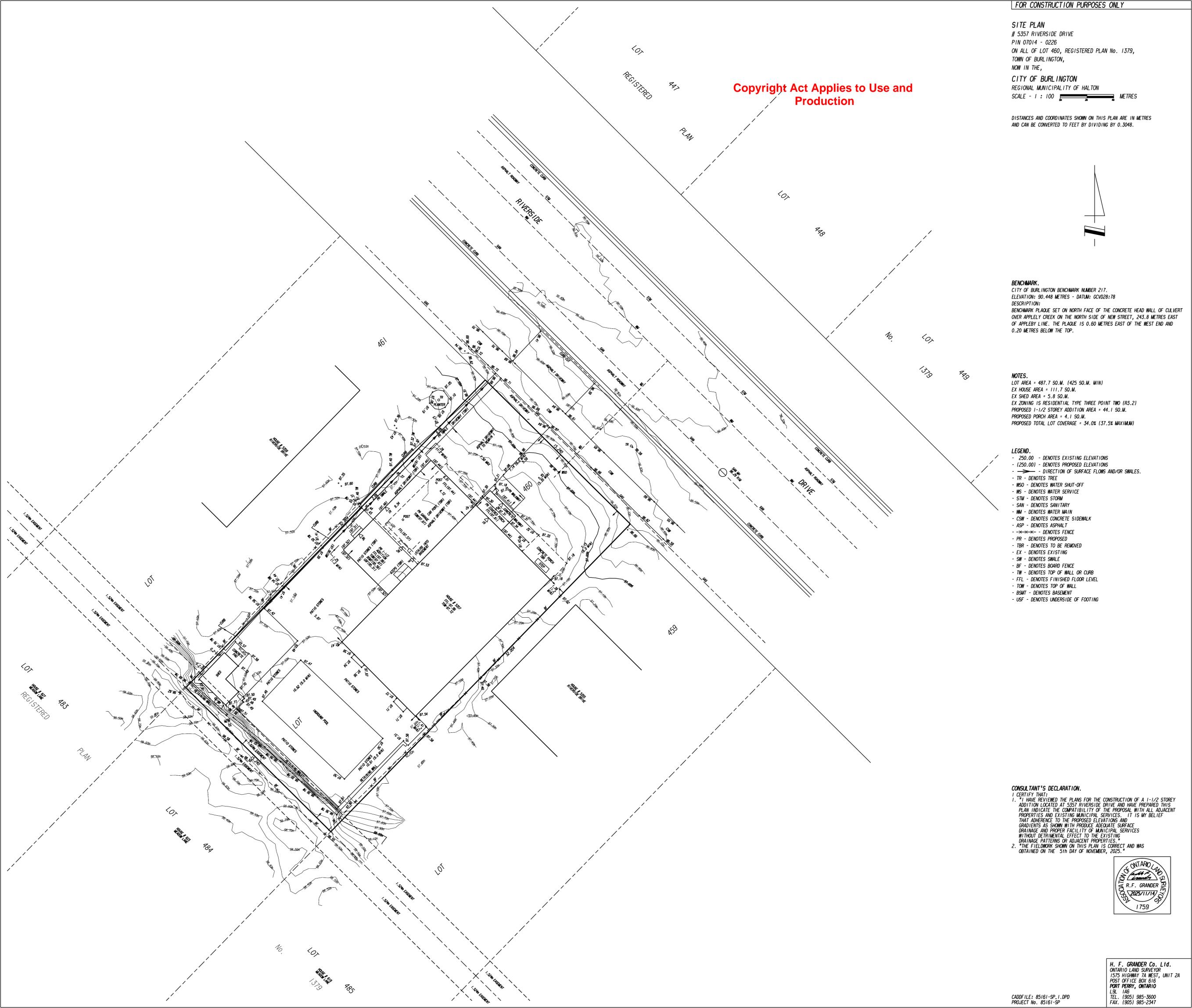


BENCHMARK.
CITY OF BURLINGTON BENCHMARK NUMBER 217.
ELEVATION: 90.448 METRES - DATUM: GVD28:78
DESCRIPTION:
BENCHMARK PLAQUE SET ON NORTH FACE OF THE CONCRETE HEAD WALL OF CULVERT
OVER APPLEBY CREEK ON THE NORTH SIDE OF NEW STREET, 243.8 METRES EAST
OF APPLEBY LINE. THE PLAQUE IS 0.60 METRES EAST OF THE WEST END AND
0.20 METRES BELOW THE TOP.

NOTES.
LOT AREA = 487.7 SQ.M. (125 SQ.M. MIN)
EX HOUSE AREA = 111.7 SQ.M.
EX SHED AREA = 5.8 SQ.M.
EX ZONING IS RESIDENTIAL TYPE THREE POINT TWO (R3.2)
PROPOSED 1-1/2 STOREY ADDITION AREA = 44.1 SQ.M.
PROPOSED PORCH AREA = 4.1 SQ.M.
PROPOSED TOTAL LOT COVERAGE = 34.0% (37.5% MAXIMUM)

LEGEND.
- 250.00 - DENOTES EXISTING ELEVATIONS
- (250.00) - DENOTES PROPOSED ELEVATIONS
- - - - - DIRECTION OF SURFACE FLOWS AND/OR SWALES.
- TR - DENOTES TREE
- WSO - DENOTES WATER SHUT-OFF
- WS - DENOTES WATER SERVICE
- STM - DENOTES STORM
- SAN - DENOTES SANITARY
- WM - DENOTES WATER MAIN
- CSW - DENOTES CONCRETE SIDEWALK
- ASP - DENOTES ASPHALT
- - - - - DENOTES FENCE
- PR - DENOTES PROPOSED
- TBR - DENOTES TO BE REMOVED
- EX - DENOTES EXISTING
- SW - DENOTES SWALE
- BF - DENOTES BOARD FENCE
- TW - DENOTES TOP OF WALL OR CURB
- FFL - DENOTES FINISHED FLOOR LEVEL
- TOM - DENOTES TOP OF WALL
- BSM1 - DENOTES BASEMENT
- USF - DENOTES UNDERSIDE OF FOOTING

CONSULTANT'S DECLARATION.
I CERTIFY THAT:
1. *I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A 1-1/2 STOREY
ADDITION LOCATED AT 5357 RIVERSIDE DRIVE AND HAVE PREPARED THIS
PLAN INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT
PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF
THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND
GRADIENTS AS SHOWN WITH PRODUCE ADEQUATE SURFACE
DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES
WITHOUT DETRIMENTAL EFFECT TO THE EXISTING
DRAINAGE PATTERNS OR ADJACENT PROPERTIES.*
2. *THE FIELDWORK SHOWN ON THIS PLAN IS CORRECT AND WAS
OBTAINED ON THE 5TH DAY OF NOVEMBER, 2025.*





KEY PLAN
N.T.S.

SITE LEGEND	
SYMBOL	DESCRIPTION
	PRIMARY ENTRANCE
	MAN DOOR
	GARAGE DOOR

No.	DATE	REVISION	BY
3	2025-12-16	ISSUED FOR MINOR VARIANCE	DP
2	2025-11-25	REISSUED FOR ZONING REVIEW	DP
1	2025-11-04	ISSUED FOR ZONING REVIEW	DP

I, DAVID PICK, HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK WITHIN THE SCOPE OF PART 9 SMALL BUILDINGS. I AM QUALIFIED FOR THE DESIGN WORK AND AM REGISTERED AS AN OTHER DESIGNER AS PER DIVISION C, PART 13.2.5 OF THE ONTARIO BUILDING CODE, LATEST EDITION. DESIGNER B.O.N.: 40471

DATED: _____ SIGNED: _____

NORTH ARROW:

PROJECT: GARAGE ADDITION

ADDRESS: 5357 RIVERSIDE DRIVE, BURLINGTON, ON

DATE: 05/25/18
PROJECT No.: SC25-010

OWG TITLE: SITE PLAN, TYPICAL NOTES & DETAILS

SCALE: _____ As indicated
DRAWN BY: _____ DP

GENERAL ARCHITECTURAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE (OBC) AND OTHER APPLICABLE CODE AND AUTHORITIES HAVING JURISDICTION.
- DO NOT SCALE DRAWINGS.
- THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
- CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE DESIGNER AND/OR ENGINEER.
- THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS DURING THE CONSTRUCTION FOR TEMPORARY BRACING OF FLOORS, WALLS, DECKS, ETC., TO KEEP THE STRUCTURE SAFE AND IN TRUE ALIGNMENT UNTIL THE COMPLETION OF THE WORK.
- ALL STRUCTURES SHALL BE INSTALLED PLUMB AND LEVEL, AND WITH GOOD CONSTRUCTION PRACTICE.
- ALL TEMPORARY STRUCTURES OR WORKS INCLUDING SHORING, FORM WORK, SCAFFOLDING, AND FALSE WORK SHALL BE PROVIDED BY THE CONTRACTOR.
- ALL FASTENERS, ANCHORS, BOLTS, AND THREADED RODS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON THESE DRAWINGS.
- ANY MATERIALS THAT DO NOT MEET THE CRITERIA AS SET OUT IN THE SPECIFICATIONS OR DRAWINGS WILL BE REJECTED OR REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE.
- DESIGN ENGINEER SHALL BE NOTIFIED OF ANY SITE CONDITIONS THAT DEVIATES FROM THIS DRAWING.
- WHEN NOTES OR DETAILS ARE FOUND TO CONTRADICT ONE ANOTHER IN THESE DRAWINGS, THE MORE STRINGENT SHALL GOVERN.

BUILDING STRUCTURE:

- UNLESS NOTED OTHERWISE, LUMBER AND ALL WOOD PRODUCTS SHALL CONFORM TO SUBSECTION 9.3.2.
- ALL LUMBER SHALL BE SPRUCE-PINE-FIR No. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP.
- BUILT-UP WOOD COLUMNS SHALL CONFORM TO SENTENCE 9.17.4.2.1(2).
- ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED SO AS TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY. SEE ARTICLE 9.23.4.3.
- STEEL BEAMS SHALL AT LEAST MEET THE REQUIREMENTS FOR 350 w STEEL IN CAN/CSA-G40.21, "STRUCTURAL QUALITY STEEL," SEE ARTICLE 9.23.4.3.
- PROVIDE LATERAL SUPPORT FOR STEEL BEAMS AS PER SENTENCE 9.23.4.3.(3).
- BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION BY FASTENING THE SILL PLATE WITH 12.7mm DIA. (1/2" DIA.) ANCHOR BOLTS MAX. 2.4m (7'-10") O.C. AND EMBEDDED MINIMUM 100mm (4") IN FOUNDATION. SEE ARTICLE 9.23.6.1.
- COLUMNS SHALL BE SECURELY FASTENED TO THE BEAM TO PREVENT LATERAL MOVEMENT. ANCHORAGE OF EXTERIOR COLUMNS AND POSTS SHALL CONFORM TO ARTICLE 9.23.6.2.
- PROVIDE ADEQUATE LEVEL BEARING FOR ALL BEAMS AT THE END SUPPORTS AS PER ARTICLE 9.23.8.1.
- POST SUPPORTING BEAMS SHALL BE PROVIDED WITH CONTINUOUS SOLID SUPPORT TO THE TOP OF THE FOUNDATION WALL OR FOOTING.
- NAILING/BOLTING PATTERNS FOR BUILT-UP WOOD BEAMS SHALL CONFORM TO SENTENCES 9.23.8.3.(7) AND (8).
- JOISTS FRAMED INTO THE SIDE OF A STEEL BEAM SHALL CONFORM TO SENTENCES 9.23.9.2.(3), (4), (5).
- PROVIDE JOIST TWISTING RESTRAINT AS PER ARTICLE 9.23.9.3.
- NON-LOAD BEARING WALLS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS AS PER ARTICLE 9.23.9.8.
- THE SIZE AND SPACING OF WALLS STUDS SHALL CONFORM TO TABLE 9.23.10.1. STUDS FOR WALLS NOT LISTED IN TABLE 9.23.10.1 AND SUPPORTING ROOF LOADS SHALL CONFORM TO TABLES A-30 TO A-33.
- PROVIDE CONTINUITY OF STUDS AS PER ARTICLES 9.23.10.4.
- PROVIDE EDGE SUPPORT FOR SUBFLOOR AS PER ARTICLE 9.23.13.3.
- ROOF SHEATHING SHALL CONFORM TO SUBSECTION 9.23.15, AND WALL SHEATHING SHALL CONFORM TO SUBSECTION 9.23.16.
- SHEATHING MEMBRANE SHALL CONFORM TO CAN/CSA-51.32M, "SHEATHING MEMBRANE BREATHER TYPE" AS PER ARTICLE 9.27.2.2.
- INSTALLATION OF ROOF TRUSSES AND/OR ENGINEERED FLOOR FRAMING SYSTEMS SHALL CONFORM TO THE MANUFACTURER'S CERTIFIED SPECIFICATIONS AND THE OBC.
- ALL CONVENTIONAL ROOF FRAMING MEMBERS THAT MEET OR CROSS OVER TRUSSES SHALL DISTRIBUTE THE ROOF LOADS UNIFORMLY TO THE ROOF BELOW AND SHALL BE SPACED AT MAXIMUM 600mm (24" O.C.)
- PROVIDE EAVES PROTECTION ON SHINGLE, SHAKE OR TILE ROOFS AS PER SUBSECTION 9.26.5.

FLOORS AND WALLS:

- ALL FLOORS IN RESIDENTIAL OCCUPANCIES TO BE FINISHED AND OR WATER RESISTANT AS PER ARTICLE 9.30.1.1 AND 9.30.1.2. AND ALL WALL TILE FINISH TO COMPLY TO SUBSECTION 9.29.10.
- ALL GYPSUM WALL BOARD AND INSTALLATION TO COMPLY WITH SUBSECTION 9.29.5. GYPSUM BOARD FINISH (TAPED JOISTS).
- INTERIOR WALLS AND CEILING FINISHED TO COMPLY WITH SUBSECTION 9.29.
- JOISTS TO HAVE A MINIMUM 1 1/2" END BEARING.
- 2x2 CROSS BRIDGING REQUIRED NOT MORE THAN 6' 11" FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING.
- JOIST SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS AND HEADERS.
- NON-LOAD BEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS.
- SUBFLOORING TO BE 3/4" T&G (GLUED AND SCREWED).

NOTCHING AND DRILLING OF TRUSSES, JOISTS, & RAFTERS:

- HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE MAXIMUM 1/4 ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.
 - NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.
 - WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUDS REMAINS, IF LOAD BEARING, AND 1 5/8" IF NON-LOAD BEARING.
 - ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.
- DOORS, WINDOWS, SKYLIGHTS:**
- ROOMS AND SPACES SHALL CONFORM TO SECTION 9.5.
 - FOR NEW DOORS, SIDELIGHTS AND WINDOWS RESISTANT TO FORCED ENTRY SEE SUBSECTION 9.7.5.2.
 - FLAME SPREAD RATING SHALL NOT EXCEED 150 ON WALLS AND CEILINGS.
 - DOORS BETWEEN GARAGES AND DWELLING UNITS SHALL BE TIGHT FITTING, WEATHERSTRIPPED, AND HAVE A SELF-CLOSING DEVICE CONFORMING TO SENTENCES 9.10.13.15.(1) AND (2).
 - WATERPROOF FINISH SHALL BE PROVIDED ON WATER RESISTANT BACKING, AROUND SHOWERS AND BATHTUBS AS PER ARTICLES 9.29.2 AND 9.29.10.4.
 - CONCEALED FLASHING BENEATH WINDOW SILLS OR SILLS TO BE PROVIDED WITH AN OUTWARD SLOPE - 9.27.3.8.
 - ALL CAULKING TO COMPLY WITH SUBSECTION 9.27.4.
 - ALL SKYLIGHTS TO CONFORM TO STANDARDS REFERENCED UNDER SUBSECTION 9.7.4.2.
 - BATHROOMS OR WATER-CLOSED ROOMS, FINISHED ROOMS SHALL BE PROVIDED WITH A MINIMUM 0.28m² (3 FT²) UNOBSTRUCTED OPERABLE VENTILATION AREA TO THE OUTDOORS WHERE SUCH ROOMS ARE NOT VENTILATED MECHANICALLY. SEE SUBSECTION 9.32.2 AND 9.32.2.1.
 - ALL GLASS SHOWER STALLS WILL CONFORM TO ARTICLE 9.6.1 - SAFETY GLASS FOR SHOWER STALLS.
 - WALLS WITH TILE FINISHES SHALL CONFORM TO SUBSECTION 9.29.10. FOR GYPSUM BOARD FINISH (TAPED JOINTS).

STAIRS (INTERIOR/EXTERIOR):

- REQUIRED EXIT STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT SHALL HAVE A WIDTH OF NOT LESS THAN 860mm (2'-10"). SEE SENTENCE 9.8.2.1.(2).
- AT LEAST 1 STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT AND EXTERIOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL UNIT, SHALL HAVE A WIDTH OF NOT LESS THAN 860mm (2'-10"). SEE SENTENCE 9.8.2.1.(4).
- THE CLEAR HEIGHT OVER STAIRS SHALL BE MEASURED VERTICALLY, OVER THE CLEAR WIDTH OF THE STAIR, FROM A STRAIGHT LINE TANGENT TO THE TREAD AND LANDING NOSINGS TO THE LOWEST POINT ABOVE THE STAIRS. (LIGHT FIXTURES, SPRINKLER HEADS AND PIPES INCLUDED) SEE SENTENCE 9.8.2.2.(1).
- THE CLEAR HEIGHT OVER STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT SHALL NOT BE LESS THAN 1950mm (6' 4 3/4"). SEE SENTENCE 9.8.2.2.(3).
- INTERIOR/ EXTERIOR STAIRS IN SINGLE DWELLING UNITS:

	MAX. (mm)	MIN. (mm)
RISE	200 (7/8")	125 (4-7/8")
RUN	355 (14")	255 (10")

SEE SENTENCES 9.8.4.1, 9.8.4.2 AND TABLE 9.8.4.1.
- THE DEPTH OF A RECTANGULAR TREAD SHALL BE NOT LESS THAN ITS RUN AND NOT MORE THAN ITS RUN PLUS 25mm (1"). SEE SENTENCE 9.8.4.2.(2).
- A LANDING IS REQUIRED AT THE TOP AND BOTTOM OF EACH FLIGHT OF INTERIOR AND EXTERIOR STAIRS, INCLUDING STAIRS IN GARAGES, EXCEPT WHERE A DOOT AT THE TOP OF THE STAIR IN A DWELLING UNIT SWINGS AWAY FROM THE STAIR, NO LANDING IS REQUIRED BETWEEN DOORWAY AND THE STAIR. SEE SENTENCES 9.8.6.2.(1)(b) & (2).
- A LANDING MAY BE OMITTED AT THE TOP OF AN EXTERIOR STAIR SERVING A GARAGE OR SECONDARY ENTRANCE TO A HOUSE OR AN INDIVIDUAL DWELLING UNIT, INCLUDING AN ENTRANCE TO AN ATTACHED GARAGE, PROVIDED:
A. THE STAIR DOES NOT CONTAIN MORE THAN 3 RISERS
B. EXCEPT CLAUSE (C) THE DOOR IS A SLIDING DOOR OR SWINGS AWAY FROM THE STAIR, AND
C. WHERE A STORM OR SCREEN DOOR IS PROVIDED, IT MAY SWING OVER THE STAIR IF IT IS EQUIPPED WITH HARDWARE TO HOLD IT OPEN. SEE SENTENCE 9.8.6.2.(3)
- LANDING SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE STAIR IN WHICH THEY OCCUR, AND AT LEAST AS LONG AS THE WIDTH OF THE STAIR IN WHICH THEY OCCUR. SEE SENTENCE 9.8.6.3.(1).
- EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS.
- HEIGHT OF HANDRAILS ON STAIRS/RAMPS SHALL BE 865mm (2'-10") MINIMUM AND 1070mm (3'-6 1/8") MAXIMUM AS PER SENTENCE 9.8.7.4.(2).
- GUARDS FOR FLIGHTS OF STEPS, EXCEPT IN REQUIRED EXIT STAIRS, SHALL BE NOT LESS THAN 900mm (2'-11") HIGH AS PER SENTENCE 9.8.8.3.(3).
- WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90° WITH NO LESS THAN 30° OR MORE THAN 45° PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 1200mm (3'-11") OF LANDING OR STRAIGHT TREADS ALONG THE RUN OF THE STAIR.

GUARDS:

- GUARDS SHALL CONFORM TO SUBSECTION 9.8.8.
- GUARDS SHALL BE DESIGNED TO RESIST THE LOADS SPECIFIED IN TABLE 9.8.8.2 SEE SENTENCE 9.8.8.2.(1).
- GLASS IN GUARDS TO CONFORM TO MMAH SUPPLEMENTARY STANDARDS SB-13.

HANDRAILS AND GUARDS:

- A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIORS STAIRS CONTAINING MORE THAN 3 RISERS.
- GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm (23-5/8") ABOVE ADJACENT LEVEL.
- EXTERIOR GUARDS MIN. 900mm (2'-11") HIGH WHERE WALKING SURFACE IS NOT MORE THAN 1800mm (5'-11") ABOVE ADJACENT SURFACE.
- GUARDS SHALL HAVE NO OPENINGS GREATER THAN 100mm (4"), AND NO MEMBER BETWEEN 140mm (5 1/2") AND 900mm (2'-11") THAT WILL FACILITATE CLIMBING.

ROOFS, ROOF SPACES, VENTILATION AND DRAINAGE:

- FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH AT LEAST 1/2" INTO ROOF SHEATHING.
- EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 3' 3 1/2" WIDE SHINGLE (OR 6 3/8" STAPLES).
- EAVE PROTECTION SHALL EXTEND 2'-0" UP THE ROOF SLOPE FROM EDGE, AND AT LEAST 1 3/4" FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 4" HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBER OR POLYESTER FIBER COATED BASE SHEETS, OR SELF-SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR NO. 15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED.
- OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 23 5/8" WIDE.
- FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS.
- SHEET METAL WHEN FLASHING SHALL CONSIST OF NOT LESS THAN 1/16" SHEET LEAD, 0.013" GALVANIZED STEEL, 0.018" ZINC, OR 0.018" ALUMINUM.
- HIP AND VALLEY RAFTER SHALL BE 2" DEEPER THAN COMMON RAFTERS.
- 2x4 COLLAR TIES AT RAFTER SPACING WITH 1x4 CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 7'-10" IN LENGTH.
- EXCEPT WHERE IT CAN BE SHOWN TO BE UNNECESSARY, WHERE INSTALLATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE SHEATHING, AND VENTS SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM SPACE TO THE EXTERIOR.
- THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA, WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA, NOT LESS THAN 25% OF THE VENTS SHALL BE LOCATED NEAR THE ROOF RIDGE. SEE ARTICLES 9.19.1.1 AND 9.19.1.2. PROVIDE A NATURAL VENTILATION AREA OF 0.1m² PER 50m² OF UNHEATED CRAWL SPACE AREA AS PER SENTENCE 9.18.3.1.(2).
- PROVIDE MINIMUM 0.2% OF UNFINISHED BASEMENT FLOOR AREA, AS UNOBSTRUCTED NATURAL VENTILATION TO THE OUTDOORS AS PER TABLE 9.32.2.1.
- ATTIC ACCESS HATCH SHALL BE MINIMUM 0.32m² (3.4 FT²) IN AREA WITH NO DIMENSION LESS THAN 545mm (21 1/2 in.) AS PER ARTICLE 9.19.2.1.
- ROOF DRAINS, DOWN SPOUTS (ROOF GUTTERS) SHALL CONFORM TO SUBSECTION 9.26.18. (ALSO SEE DEFINITIONS IN ARTICLE 1.4.1.2 OF DIVISION A).
- SURFACE AND SUBSURFACE DRAINAGE SHALL CONFORM TO SECTION 9.14.
- DRAINAGE TILES OR PIPES SHALL BE INSTALLED AS PER ARTICLE 9.14.3.3.

MASSIVE WOOD:

- MINIMUM 2 3/4" THICK IF JOINTS ARE NOT RAKED AND 3 1/2" THICK IF JOIST ARE RAKED.
- MINIMUM 1" AIR SPACE TO SHEATHING.
- PROVIDE WEEPHOLES AT 31 1/2" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.
- DIRECT DRAINAGE THROUGH WEEPHOLES WITH 20 mil POLY FLASHING EXTENDING 5 7/8" UP BEHIND THE SHEATHING PAPER.
- VENER TIES MINIMUM 0.030" THICK x 7/8" WIDE CORROSION RESISTANT STRAPS SPACE AT 23 5/8" VERTICALLY AND 15 3/4" HORIZONTALLY.
- FASTEN TIES WITH CORROSION RESISTANCE 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1 3/16" INTO STUDS.

SMOKE ALARMS AND CARBON MONOXIDE ALARMS:

- SMOKE ALARMS CONFORMING TO CAN/ULS - 5531, "SMOKE ALARMS" SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM.
- SMOKE ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND AS PER 9.10.19.15.
- CARBON MONOXIDE DETECTION CONFORMING TO SUBSECTION 6.2.12 AND/OR SUBSECTION 9.33.4, SHALL BE INSTALLED.

ELECTRICAL:

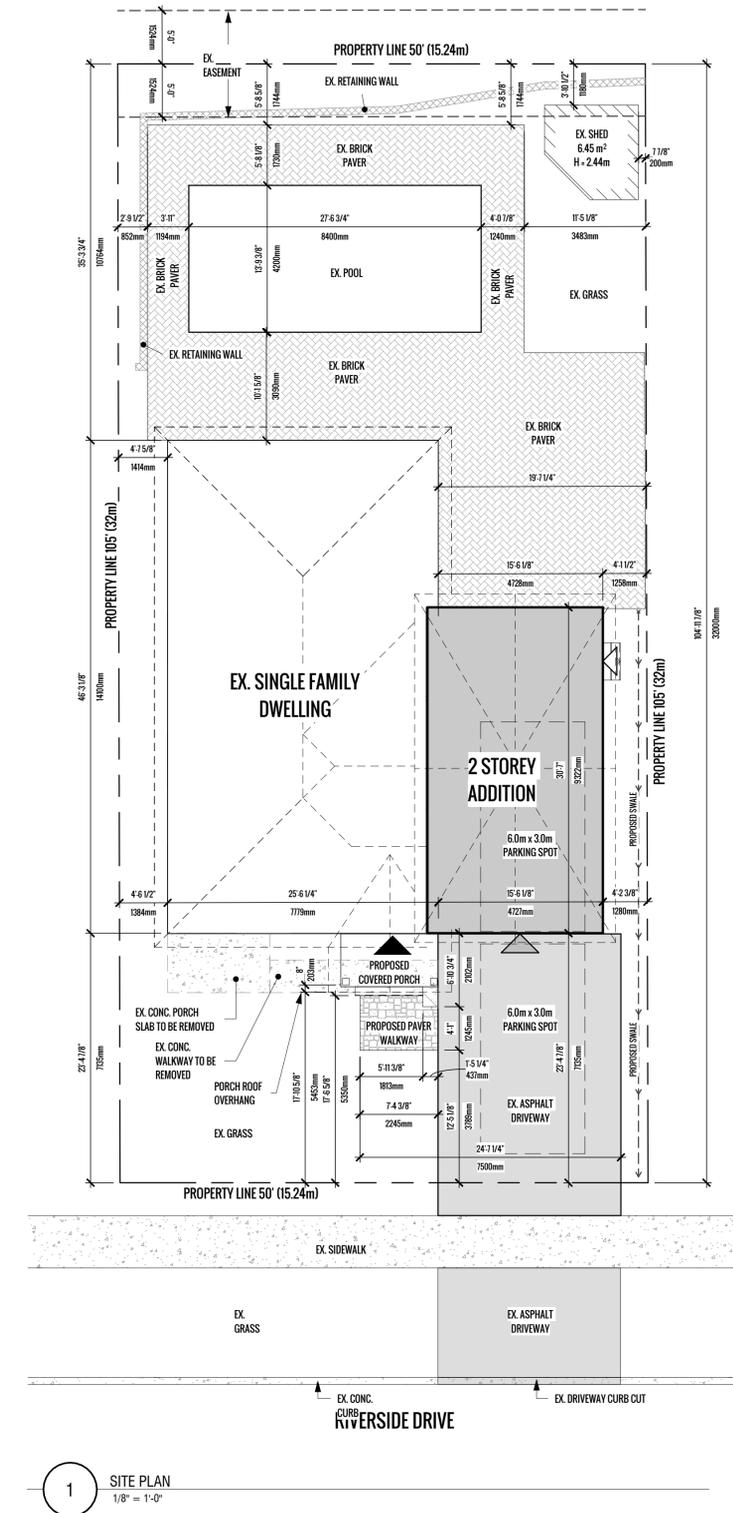
- ELECTRICAL FACILITIES SHALL CONFORM TO 9.34.
- ELECTRICAL OUTLETS IN DWELLING UNITS TO CONFORM TO ARTICLE 9.34.22.
- AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.
- A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND SCARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
- STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3-WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.
- BASEMENTS REQUIRE A LIGHT FOR EACH 323 SQ. FT., CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

MECHANICAL VENTILATION:

- A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
x 10 cfm EACH BASEMENT AND MASTER BEDROOM
x 5 cfm FOR EACH OTHER ROOM.
- A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF A KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- A HEAT RECOVERY VENTILATOR MUST BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION, AND HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
- SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.
- SUPPLY AIR DUCTS IN UNHEATED SPACES TO BE COVERED/Wrapped IN MIN. R-12 SPRAY FOAM OR BLANKET WRAP INSULATION

LOT 460 PLAN 1379 HALTON TOWN OF BURLINGTON			
ZONING REQUIREMENTS:			
ZONING BY LAW: 2020			
PROPERTY ZONING: R32 - RESIDENTIAL			
SITE STATISTICS			
ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA:	425 m ² (MIN.)	487.7 m ²	N/A
LOT FRONTAGE:	15 m (MIN.)	15.24m	N/A
LOT COVERAGE:	25% (MAX.)	22.3%	31.6%
YARD SETBACKS:	278.8 m ²	109 m ²	153.98 m ²
MAIN BUILDING:			
FRONT (EAST):	6 m MIN.	6.62m	N/A
INT. SIDE (NORTH):	1.8 m MIN.	6.26m	1.258m
INT. SIDE (SOUTH):	1.2 m MIN.	1.2m	N/A
REAR (WEST):	9 m MIN.	11.26m	N/A
DWELLING DEPTH:	18 m MAX.	14.2 m	N/A
BUILDING HEIGHT:			
MAIN BUILDING:	8.5m MAX.	5.69m	8.23m
ADDITION:	4.5m MAX.	N/A	4.08m
(FROM U/S OF FIRST FLOOR CEILING)			

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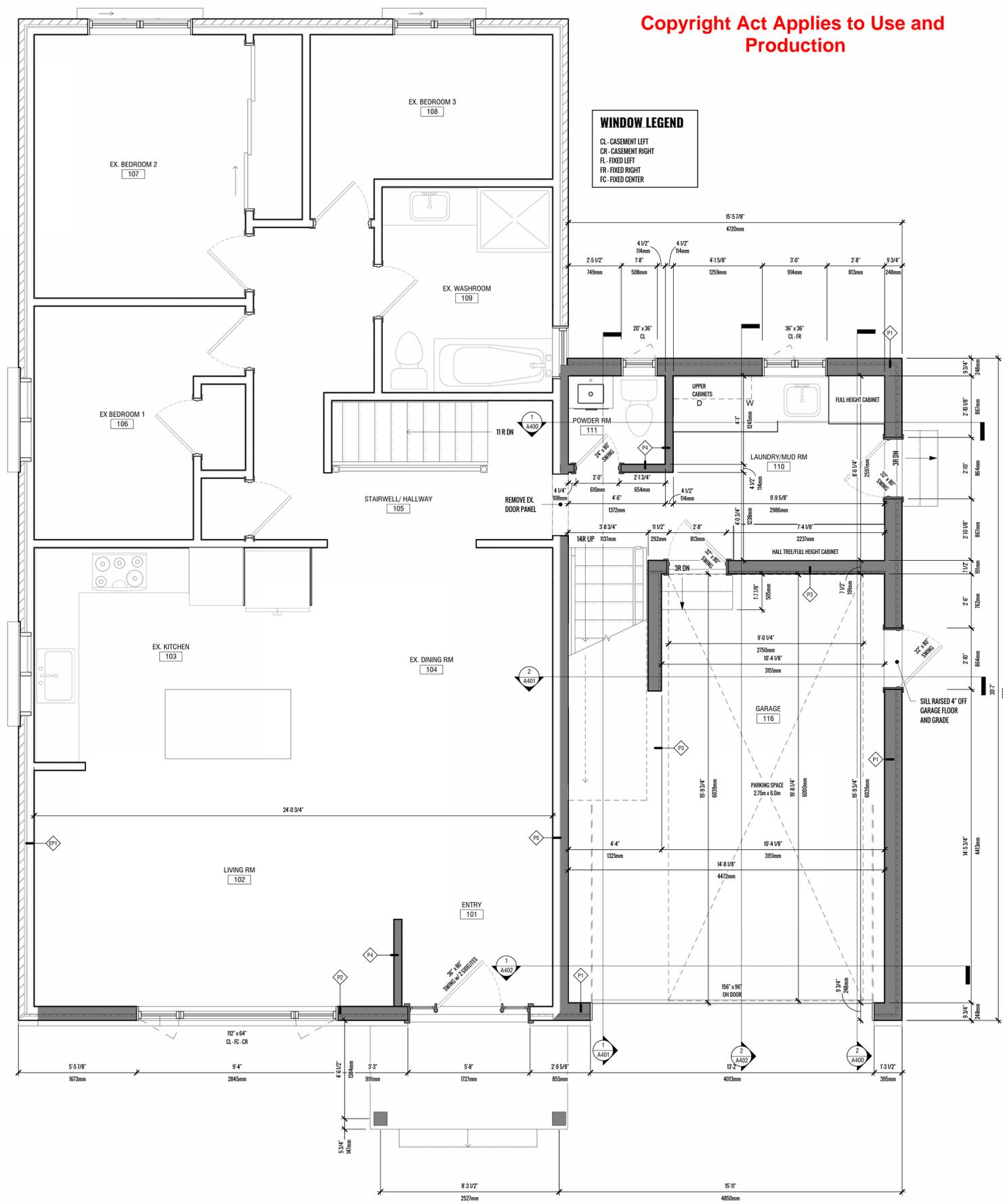


1 SITE PLAN
1/8" = 1'-0"

ROOM No.	ROOM NAME	AREA (SF)
101	ENTRY	79
102	LIVING RM	186
103	EX. KITCHEN	130
104	EX. DINING RM	115
105	STAIRWELL/HALLWAY	133
106	EX. BEDROOM 1	87
107	EX. BEDROOM 2	119
108	EX. BEDROOM 3	81
109	EX. WASHROOM	75
110	LAUNDRY/MUD RM	105
111	POWDER RM	18
112	GARAGE	Not Placed
113	MASTER BEDROOM	238
114	ENSUITE	94
115	WIC	58
116	GARAGE	292

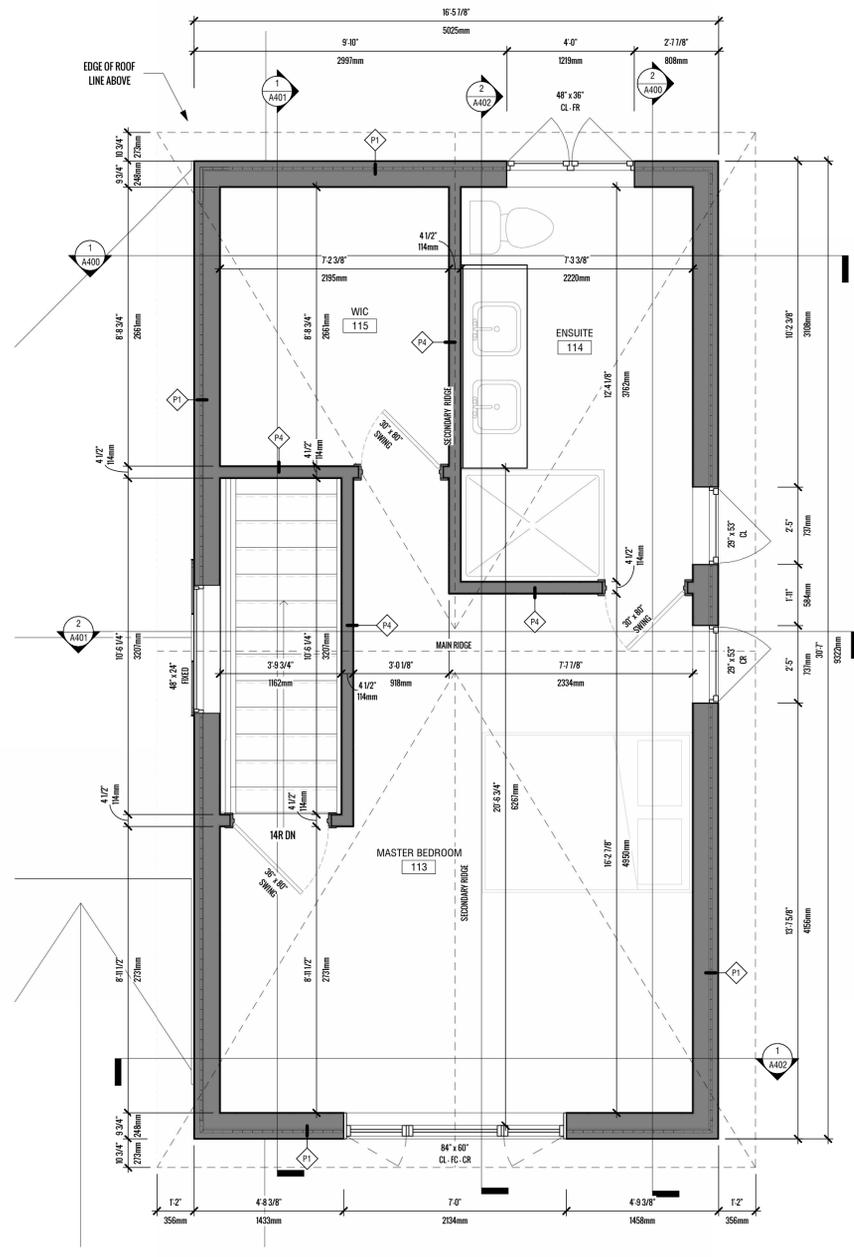
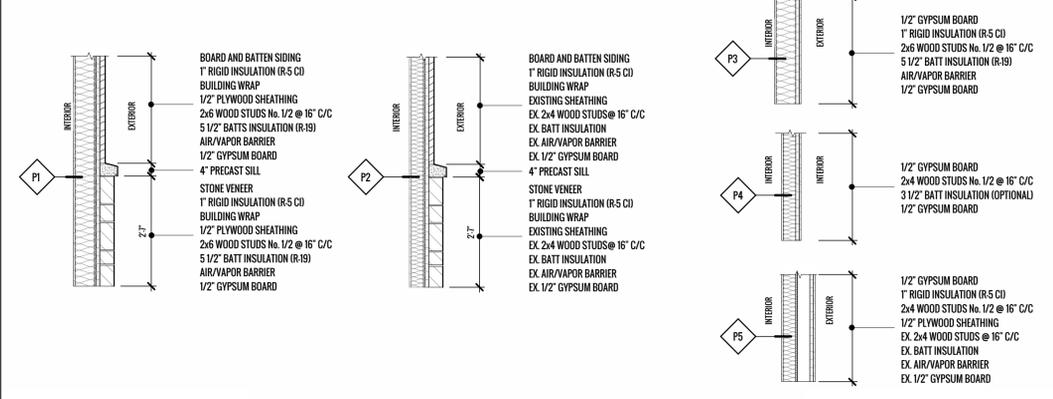
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WINDOW LEGEND
CL - CASEMENT LEFT
CR - CASEMENT RIGHT
FL - FIXED LEFT
FR - FIXED RIGHT
FC - FIXED CENTER



1 MAIN FLOOR - PROPOSED PLAN
3/8" = 1'-0"

PARTITION SCHEDULE

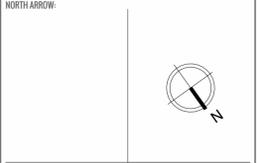


2 SECOND FLOOR PLAN
3/8" = 1'-0"

No.	DATE	REVISION	BY
3	2025-12-16	ISSUED FOR MINOR VARIANCE	DP
2	2025-11-25	REISSUED FOR ZONING REVIEW	DP
1	2025-11-04	ISSUED FOR ZONING REVIEW	DP

I, DAVID PICK, HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK WITHIN THE SCOPE OF PART 3 SMALL BUILDINGS. I AM QUALIFIED FOR THE DESIGN WORK AND AM REGISTERED AS AN OTHER DESIGNER AS PER DIVISION C, PART 3 (2.5) OF THE ONTARIO BUILDING CODE, LATEST EDITION. DESIGNER BON: 40471

DATED: _____ SIGNED: _____



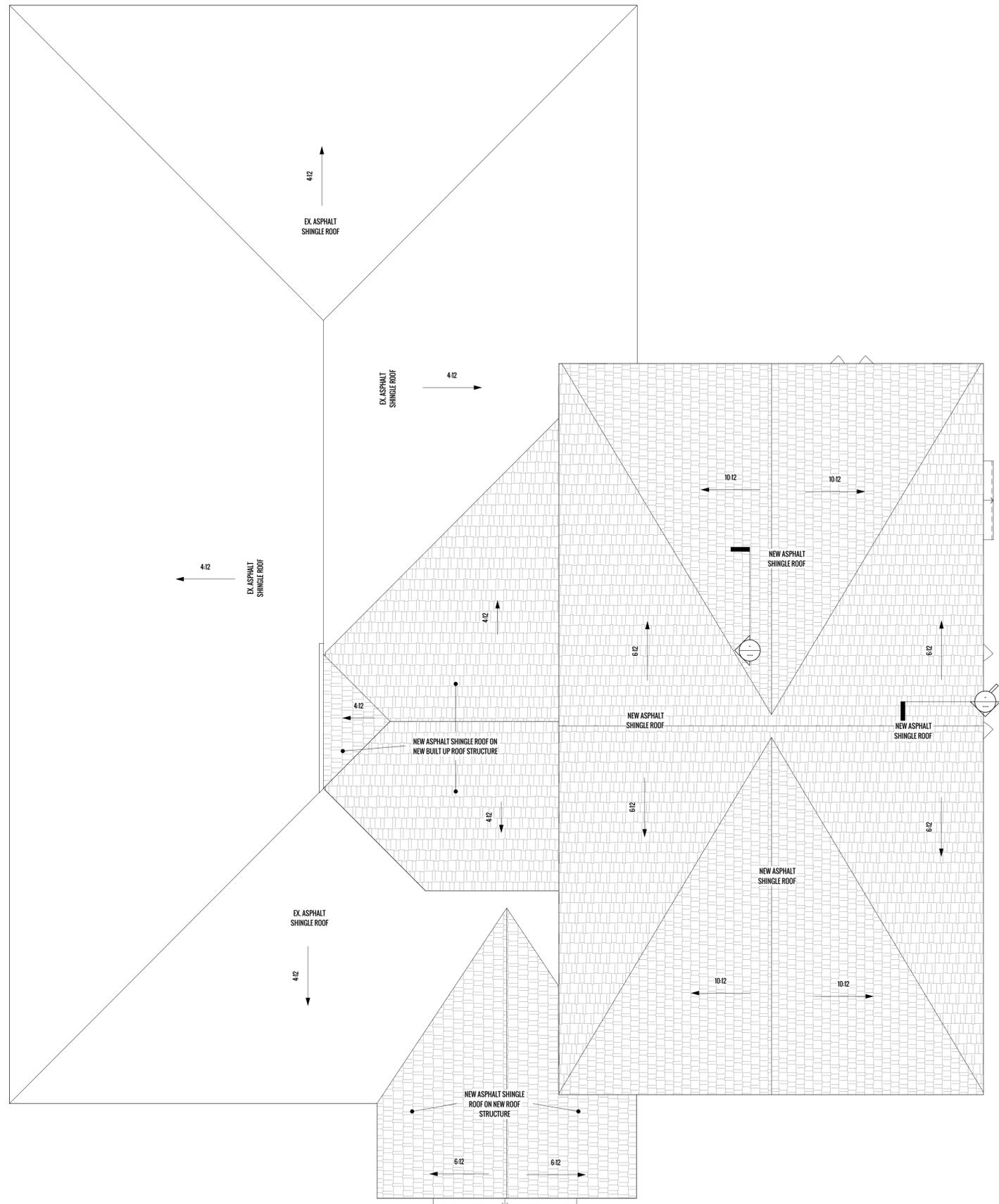
PROJECT: GARAGE ADDITION

ADDRESS: 5357 RIVERSIDE DRIVE, BURLINGTON, ON

DATE: 2025-06-19
PROJECT No.: SC25-010

DWG TITLE: MAIN FLOOR & SECOND FLOOR PLANS

SCALE: As indicated
DRAWN BY: DP



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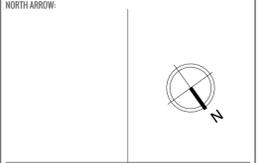
1 ROOF PLAN
A300 3/8" = 1'-0"

No.	DATE	REVISION	BY

3	2025-12-16	ISSUED FOR MINOR VARIANCE	DP
2	2025-11-25	ISSUED FOR ZONING REVIEW	DP
1	2025-11-04	ISSUED FOR ZONING REVIEW	DP

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DATED: _____ SIGNED: _____



PROJECT: GARAGE ADDITION

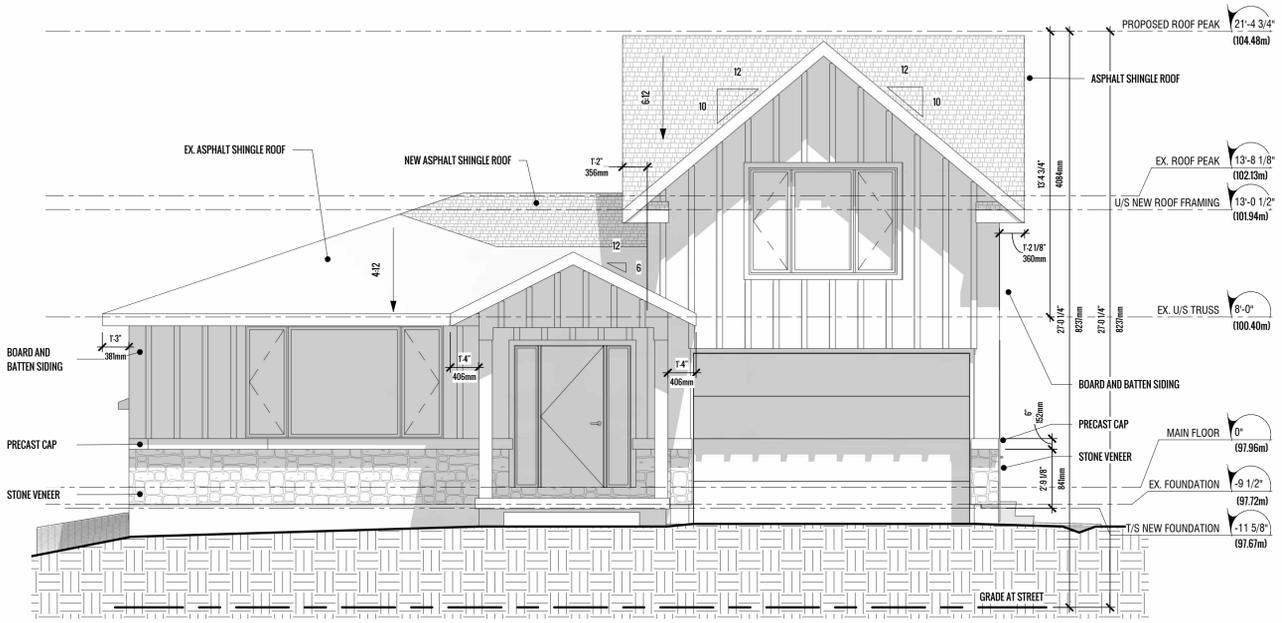
ADDRESS: 5357 RIVERSIDE DRIVE, BURLINGTON, ON

DATE: 10/09/25
PROJECT No.: SC25-010

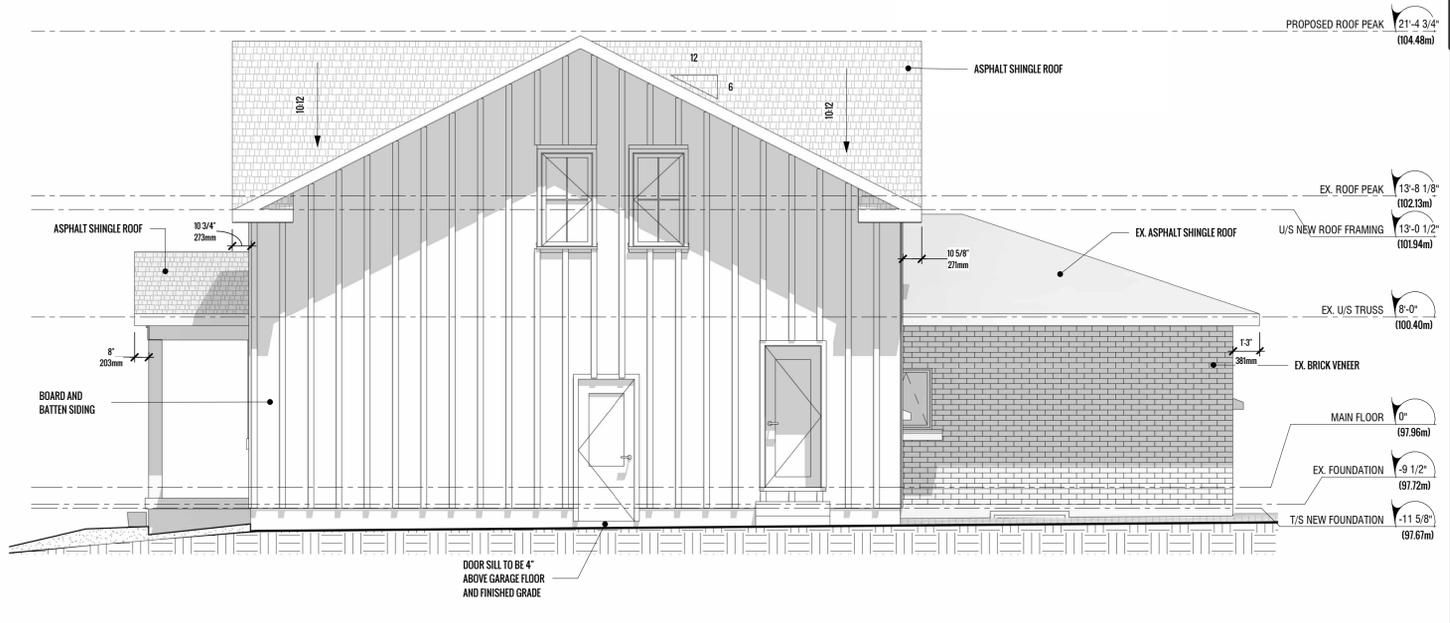
DWG TITLE: ROOF PLAN

SCALE: 3/8" = 1'-0"
DRAWN BY: DP

A102

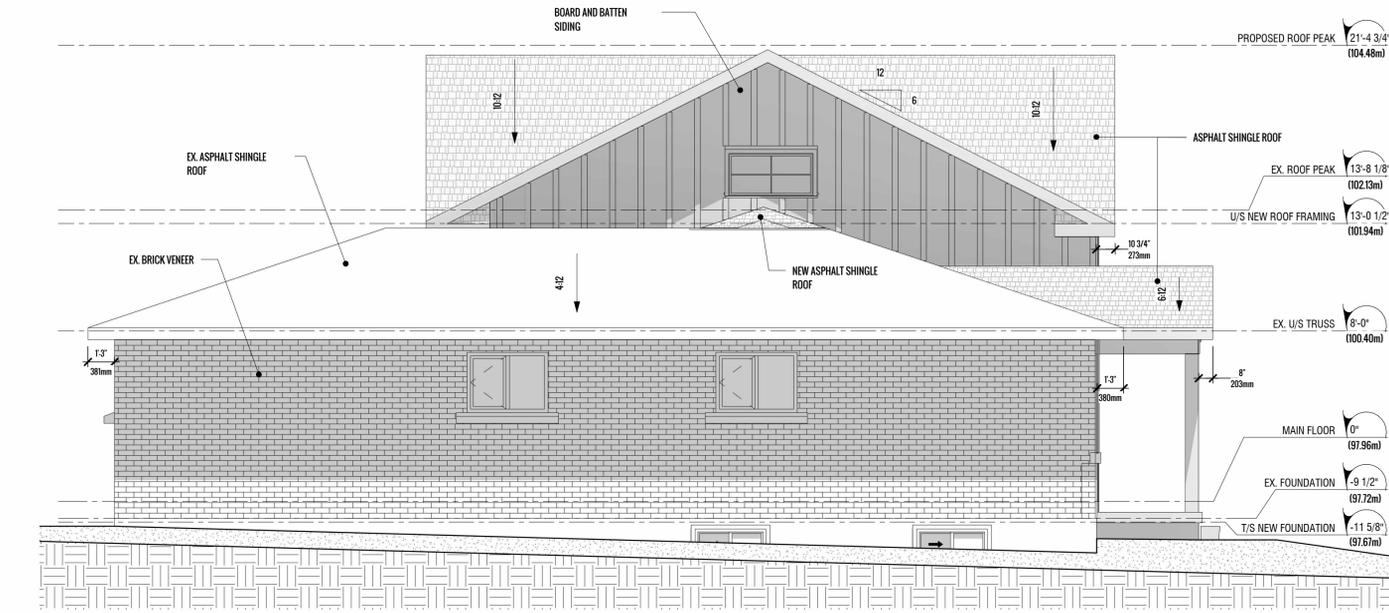


1 NEW SOUTH ELEVATION
1/4" = 1'-0"

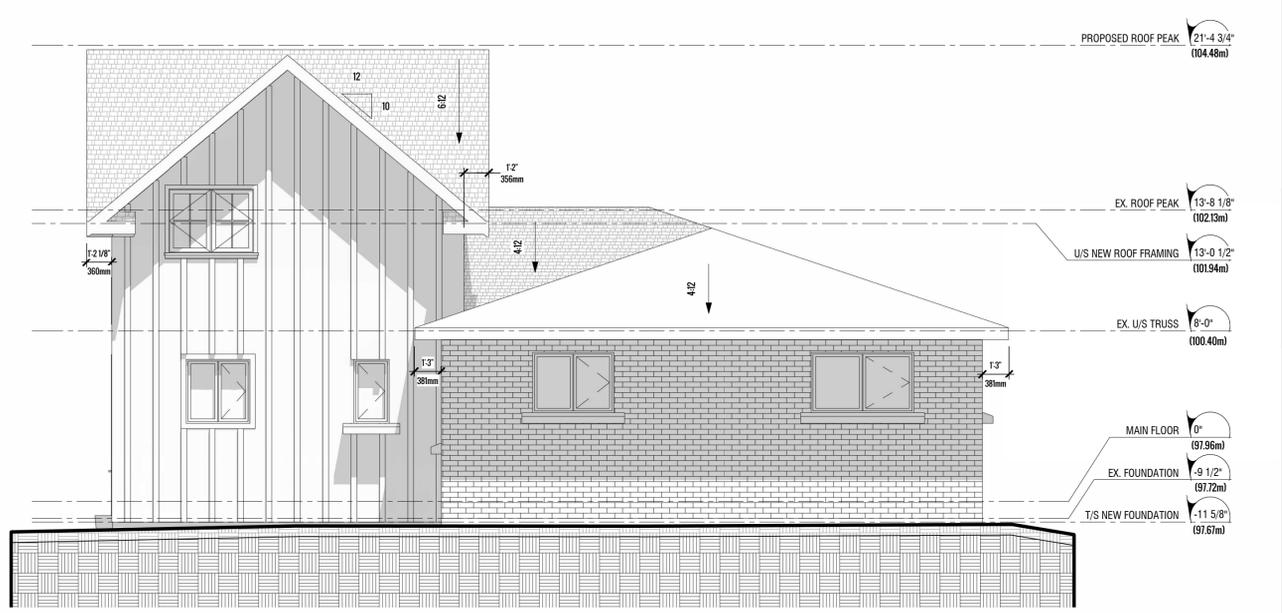


2 XE-02 WEST ELEVATION N
1/4" = 1'-0"

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3 NEW WEST ELEVATION
1/4" = 1'-0"



4 NEW NORTH ELEVATIONS
1/4" = 1'-0"

No.	DATE	REVISION	BY
3	2025-12-16	ISSUED FOR MINOR VARIANCE	DP
2	2025-11-25	ISSUED FOR ZONING REVIEW	DP
1	2025-11-04	ISSUED FOR ZONING REVIEW	DP

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DATED: _____ SIGNED: _____

NORTH ARROW: _____

PROJECT: GARAGE ADDITION

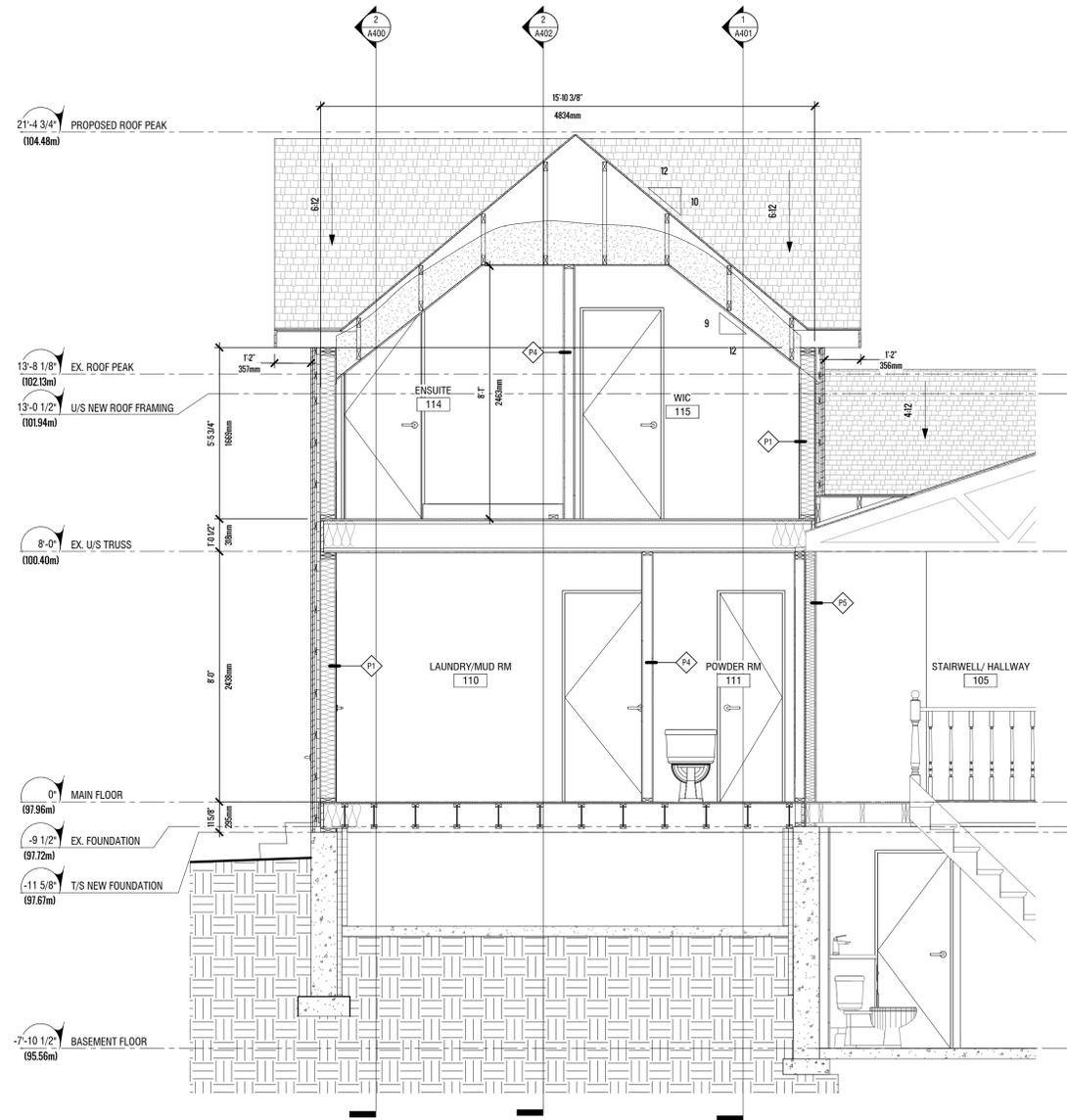
ADDRESS: 5357 RIVERSIDE DRIVE, BURLINGTON, ON

DATE: 05/21/18
PROJECT No.: SC25-010

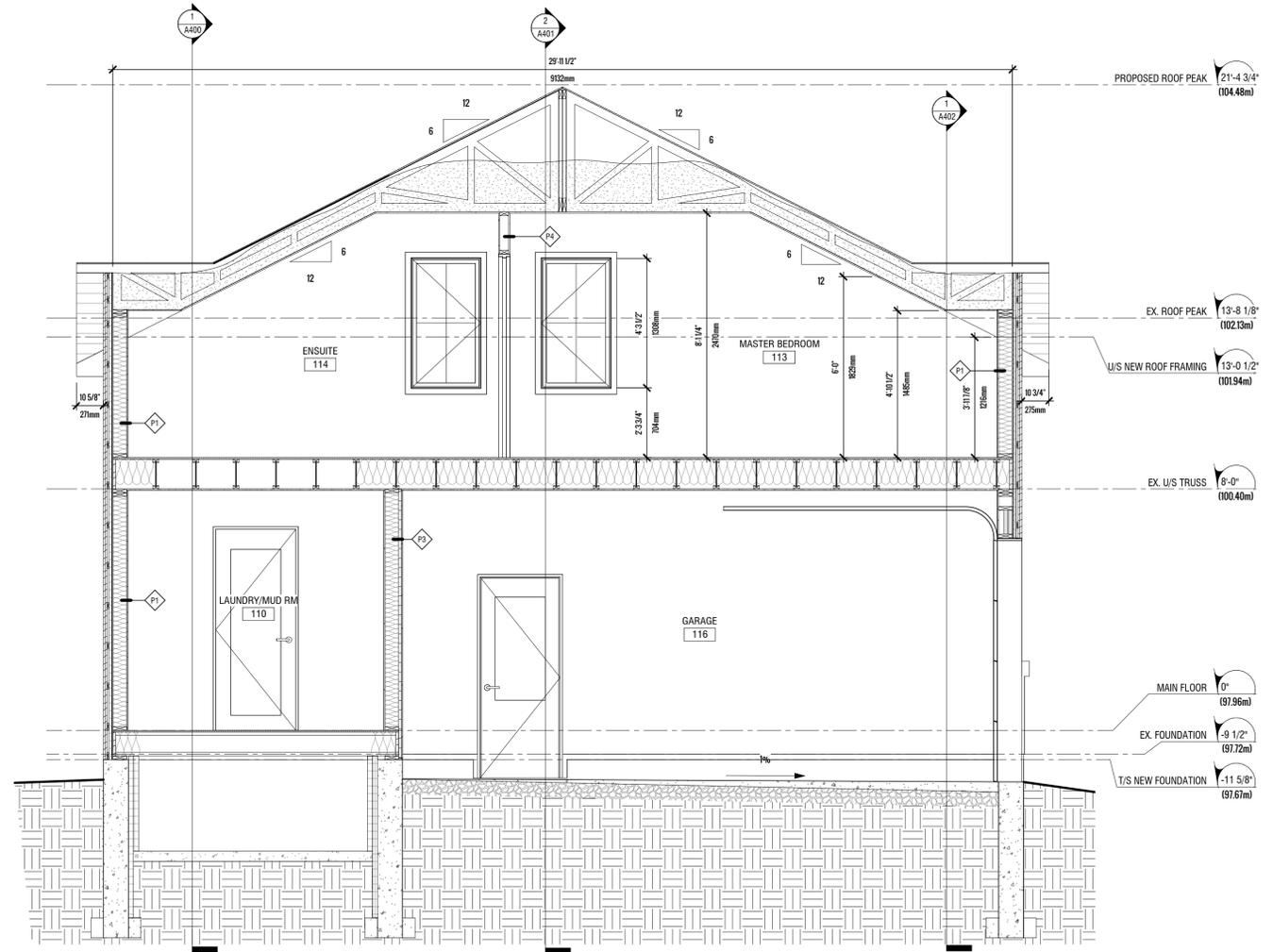
DWG TITLE: NEW EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"
DRAWN BY: DP

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1 Section 1
A101 3/8" = 1'-0"



2 Section 2
A101 3/8" = 1'-0"

No.	DATE	REVISION	BY
3	2025-12-16	ISSUED FOR MINOR VARIANCE	DP
2	2025-11-25	ISSUED FOR ZONING REVIEW	DP
1	2025-11-04	ISSUED FOR ZONING REVIEW	DP

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DATED: _____ SIGNED: _____

NORTH ARROW:

PROJECT: GARAGE ADDITION

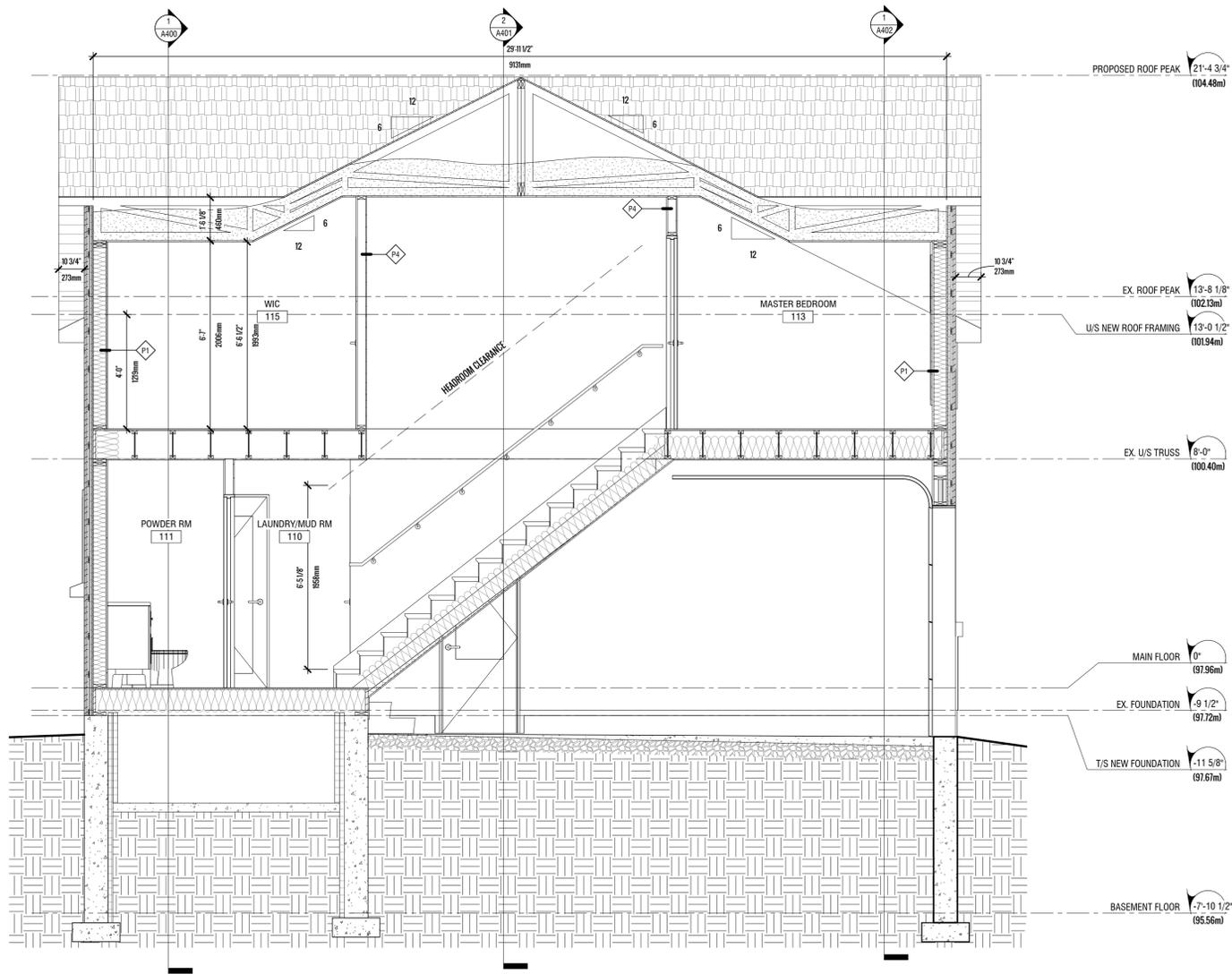
ADDRESS: 5357 RIVERSIDE DRIVE, BURLINGTON, ON

DATE: 05/21/18
PROJECT No.: SC25-010

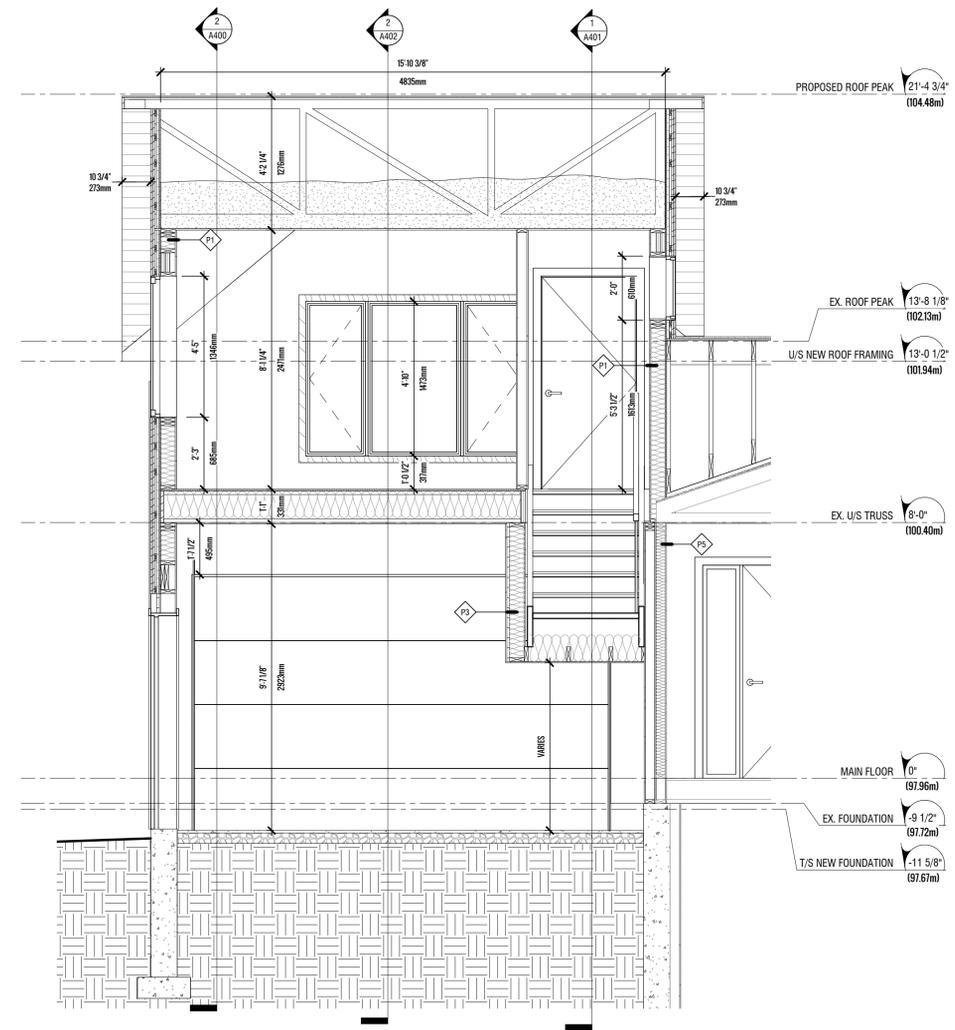
DWG TITLE: BUILDING SECTIONS

SCALE: 3/8" = 1'-0"
DRAWN BY: DP

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1 Section 3
A101 3/8" = 1'-0"



2 Section 4
A101 3/8" = 1'-0"

No.	DATE	REVISION	BY
3	2025-12-16	ISSUED FOR MINOR VARIANCE	DP
2	2025-11-25	REISSUED FOR ZONING REVIEW	DP
1	2025-11-04	ISSUED FOR ZONING REVIEW	DP

I, DAVID PICK, HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK WITHIN THE SCOPE OF PART 3 SMALL BUILDINGS. I AM QUALIFIED FOR THE DESIGN WORK AND AM REGISTERED AS AN OTHER DESIGNER AS PER DIVISION C, PART 3 (3.2.5) OF THE ONTARIO BUILDING CODE, LATEST EDITION. DESIGNER BCIN: 48471

DATED: _____ SIGNED: _____

NORTH ARROW:

PROJECT: GARAGE ADDITION

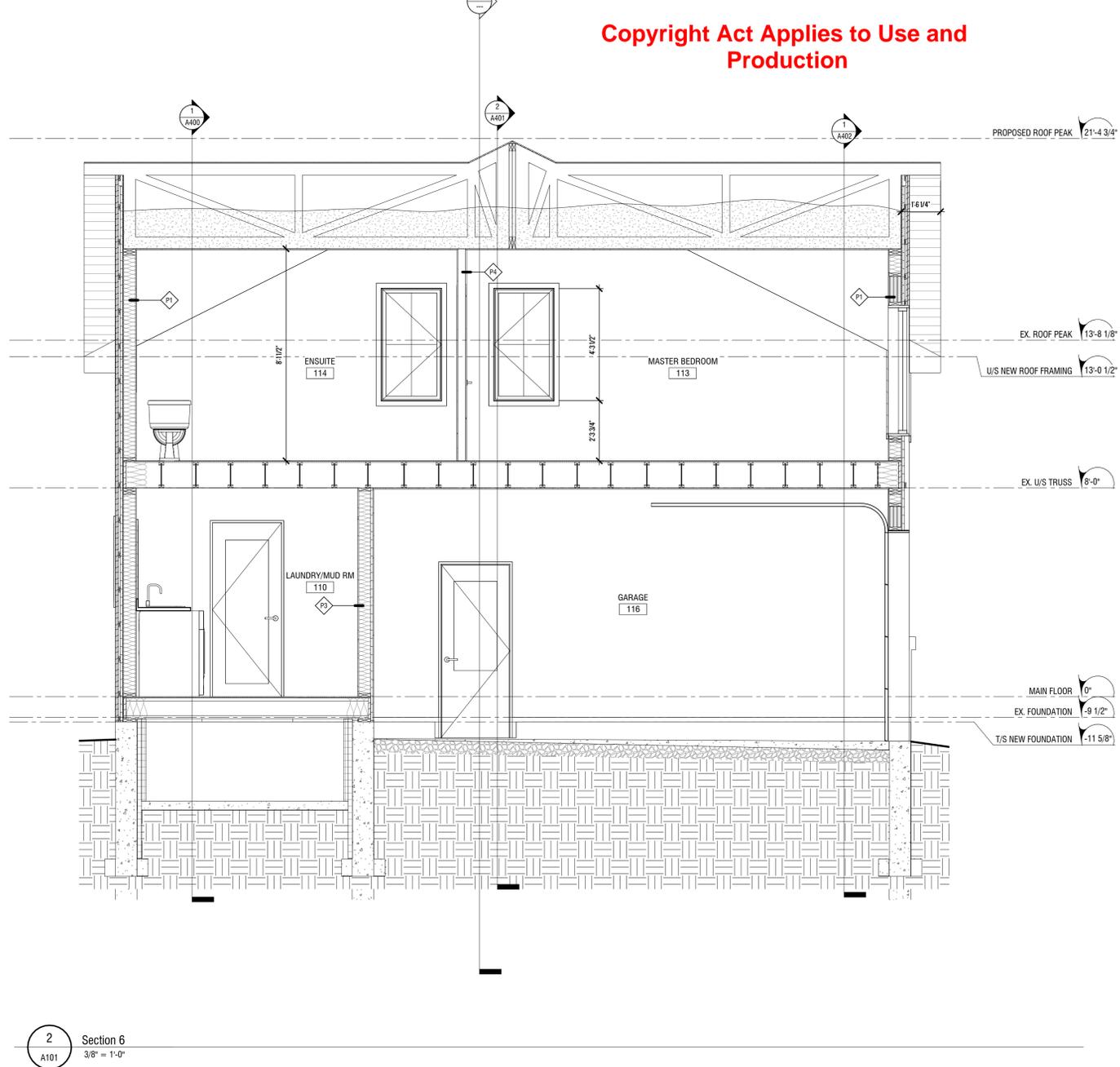
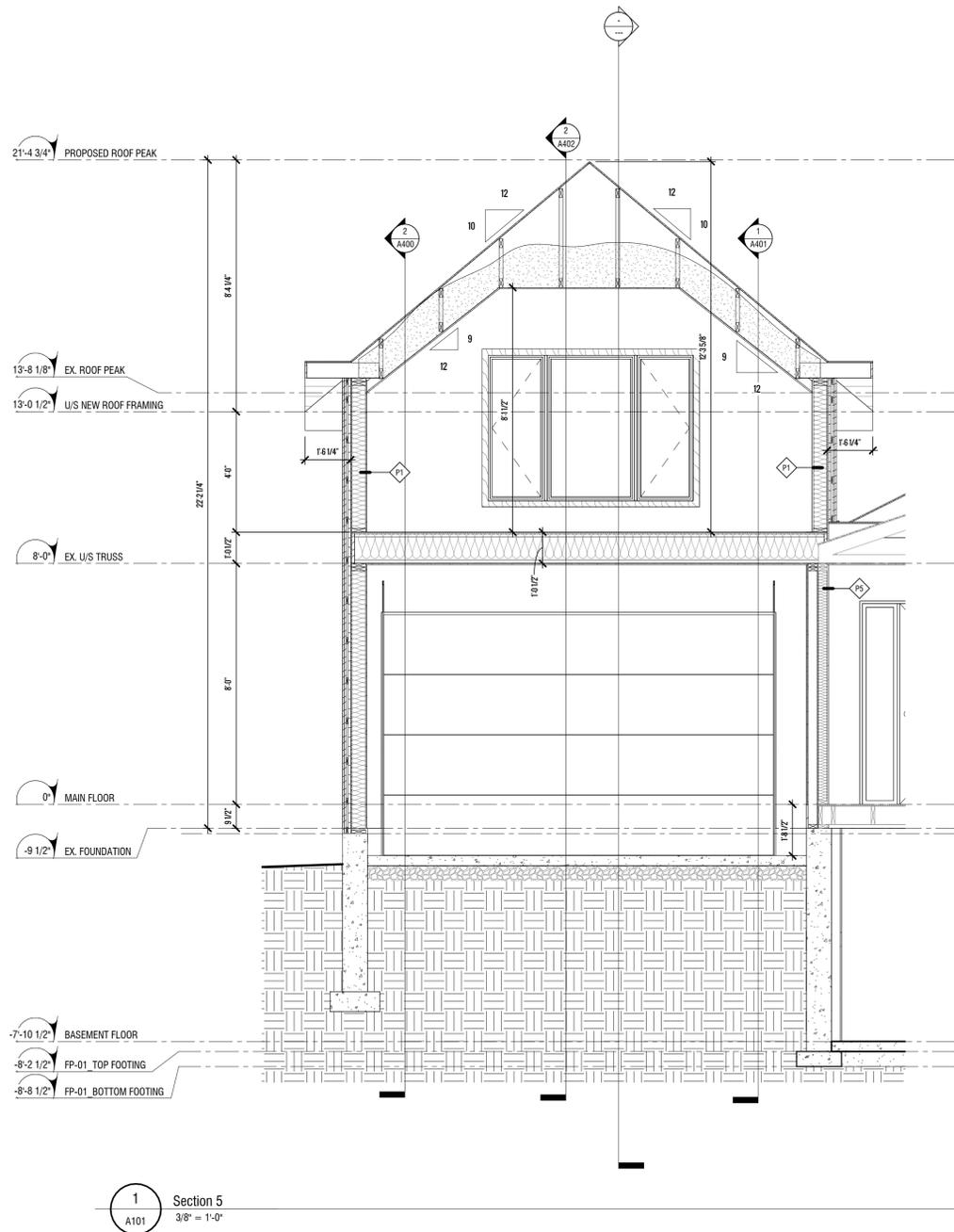
ADDRESS: 5357 RIVERSIDE DRIVE, BURLINGTON, ON

DATE: 05/21/18
PROJECT No.: SC25-010

DWG TITLE: BUILDING SECTIONS

SCALE: 3/8" = 1'-0"
DRAWN BY: DP

Copyright Act Applies to Use and Production



No.	DATE	REVISION	BY
3	2025-12-16	ISSUED FOR MINOR VARIANCE	DP
2	2025-11-25	ISSUED FOR ZONING REVIEW	DP
1	2025-11-04	ISSUED FOR ZONING REVIEW	DP

I, DAVID PICK, HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK WITHIN THE SCOPE OF PART 3 SMALL BUILDINGS. I AM QUALIFIED FOR THE DESIGN WORK AND AM REGISTERED AS AN OTHER DESIGNER AS PER DIVISION C, PART 3 (3.2.5) OF THE ONTARIO BUILDING CODE, LATEST EDITION. DESIGNER B.O.N.: 40471

DATED: _____ SIGNED: _____

NORTH ARROW:

PROJECT: **GARAGE ADDITION**

ADDRESS: **5357 RIVERSIDE DRIVE, BURLINGTON, ON**

DATE: **2025-06-19**
PROJECT No.: **SC25-010**

DWG TITLE: **BUILDING SECTIONS**

SCALE: **3/8" = 1'-0"**
DRAWN BY: **DP**

A402

PRE-SCREENING TREE PERMIT APPLICATION STATUS REPORT

Date: **Nov 19, 2025**

Re: Application #: **TREE-1544/25**
 Address: **5357 Riverside Dr. Burlington**
 Project Description: **1.5 storey side yard addition with attached garage and covered front porch**

David Pick Scale and Compass Design,

A preliminary screening (pre-screen) of your application for completeness has taken place. Based on the declaration form provided, it has been declared there will be no impacts to regulated trees from the proposed project and its construction related activities. Therefore, this submission is exempt from Forestry's compliance review.

Be advised that the City's Private Tree By-law 40-2022 and Public Tree By-law 68-2013 still apply, and the minimum tree protection zone must be kept clear of any construction related activity including the storage of any material/waste to ensure compliance. For more information on our By-laws, application forms and guide to tree protection, please click on the link below: www.burlington.ca/forestprotection

The Corporation of the City of Burlington, any of its servants or employees, or any person making examinations or inspections upon which this information is based, accept no liability whatsoever for any errors, omissions or inaccuracies contained in this information or in respect of any said examinations or inspections, whether due to the negligence of said persons or otherwise, or for any loss or damage arising from any such error, omission or inaccuracy. In the event a violation of the Public and/or Private Tree By-law is identified, it may result in an order being issued to rectify and remedy the contravention, including the immediate discontinuance of work and/or the issuance of fines as set out in the By-laws.

GRADING AND DRAINAGE CLEARANCE CERTIFICATE PRE-SCREEN STATUS REPORT

Date: Nov 19, 2025

Re: Application# : **2025 021946 000 00 GDCC**
For Zoning Application# : **2025 021945 000 00 ZC**
Address : **5357 Riverside Dr.**
Project Description : **Small additions (less than 75 m2) and other
1.5 storey side yard addition with attached garage and covered
front porch**

David Pick Scale and Compass Design,

An application preliminary screening (Pre-Screen) has taken place and it has been determined that the application's proposed scope of work is exempt from the Grading and Drainage Clearance Certificate compliance review. No further action is required by Engineering Services.

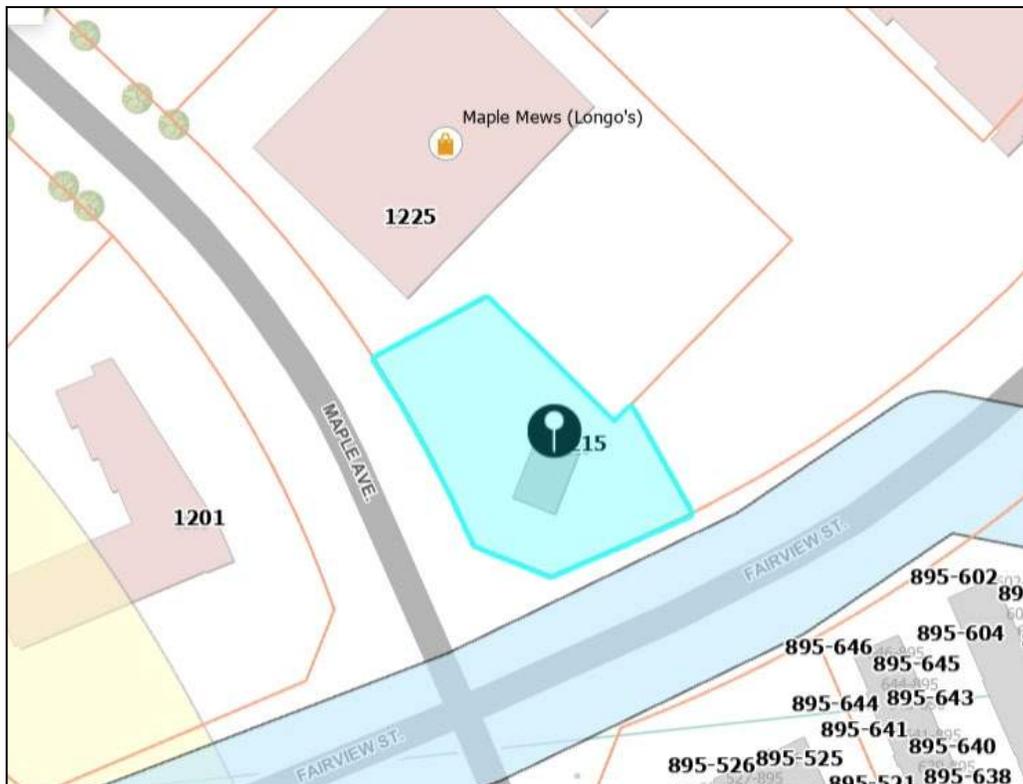
A Grading and Drainage Clearance Certificate will be issued by Engineering Services for your building permit application. Please visit <https://myfiles.burlington.ca/> for a copy of your Certificate.

Regards,

Intermediate Technician – Site Development
Engineering Services

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Owner(s): Rosart Properties Inc
 Address: 1215 Fairview St, Burlington
 File No. **A-080/25**
 Ward: 2



Staff Comments

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: October 17, 2025

Prepared By: E. Shacklette

Zoning

1) **Background information:**

The subject property is zoned MXC (Mixed-Use Corridor), under Zoning By-Law 2020, as amended. The MXC zone requires, among other things, the following:

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4. MXG, MXC, MXE, MXT ZONE REGULATIONS

4.1 LOT WIDTH, AREA, AND YARDS

Table 5.4.1

Regulation	Requirement
Yard abutting any other street	3 m minimum; 4.5 m maximum (a)

Footnote to Table 5.4.1:

(a) Maximum yard shall apply only to buildings located within 60 metres of a public street.

4.3 FLOOR AREA, FLOOR AREA RATIO, AND DENSITY

Table 5.4.2

Requirement	Zone			
	MXG	MXC	MXE	MXT
Minimum Floor Area Ratio for Buildings other than Entertainment, Recreational, or Industrial Buildings:	0.3:1	0.3:1	* * *	0.5:1

4.5 BUILDING HEIGHT

MXC Zone

Other uses:

2 storeys minimum, 6 storeys maximum

History / Background:

The proposed development is subject to Site Plan Control Application, Minor Modification File #MM-007/25, that received draft approval with conditions on August 11, 2025.

2) Proposal:

The applicant is proposing the construction of Motor Vehicle Service Station with a one storey convenience store, fast food restaurant with an associated outdoor patio and gas bar with canopy.

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3) Variances required:

1. To permit a 28 m yard abutting a street (Maple Avenue) instead of the maximum permitted 4.5 m for a proposed one storey convenience store and restaurant.
2. To permit a 6.6 m yard abutting a street (Fairview Street) instead of the maximum permitted 4.5 m for a proposed one storey convenience store and restaurant.
3. To permit a Floor Area Ratio of 0.27:1 instead of the minimum required 0.3:1 Floor Area Ratio for Buildings other than Entertainment, Recreational, or Industrial Buildings for a proposed one storey convenience store and restaurant.
4. To permit a building height of 1 storey instead of the 2 storeys minimum, 6 storeys maximum for a proposed one storey convenience store and restaurant and gas bar canopy.

4) Notes and conditions:

Condition:

1. The applicant shall apply for a zoning clearance certificate.

Notes:

1. The proposed development is located on a parcel of leased land shown on the site plan; however the property was reviewed in its entirety under Part 5, Section 4.15 Contiguous Lots.
2. The variances are being reviewed under 45(1) of the *Planning Act*.

Date: January 6, 2026

Prepared By: Danielle Beck, CPT

Site Planning

Site Characteristics	
Lot Frontage (m)	54 m (approx.) Leased Area 130 m (approx.) Overall Lot
Lot Area (m²)	191.5 m ² Leased Area 2,495 m ² Total Lot Area
Existing Land Uses <i>(ex. buildings, structures, driveways, fences, etc...)</i>	Commercial Plaza containing Longo's, Dollarama, Beer Store, Sunnyside Grill, and other commercial establishments
Site Grading <i>(ex. Flat and level, significant grade differences)</i>	Flat and level

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Notable Site Features	Corner location
Surrounding Land Uses <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Regional Commercial (Mapleview Centre), high and medium density residential (SE corner of the intersection), commercial corridor to the west and employment uses to the north
Nearest Major Intersection	Fairview Street and Maple Avenue
Neighbourhood Boundaries* *Based on OP, 1997 <i>residential neighbourhood</i> definition	North: CN rail East: Brant Street South: Upper Hager Creek West: QEW

Neighbourhood Characteristics:

- The subject lands are a leased portion of the land located at the northeast corner of the signalized intersection of Maple Avenue and Fairview Street, an established arterial intersection characterized by large-scale commercial development, regional retail destination, and mid-rise residential uses.
- The intersection functions as a significant commercial node within the City of Burlington, accommodating high traffic volumes and serving both local and regional markets.
- Development at the northeast corner, where the subject property is located, consists of a low-rise commercial plaza containing a mix of retail and service commercial uses, including Longo's, the Beer Store, LCBO, Dollarama, Sunnyside Grill, and related tenants.
- Built form is predominantly one storey, with horizontally oriented massing and substantial building setbacks from both Maple Avenue and Fairview Street. The intervening setback areas are primarily utilized for surface parking, internal drive aisles, pedestrian circulation, loading, and landscaping. This configuration reflects an auto-oriented commercial form typical of arterial commercial corridors, where visibility, accessibility, and parking supply are prioritized.
- The southwest corner of the intersection is occupied by Mapleview Shopping Centre, a major regional shopping mall. The mall is set back significantly from the street network, with extensive surface parking areas and internal circulation defining the public realm along both Maple Avenue and Fairview Street. The scale and massing of Mapleview Mall reinforce the commercial function of the intersection and contribute to its role as a regional retail destination.
- At the northwest corner, development similarly consists of low-rise commercial plaza uses with generous setbacks and surface parking areas abutting the street. The built form and site organization at this corner are consistent with the

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commercial pattern established on the subject lands and the broader intersection context.

- The southeast corner transitions to townhouse residential development. These dwellings are three storeys in height and are set back from the arterial roadways with landscaped front yards, internal driveways, and limited surface parking. While residential in use, the setback pattern and site organization respond to the arterial function of Maple Avenue and Fairview Street by providing buffering, separation, and noise mitigation from vehicular traffic.

A site visit was conducted on January 29, 2026, and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

The proposal meets the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- The subject lands are located within the Urban Area as identified on Map 1, where urban development is directed to occur in accordance with local Official Plans and Zoning By-laws.
- The northern and western portions of the site are designated Future Strategic Employment Area on Map 1C, which are intended to protect lands for long-term employment uses and permit development in accordance with applicable local planning policies.
- The subject site is also located within a Regional Intensification Corridor as identified on Map 1H, where compact development is encouraged to make optimal use of existing infrastructure and support regional growth objectives.
- The proposal does not alter the applicable Regional land use designations and will be implemented through local planning approvals, consistent with the ROP's policy framework directing development to Urban Areas and Strategic Growth Areas.

Regional Staff have also reviewed this application and have no objections to the Minor Variance application.

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Official Plan, 1997 & 2020

Parts of Burlington Official Plan, 2020 (BOP, 2020) are not in-force due to ongoing Ontario Land Tribunal Appeals, so applications are reviewed against a combination of in-force policies under BOP, 2020 and the older Burlington Official Plan 1997 (BOP, 1997).

The proposal/variance meets the general intent and purpose of the Official Plan for the following reasons:

- The proposed uses are consistent with the property's 'Mixed Use Corridor – Commercial Corridor' land use designation under Schedule 'B' (Comprehensive Land Use Plan – Urban Planning Area) of the BOP, 1997 as amended, which permits a range of retail and service commercial uses, restaurants, and complementary commercial functions intended to serve both local and broader community needs along arterial road corridors.
- Whereas Part III, Section 5.3 and Section 5.3.3 of the BOP, 1997 (Mixed Use Corridors – General, Employment and Commercial Corridor, and Mixed Use Corridor – Commercial Corridor respectively) states that the objectives of the designation are to “recognize certain sections of the Mixed Use Corridors which have been largely developed for space-extensive, automobile-oriented large retail uses, and are not expected to re-develop significantly in the short term” while encouraging “the eventual long-term re-development of these sites in a more intensive, pedestrian and transit oriented manner, that is more consistent with the principles and objectives for Mixed Use Activity Areas”, the proposal is consistent with these objectives in the following ways:
 - The proposal introduces compatible commercial use within an established Mixed Use Commercial Corridor that complements the existing commercial plaza and surrounding commercial uses along Fairview Street and Maple Avenue.
 - The proposal makes the streetscape more attractive and pedestrian friendly by infilling an empty part of the site with a new building located close to Fairview Street and fronted by a patio with picnic tables and landscaped area directly connected to the sidewalk via a pathway.
 - The south elevation of the new building enhances the streetscape of Fairview Street with a detailed façade that features spandrel glazing, an “A&W Feature wall” and a rear entrance door
 - The development is appropriately sited along two major arterial roads in an underutilized portion of the site closest to the intersection.
 - The building is designed to function effectively within a high-traffic corridor and to accommodate the frequent, short-duration vehicular movements associated with gas bar, convenience, and take-out uses, while utilizing existing access points, internal drive aisles (existing and new), and maintaining appropriate separation from the public right-of-way.

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- Increased setbacks from Maple Avenue contribute to a safe and functional streetscape by accommodating vehicle stacking, access, and visibility while maintaining landscaped buffers and clear sightlines consistent with commercial corridor design objectives.
 - The low-rise, one-storey built form reflects the operational needs of the proposed commercial uses and gas bar canopy, and is visually compatible with the surrounding plaza context, while not precluding future intensification of the broader site consistent with the Mixed-Use Corridor designation
 - An existing parking area next to the driveway entrance to Fairview Street and a new loading area next to the proposed new Petro Canada gas bar is proposed to be screened with landscaping, consistent with a direction under site plan considerations under BOP, 1997 Part III, 5.4.2(g)(iv) that “off-street parking areas, loading areas and service areas shall be screened and landscaped”
 - The new waste storage bins (earth bins) are a “deep collection waste disposal system”, located mostly below grade, making them less conspicuous and easier to screen from Fairview Street compared to traditional waste bins surrounded by a wooden enclosure
 - The proposed new Petro Canada gas bar is positioned so that the existing parking area will be located in the side yard of the new building, consistent with a direction under site plan considerations under BOP, 1997 Part III, 5.4.2(g)(vii) that “off-street parking areas shall be located in the side and rear yards”
 - The site layout and building design incorporates features such as drive aisles, setbacks, parking and landscaping areas that integrate the new development with surrounding uses, consistent with site plan considerations under Part III, 5.4.2(g) of BOP, 1997
- Whereas *compatible* is defined as “Development or re-development that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health”, which is evaluated in accordance with measurable/objective standards, the planner notes the following:
 - The increased yard setback along Maple Avenue (28.0 m) and Fairview Street (6.6 m) is consistent with the prevailing built form and site design of the surrounding commercial developments at this arterial intersection, which are characterized by generous setbacks accommodating surface parking, vehicular circulation, landscaping, and visibility triangles. These setbacks reinforce the established commercial streetscape pattern.
 - The reduced Floor Area Ratio of 0.27:1 reflects the overall footprint of the proposed one-storey convenience store and restaurant in conjunction with the significant size of the existing commercial plaza property and does not result in underutilization that would undermine corridor function, or adverse impacts on adjacent lands. The proposal and the remainder of the

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plaza continue to achieve an overall Floor Area Ratio (FAR) maximum of 1.5:1 consistent with the intent of the Mixed-Use Corridor designation as per policy 5.3.3.1.e) of Part III of the 1997 OP.

- The proposed one-storey building height is compatible with the existing low-rise commercial context of the Maple Avenue and Fairview Street intersection, where commercial buildings are predominantly one storey in height with horizontal massing. The proposal maintains appropriate scale and does not generate adverse shadowing, overlook, or visual dominance impacts.
- The site layout separates vehicle circulation, pedestrian, loading, and servicing areas, consistent with existing established commercial plaza designs. The proposed gas bar canopy and building placement are integrated into the existing plaza configuration without encroaching into the public realm or negatively affecting traffic operations or pedestrian safety. The configuration of the proposal has been reviewed and approved in principle through the site plan process (file # MM-007/25).
- The proposal does not preclude future redevelopment or intensification of the broader site in accordance with the Mixed-Use Corridor policies, and the requested variances relate to interim built form considerations that remain compatible with the current context of the area.

2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes – (Yard Abutting Street (Section 4.1, Table 5.4.1))

The general intent and purpose of the maximum yard abutting a street provisions of Zoning By-law 2020 is to ensure that buildings within Mixed Use Corridor (MXC) zones are positioned close to public streets in a manner that encourages a more pedestrian focused urban form. These regulations are intended to establish a consistent street relationship, while still maintaining safe sightlines, accommodate pedestrian movement and landscaping, and allowing flexibility to respond to site-specific conditions such as lot configuration, access requirements, and operational needs of permitted uses. The requested increase in the yards abutting streets from 4.5m to 28m (Maple Av.) and 4.5m to 6.6m (Fairview St.) continue to meet this intent for the following reasons:

- The increased yard abutting Maple Avenue (28.0m) reflects the established development pattern at this arterial intersection, where commercial buildings are set back to accommodate surface parking, vehicular circulation, loading areas, and landscape buffering between buildings and the public right-of-way.
- The variance for an increased setback along Fairview Street (6.6 m) meets the intent and purpose of the zoning bylaw because the new fast-food restaurant building includes pedestrian features like a patio connected directly to the

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sidewalk and a façade featuring extensive glazing and an operable entrance facing the sidewalk

- The proposed setbacks do not compromise pedestrian safety or the functionality of the public realm and instead maintain clear sightlines, safe access points, and internal circulation consistent with large-format commercial plaza design. Transportation Planning has no objection to this proposal.
- The yard variances respond to the operational requirements of the proposed convenience store, restaurant, and gas bar canopy, while remaining consistent with the scale, massing, and siting of surrounding commercial development along Maple Avenue and Fairview Street.
- The variances maintain an orderly, functional, and visually compatible relationship between the built form and the surrounding arterial road network.

Yes – (Floor Area Ratio (Section 4.3, Table 5.4.2))

The general intent and purpose of the Floor Area Ratio (FAR) provisions of Zoning By-law 2020 is to establish a minimum intensity of development on a site to “encourage the eventual long-term re-development of the site in a more intensive, pedestrian and transit oriented manner, that is more consistent with the principles and objectives for Mixed Use Activity Areas” (BOP, 1997, Part III, objective 5.3.3.1(b)). However, the FAR provisions are also intended to balance development potential with the functional characteristics of the site and the operational requirements of permitted uses. The requested variance to permit a Floor Area Ratio of 0.27:1 instead of the minimum required 0.30:1 maintains the general intent and purpose of the Zoning By-law for the following reasons:

- The reduced FAR reflects the one-storey built form of the proposed convenience store and restaurant, which is consistent with the prevailing low-rise commercial development pattern at the Maple Avenue and Fairview Street intersection and throughout the surrounding commercial plazas.
- The proposed FAR does not result in underdevelopment that would undermine the intent of the Mixed-Use Corridor designation, as the subject lands form part of a larger plaza that continues to function as a commercial node.
- The proposal would result in a higher density of development than currently exists on the site
- The small reduction in FAR compared to the minimum does not create adverse land use compatibility impacts, nor does it compromise the site’s ability to accommodate required parking, vehicular circulation, pedestrian movement, landscaping, and servicing areas.

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- The proposal does not preclude future redevelopment or intensification of the broader site in accordance with the permissions of the MXC Zone and the Mixed-Use Corridor policies of the Official Plan.

Yes – (Building Height (Section 4.5))

The general intent and purpose of the building height provisions of Zoning By-law 2020 is similar to the intent of the minimum density provisions, and is to encourage the eventual long-term re-development of the site in a more intensive, pedestrian and transit oriented manner. The requested variance to permit a one-storey building where a minimum height of two storeys and a maximum height of six storeys is required maintains the general intent and purpose of the Zoning By-law for the following reasons:

- The proposed one-storey building height represents an intensification of the site that is consistent with the prevailing built form at the Maple Avenue and Fairview Street intersection, where commercial development is predominantly one-storey in height with horizontal massing. Continued development at this scale is consistent with the BOP, 1997 acknowledgement that these sites are not expected to redevelop significantly in the short term.
- The low-rise height reflects the functional and operational requirements of the proposed convenience store, restaurant, and gas bar canopy, which are typical for these uses and do not necessitate multi-storey construction.
- The proposed height respects the existing scale of the area, while ensuring that the site continues to function effectively as part of a larger commercial plaza and arterial corridor.
- The one-storey built form contributes to a consistent streetscape within the commercial corridor, while maintaining flexibility for potential future redevelopment or intensification of the broader site in accordance with the permissions of the MXC Zone.
- The variance represents a minor departure from the minimum height requirement and does not undermine the intent of the Zoning By-law to manage building height in a manner that supports appropriate urban form and land use compatibility.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

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The proposed variances are desirable for the appropriate development of the land because:

- The variances facilitate a more efficient use of an established commercial site within a Mixed-Use Corridor, allowing development that is appropriate to the existing commercial context.
- The development introduces some pedestrian-friendly urban design measures including a patio and a building with glazing and a pedestrian accessible entrance facing Fairview Street
- The increased yard setbacks from Maple Avenue and Fairview Street accommodate safe and functional site circulation, parking, loading, and visibility requirements that are typical and necessary for commercial uses at a major arterial intersection, while achieving a meaningful improvement to the pedestrian environment along Fairview Street.
- The reduced Floor Area Ratio and one-storey building height reflect the operational requirements of the proposed convenience store, restaurant, and gas bar canopy, and are consistent with the surrounding low-rise commercial development pattern at this location.
- The variances do not result in adverse impacts on adjacent lands, the public realm, or the broader surrounding area, including impacts related to traffic, pedestrian safety, shadowing, privacy, or visual character.
- The variances enable orderly site development without precluding future redevelopment or intensification of the broader property in accordance with the Mixed-Use Corridor designation.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed variances are considered minor in nature for the following reasons:

- The increased yard setbacks from Maple Avenue and Fairview Street exceed the maximum zoning requirements, but contributes positively to the Fairview Street streetscape.

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-
- The reduced Floor Area Ratio represents a small deviation that does not alter the overall scale or intensity of development on the site and remains consistent with the existing low-rise commercial context and plaza configuration.
 - The proposed variance for a one-storey building height is minor in nature as it is consistent with, and reflective of, the prevailing low-rise commercial built form at the Maple Avenue and Fairview Street intersection, where surrounding commercial buildings are predominantly one-storey in height. The proposal maintains appropriate scale and massing relative to its context and does not undermine the intent of the Zoning By-law to encourage appropriate development intensity within Mixed Use Corridor areas over the long term.
 - The variances maintain the functional and orderly development of the site and do not compromise the intent of the zoning provisions or the planning framework governing the area.

In summary, while the variances represent a deviation from the standard, they are minor in both magnitude and impact, do not undermine the intent of the Zoning By-law, and result in a form of development that is compatible, appropriate, and desirable for the property and the neighbourhood.

Cumulative Effects of Multiple Variances and Other Planning Matters:

When considered together, the variances do not result in overdevelopment, inappropriate built form, or adverse physical or functional impacts.

- Despite increased yards abutting Maple Avenue and Fairview Street, the reduced Floor Area Ratio, and the reduced building height, the development intensifies the site, improves the pedestrian environment along Fairview Street and is consistent with the established development pattern at this arterial intersection.
- The reduced Floor Area Ratio and one-storey building height further ensure that the proposed development remains low in scale and intensity, consistent with the prevailing built form of surrounding commercial uses.

Recommendation:

Staff has reviewed the proposed variances in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

Date: January 29, 2026

Prepared By: Melissa Gasic, MCIP RPP

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Report Schedules & Attachments:

Attachment No. 1 (Site Photos – January 29, 2026)



View of the proposed location of the gas bar, convenience, fast food restaurant



View of existing Longo's to the north of the proposed development



View towards the remainder of the plaza



View of the parking area abutting Fairview Street



View of the access point from Fairview Street



View of the townhomes on the opposite side of Fairview Street (SE corner)

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View of the sidewalk along Fairview St. looking west



View of the existing decorative wall at the corner of Fairview Street and Maple Avenue



View towards Maplevue Mall



View of the plaza on the opposite side of Maple Street (NW corner of the intersection)



View towards the plaza from the corner



View of Maple Av. Access

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View of the L shaped portion of the plaza looking east



View of the L shaped portion of the plaza looking north

Development Engineering

Development Engineering has reviewed the proposed minor variances and has no comments.

Date: Jan 9, 2026

Prepared By: Andre Papineau

Forestry

Forestry has no objection to the proposed variances requested.
Forestry has reviewed the application and has the following advisory comments:

Advisory Comments:

1. A tree permit will be required for any and all work around regulated trees in accordance with the City's Public and Private Tree By-laws.

Date: January 21, 2026

Prepared By: M.Krzywicki

Building

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.

Date: Jan. 13, 2026

Prepared By: E.M.

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Transportation Planning

Deemed Road Width Analysis

Maple Avenue is under the authority of the City of Burlington and the deemed right-of-way width of the segment between Fairview Street and Plains Road is 30 metres. The right-of-way adjacent to the subject site ranges from approximately 34 to 36 metres therefore no additional lands are required.

Fairview Street is under the authority of the City of Burlington and the deemed right-of-way width of the segment between the QEW and the GO station is 40 metres. The right-of-way adjacent to the subject site is approximately 40 metres therefore no additional lands are required.

Date: October 27, 2025

Prepared By: Thalia Thompson

Transportation Planning have reviewed the proposed minor variance application and have no comments.

Date: January 12, 2026

Prepared By: E. Chen

Finance

Notice regarding Development Charges:

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: January 8, 2026

Prepared By: L. Bray

Halton Region

Regional Contaminated Sites Database:

In order to maintain the Region's Contaminated Sites Database, Regional staff request final copies of all environmental reports (if applicable) including: Geotechnical Studies, Hydrogeological Studies, Phase One and/or Two Environmental Site Assessments,

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Remediation Reports, Risk Assessments, Record of Site Condition (RSC), and/or Certificate of Property Use (CPU).

Regional Staff have reviewed the Minor Variance application proposing the construction of Motor Vehicle Service Station with a one storey convenience store, fast food restaurant with an associated outdoor patio and gas bar with canopy. Variances are requested to the maximum permitted yard depths, minimum required Floor Area Ratio, and building height.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.
- Staff note that matters relating to Regional interests have been previously addressed through the Site Plan Control application MM-007/25.
- Regional Staff have no objections to the Minor Variance application.

Date: January 21, 2026

Prepared By: Navjot Kaur

Burlington Hydro

Burlington Hydro comments are attached to the end of this report.

Date: January 20, 2026

Prepared By: Zakariya Al-Doori



January 20, 2026

Applicant: Rosart Properties Inc
Subject: Minor Modification
File No: S40-02-A-080/25
Location: 1215 Fairview St, Burlington Hydro

In response to your correspondence(s), a member of our Engineering Department has reviewed the circulated information and has the following comments:

The Developer's requirements are not limited to the following items. Burlington Hydro will provide all applicable standards, guidelines, and specifications in the Offer to Connect package that will be provided by Burlington Hydro, following the Developer's formal request for hydro service and submission of approved site plan drawings to Burlington Hydro.

1. Based on the requested load for the proposed building, the new service might be fed from 27.6kV primary system on Fairview St. All modifications (new hydro pole installation and possible relocation of the existing hydro pole) to the existing system shall be at the customer's expense.
2. Transformer location is to be approved by Burlington Hydro. Details of the clearance between the transformer and the property line, as well as details of the proposed fencing or barriers, are to be provided for final approval.
3. Pad-mounted transformer (if applicable) is to be located 2 meters from the nearest edge of the pad to the back of each curb. The transformer shall be protected by bollards when the edge of the transformer is within 2 meters (but not less than 1.5m) of a curb (due to space restrictions) or if the curb is not installed. Curb or bollards to be installed prior to energization of the transformer. Refer to the attached sketch.
4. Planting shrubs, trees, or flowers, or build fences or walls in the obstruction-free zone around the Transformer is not allowed; also, the obstruction-free zone cannot be used as snow storage. Please see attached BHI Standard # 37-145-r2.
5. Electrical Room shall have a minimum size of 1.83m by 2.44m and having immediate access from the outside (required for safe operation in the metering area). The electrical room access door must be locked and accessible by key, which must be provided by the customer and delivered to BHI prior to the service being energized.
6. A meeting (conference call) with a Burlington Hydro representative to go over the supply points and transformer locations is recommended. Please contact our Engineering Service Technician, Zakariya Al-Doori at ZDoori@burlingtonhydro.com or 289-962-7561 to arrange for the meeting.



7. Early discussions for the revenue metering and electrical room requirements should be arranged between the Developer and BHI before the building plans are finalized to ensure clearances and access that meets Burlington Hydro requirements.
8. A building, permanent structure or building apparatus shall not be located beneath existing Above-ground electrical conductors.
9. A building, permanent structure or building apparatus shall maintain minimum horizontal clearance from existing power lines (Refer to the Burlington Hydro brochure, notice that the clearances shown on the standard are minimum; additional clearances are required to allow conductor swing, scaffold installation and future building maintenance). Please arrange for a site meeting with a BHI representative, calling Eng. Desk at 905 332-2250, to validate the required minimum clearances to existing power lines, obtain approved hydro service layout/consent and avoid any possible safety issues.

In addition, we want to stipulate the following:

Customers and their agents planning and designing for electricity service must refer to all applicable Provincial and Canadian electrical codes, all applicable federal, provincial, municipal laws, regulations, codes, and by-laws to ensure compliance. All work on the BHI distribution system shall be conducted in accordance with the latest edition of the Ontario Occupational Health and Safety Act (OSHA), the Regulations for Construction Projects, the Regulations for Industrial Establishments and the Electrical Utility safety Rules published by the Infrastructure Health and Safety Association (IHSA).

- Service is available under BHI latest Condition of Service at this link
<https://www.burlingtonhydro.com/about/regulatory-affairs.html>
- Hydro easement (if any) is to remain clear of heavy vehicle traffic, and the customer is responsible to keep the easement lands free and clear of any trees, fences, buildings, structures, or obstructions unless any of forgoing are approved in writing by Burlington Hydro Inc. Further, the Customer shall remove the same upon request of Burlington Hydro Inc.
- Relocation, modification, or removal of existing hydro facilities, if required, shall be at the customer's expense. We will refer to our latest Standards and Regulations to resolve issues that arise with clearances between existing hydro facilities and existing/proposed building structures.
- Customer to acquire any easements for Burlington Hydro, if required.
- Customer is to ensure that BHI has proper access to the hydro facilities.
- Project must meet City of Burlington Standards.



- ☑ Machine excavation within one meter of underground plant is not permitted.
- ☑ Do not excavate within two meters of hydro poles and anchors except for the termination pole, where the duct structure shall be terminated by the customer under the supervision of BHI Civil Inspector.
- ☑ Please arrange for underground hydro cable locate(s), prior to beginning construction, by contacting Ontario One Call (800) 400-2255.
- ☑ Please refer to the latest edition of the Occupational Health and Safety Act ("OHSA") and Regulations for Construction Projects when work is planned to be performed in the proximity of a hydro distribution system.
- ☑ Arrange for the disconnect and isolation of the power supply if a person or equipment is to encroach on the minimum distance permitted under the OHSA and OESC.
- ☑ Please arrange for a site meeting with the BHI representative, emailing Eng. Desk at Engineering@burlingtonhydro.com, prior to beginning any construction/demolition near to existing overhead or underground hydro facilities, to get approved hydro service layout/consent and avoid any possible service delays or safety issues.

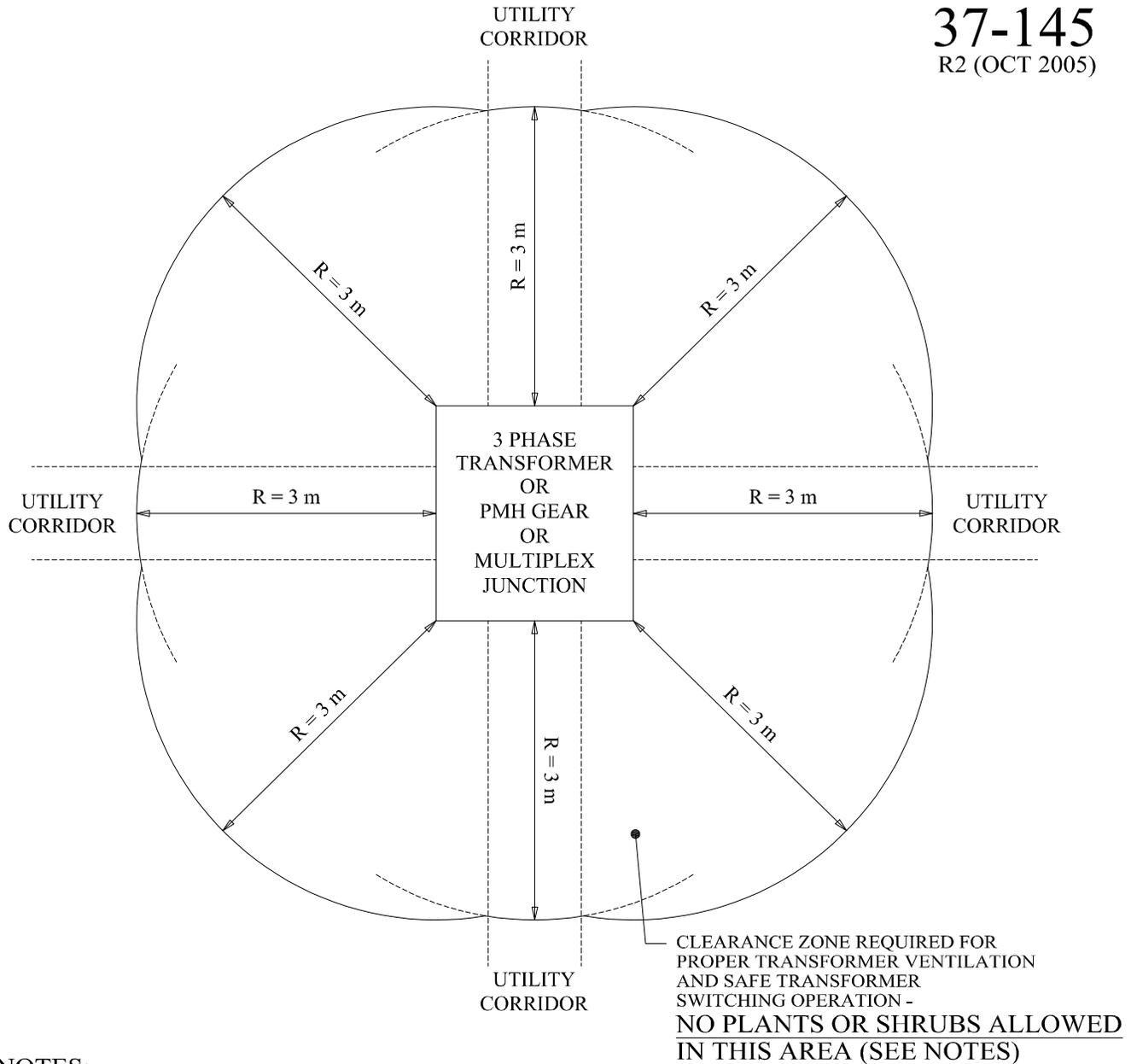
Be advised that the above information represents only a portion of the servicing requirements that is expected of the Developer. Further details and requirements will be provided when the Developer makes contact with Burlington Hydro.

Sincerely,

Zakariya Al-Doori
Engineering Services Technician,

CC: Vladimir Carballo
Senior Engineering Manager,

METRIC
LINEAR DIMENSIONS SHOWN IN MILLIMETRES



NOTES:

1. ANY AND ALL OBJECTS WITHIN THE OBSTRUCTION FREE AREA, ARE SUBJECT TO REMOVAL WITHOUT ANY PRIOR NOTICE SHOULD OPERATIONAL OR EMERGENCY CONDITIONS EXIST.
2. BHI SHALL NOT BE HELD RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE REMOVAL OR RESULTING DAMAGE TO ANY OBJECTS WITHIN THE OBSTRUCTION FREE AREA. (THE DEVELOPER/OWNER ASSUMES ALL RESPONSIBILITY FOR ENCROACHING WITHIN THE OBSTRUCTION FREE AREA.)

**OBSTRUCTION FREE AREA
THREE PHASE TRANSFORMERS AND SWITCHING CUBICLES
(ABOVE GROUND)
2.4/4.16 kV TO 16/27.6 kV**

Clearances to Overhead Electrical Infrastructure

Communication between all parties involved in the design, construction, renovation, for the use and maintenance of buildings near overhead (OH) electrical infrastructure is key. Planners, architects, developers / contractors, and property owners must be informed and work together to ensure all laws, regulations and local requirements are met for the safety of workers and occupants.

New Buildings or Additions to Buildings

It is essential that Burlington Hydro Inc. is notified on proposed projects early in the design phase to review and provide feedback. Site plan applications should be provided, including the drawings, to capture any conflicts before any permit is issued by the municipality. Ideally, Burlington Hydro Inc. will be asked to provide pre-design input.

For any new building or additions to existing buildings, there are a number of codes and regulations that govern the proximity to overhead electrical infrastructure that must be adhered to by all stakeholders. The Ontario Building Code (OBC), Ontario Electrical Safety Code (OESC), Ontario Occupational Health and Safety Act (OHSA), and Ontario Regulation 22/04 all have the same requirements regarding clearances. **These clearances take into account the conductor swing as per the OBC and apply to the outermost part of the building, which includes the balconies, fire escapes, flat roofs, or other projections beyond the face of the building as shown in Figure 1.**

The OBC regulates the design and construction of all new buildings and for additions, alterations and change of use of existing buildings. Applying Article 3.1.19.1, Above Ground Electrical Conductors; Clearances to Buildings, **minimum horizontal clearances to OH electrical infrastructure are as follows:**

Clearance from the OH Power Line	<750V	>750V
Radial to conductor	3 m (10 ft)	5 m (16.5 ft)
Along the OH pole line (from a vertical line drawn from power line to ground level)	2 m (6.5 ft)	5 m (16.5 ft)

All stakeholders should contact Burlington Hydro Inc. to determine the requirements for the specific design scenario.

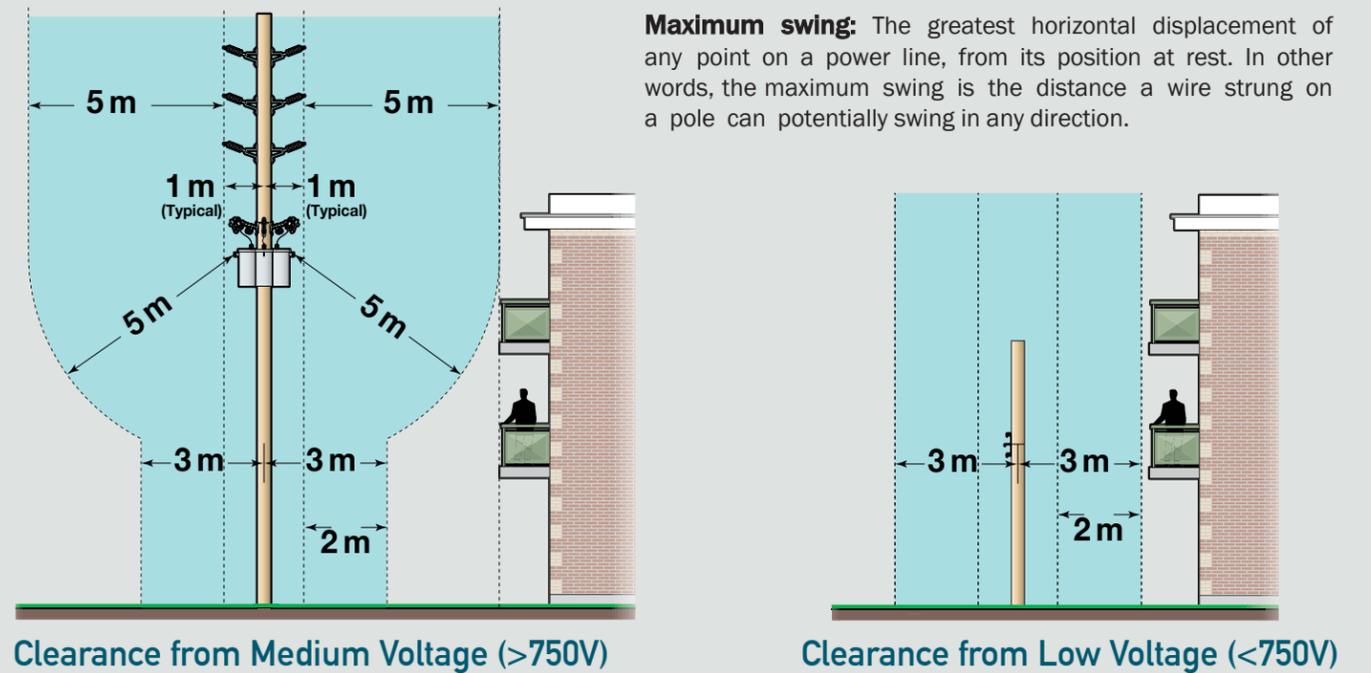
According to CSA C22.3 No. 1, permanent or temporary structures / buildings or their extensions, should not be over or underneath overhead electrical infrastructure.

Examples of instances when these clearances become necessary for workers and occupants:

- **Workers** – using scaffolding during construction, putting up signs and lighting, or other equipment to maintain the building, i.e. resurfacing, window washing or use of cranes.
- **Occupants** – using clothes lines, business signs, flags, or general reach from a balcony

Burlington Hydro Inc. should be contacted prior to any activity within 3 m of the OH electrical infrastructure, such as tree trimming or working on the sides of a building. According to the Ministry of Labour's Occupational Health and Safety Act and the Electrical Safety Code, only Burlington Hydro's employees or approved contractors can work in proximity to these lines.

Figure 1: Ontario Building Code Clearance Requirements

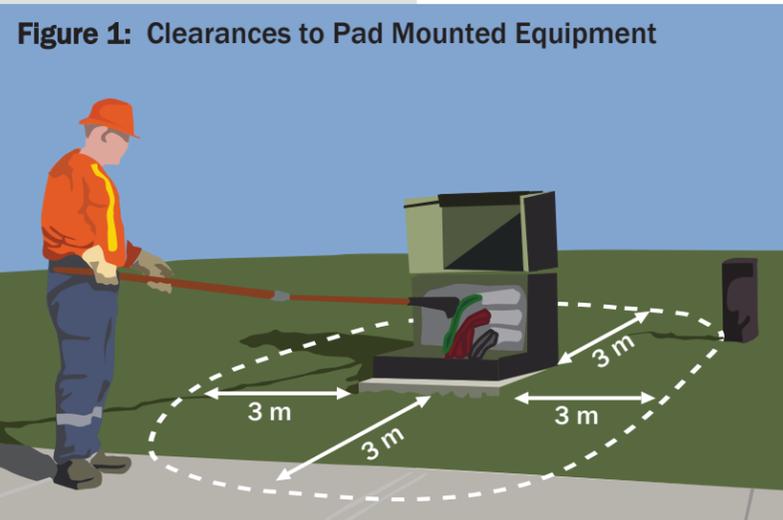




Clearances to Underground Electrical Infrastructure

Clearances around underground (UG) electrical infrastructure as per Burlington Hydro's specifications and standards must be met by planners, architects, developers / contractors, municipalities, and property owners.

Electrical workers must be able to safely access equipment to operate, maintain or replace it, see **Figure 1**. The property owner will be responsible for any costs related to removing an obstruction, or if power restoration is delayed due to the obstruction.



The following clearances around pad mounted electrical equipment mitigate all risks associated with working space and hazards related to the ground grid. This area must remain free of any structures, obstructions, or plantings:

3 m (10 ft) on all sides



Other UG Utilities

Burlington Hydro Inc. and all other UG utility stakeholder infrastructure including communications, water, wastewater, and gas facilities must **meet the clearances to UG electrical infrastructure as per CSA C22.3 No.7 Underground Systems**.

In order to meet these requirements, coordination of all facilities within proximity of other UG equipment is essential.

Municipalities & Property Owners

Above ground obstructions or hiding the electrical equipment is not permitted, see **Figures 2 and 3**. Municipalities and property owners must be aware of the clearances for the safety of its assets in proximity to UG electrical infrastructure, including but not limited to:

Municipalities: bus shelters, traffic signs

Property Owners: decks or patio blocks, retaining walls, pool equipment, hot tubs, storage sheds, metallic objects like mail-boxes, flag posts, outdoor patio seating (temporary and permanent)

Locates

It is important to know where UG electrical infrastructure and other utilities are located before work begins, regardless of the project size. Examples include but are not limited to:

Contractors: excavating for an addition, new building, sidewalks, or repairing buried infrastructure

Property Owners: planting a tree, landscaping, installing a fence, deck, driveway, or repairing buried infrastructure (pools, heated driveways, irrigation and sprinkler systems)

To protect the project from unnecessary damage, injuries, and financial penalties, contractors and property owners involved in the above activities must contact Ontario One Call at:

Request a locate
Ontario One Call or 1-800-400-2255
www.ontarioonecall.ca

The various utilities will mark the location of buried UG infrastructure so the dig can be done safely.

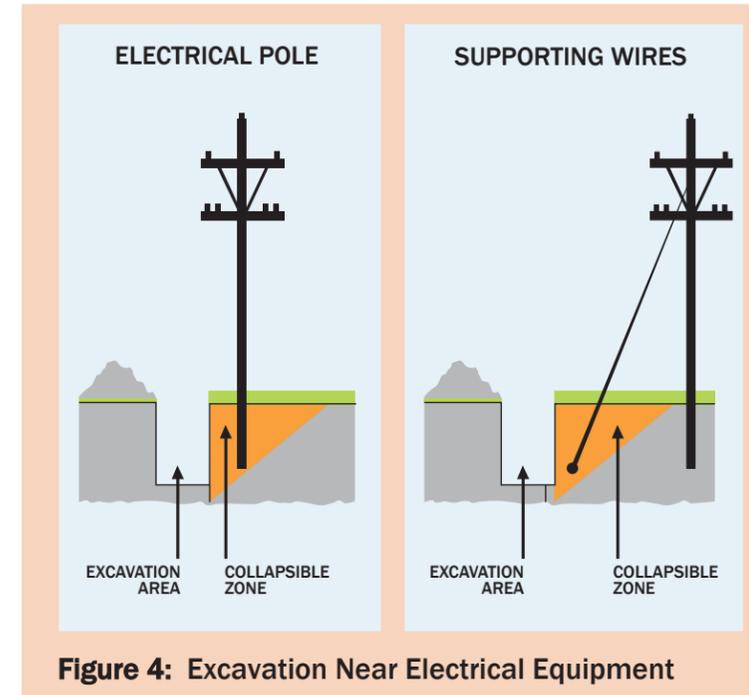


Figure 4: Excavation Near Electrical Equipment

Excavating & Digging

Extreme caution should be used when digging near the marked UG infrastructure or electrical pole (including guy wires, ground grid) see **Figures 4 and 5**. **Contact with a sharp shovel or excavation equipment could easily damage electrical infrastructure and could result in harmful electrical current.**

See ESA's "Guideline for Excavating in the Proximity of UG Distribution Lines" www.esasafe.com and contact Burlington Hydro Inc. for guidance before excavation in the proximity of electrical infrastructure.

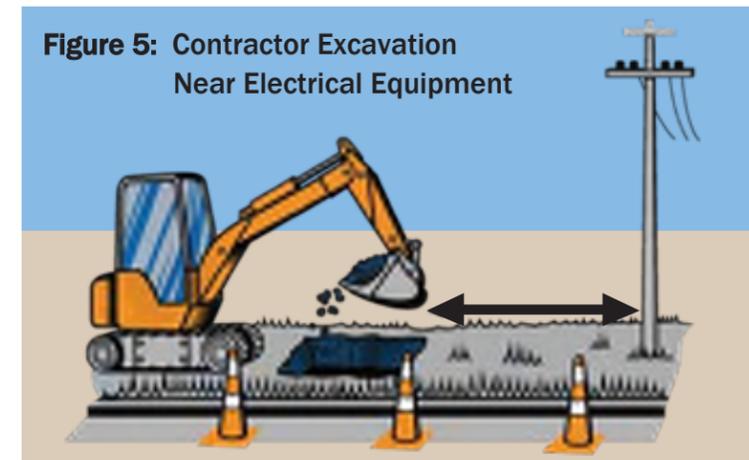


Figure 5: Contractor Excavation Near Electrical Equipment

Guideline for Working near Overhead Electrical Powerlines & Equipment on Construction Projects

Working near overhead powerlines can be dangerous—even deadly—if proper safety precautions are not taken. Being aware of the hazards and keeping a safe distance from electrical powerlines and equipment are the best means of protection.

Powerline Technicians need specialized training and equipment to protect themselves when working on or near powerlines. Construction workers may also have to work near powerlines. However, they may not know the hazards of working around powerlines or have the knowledge, training, and experience to protect themselves.



This guideline can help construction workers protect themselves and their co-workers from electrical hazards when working near powerlines.

STEP 1 Identify Electrical Hazards

The first step is to recognize where electrical hazards exist and identify the precautions that need to be taken to avoid contact. Ideally, this should be done at the planning stage before work begins. Look around the work area to see if powerlines are close by. Then, consider whether the type of work being done or the type of equipment being used may come close enough to powerlines to present an electrical hazard.

Table 1 shows the minimum safe distances to powerlines based on their voltage. The distance for 750 volts and above is taken from the Construction Projects regulation (O. Reg. 213/91, s. 188(2)) under the OHSA. A distance of 1 metre (3.3 ft) is recommended for less than 750 volts.

Table 1: Minimum Distances to Powerlines

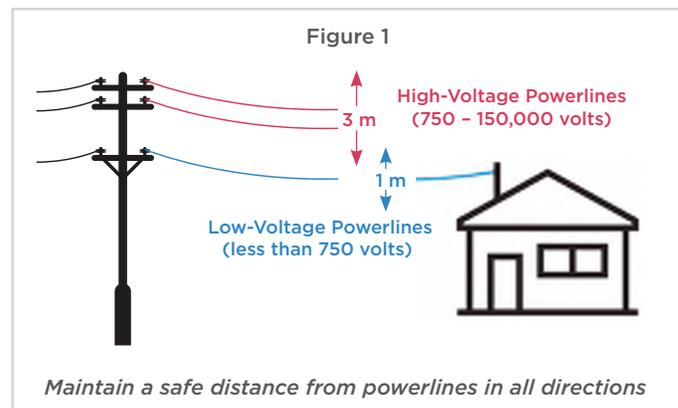
Voltage Rating	Minimum Distance
Less than 750 volts	1 metre (3.3 feet)*
750 to 150,000 volts	3 metres (10 feet)†
More than 150,000 volts, but no more than 250,000 volts	4.5 metres (15 feet)†
More than 250,000 volts	6 metres (20 feet)†

*Recommendation from the Working Group

†Source: O. Reg. 213/91, s. 188 (2)

Employers must take every reasonable precaution to prevent hazards to workers from energized electrical equipment, installations, and conductors (O. Reg. 213/91, s. 183). This means keeping the minimum distance as required by Table 1.

Powerlines or electrical equipment rated at less than 750 volts are considered **low voltage**, while those rated at 750 volts or above are considered **high voltage**. Workers must keep a safe distance of at least 1 metre (3.3 feet) from low-voltage powerlines to be protected from exposure to electrical shock or arc flash burn. For high-voltage powerlines, the distance is 3 metres (10 feet) or more, depending on the voltage (Figure 1).

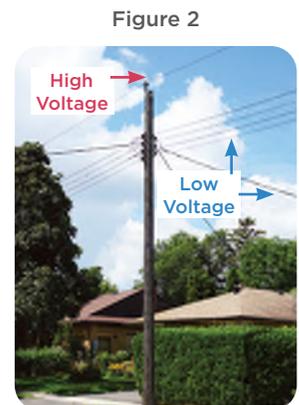


High-voltage powerlines are usually located higher on a pole than low-voltage powerlines (Figure 2). However, some high-voltage lines can look like low-voltage lines and can be located below low-voltage lines on a pole.

Misidentifying the voltage of powerlines can cause workers to go beyond the minimum safe distance and lead to an electrical incident.

In addition, workers have been known to focus on maintaining their distance from low-voltage lines, only to make contact with high-voltage lines.

If you are uncertain of the voltage, get help from an electrically qualified person or contact the owner.



Respect Electricity!

Every wire that brings ELECTRICITY to a business, home, or area CAN KILL YOU. No matter the voltage, keep a safe distance from powerlines to avoid electrical contact, shock, and burns.

The type of equipment being used when working near overhead powerlines may indicate that precautions need to be taken to prevent electrical injury. This includes tall or long-reach equipment such as:

- Cement trucks, concrete pumps, hydro-vac trucks (Figure 3)
- Excavators, backhoes, front-end loaders
- Cranes, drill rigs, boom trucks, bucket trucks
- Ladders, scaffolds
- Dump trucks, waste material/recycling trucks, material delivery trucks
- Swing stages, scissor lifts, forklifts, zoom booms
- Snow-removal equipment, paving machines, farm machinery (including augers).

Figure 3



In addition to the type of equipment being used, the type of work being done near overhead powerlines may indicate that electrical hazards need to be identified and assessed. This type of work can include:

- Siding and painting (Figure 4)
- Roofing and eavestroughing
- Framing
- Stucco and brick work
- Window cleaning and balcony work
- Tree pruning, tree removal, and landscaping.

Figure 4



Keep the following points in mind when doing a hazard assessment on overhead powerlines:

- Electrical hazards can sometimes be hard to identify. Electricity is invisible in its usual state and any wire that contains electricity looks exactly the same as a wire without electricity.
- Electricity can jump through the air and into objects and people nearby. Direct contact is not required to make it an electrical hazard.
- Wind and weather can cause wires to swing and heat, ice, or changing electrical demand can cause them to sag. Higher-voltage wires have been known to sag as much as three metres in one hour from heating up during high-demand conditions.
- Long building materials and equipment such as ladders, boards, poles, or scaffold members can be extended or repositioned to the point where they may contact or come near enough to electrical equipment to cause an electrical arc.
- A slip or a fall can move a worker or their tools, equipment, and materials closer than the recommended distance to an electrical hazard.
- Electricity is not only carried by the wires on an electric pole but also by other electrical equipment such as transformers, which can be shaped like a box (Figure 5) or a steel barrel (Figure 6).

Figure 5



Figure 6



A JSA or HRA can also help when estimating the costs associated with a project. Early detection of the hazards and pre-planning control options to prevent these hazards can affect the quote because health and safety concerns must always be taken into consideration. Before work begins, consideration should be given to questions such as:

- How will materials be brought in or removed from the site?
- How will workers access the work location?
- Will wires have to be moved or disconnected for work to be completed safely?
- Are workers knowledgeable/qualified or will assistance be needed to determine voltage/proper clearance distances, etc.?

STEP 2 Complete a Hazard Assessment

Electrical incidents can result in serious injuries or fatalities caused by:

- direct contact from touching energized equipment
- contact with an electrical arc
- exposure to an arc flash.

Completing a **Job Safety Analysis (JSA)** or a **Hazard Risk Assessment (HRA)** is a good way to ensure that hazards have been identified and safe work procedures have been put in place to prevent electrical incidents.

Don't Guess. Do it Right!

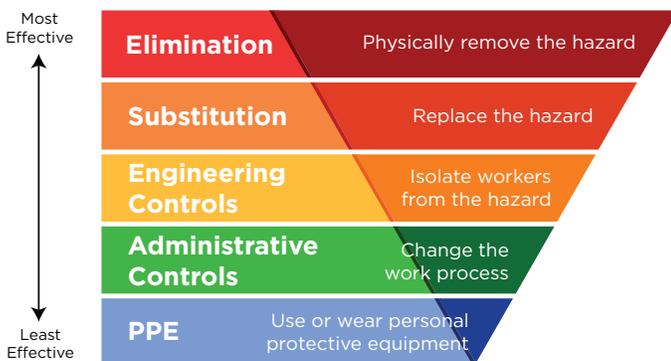
Always contact the owner of the overhead powerline to verify the correct voltage.

STEP 3 Eliminate or Control the Hazards

Once the electrical hazards have been identified and the workers have been made aware of them, the hazards need to be eliminated. If this is not possible, the hazards should be controlled. This means using barriers or other controls to reduce the possibility of a hazard or lessen its severity as much as possible.

Before putting controls in place to address health and safety hazards, consideration should also be given to their effectiveness. Figure 7 below shows the **hierarchy of controls**, which ranks control options from most effective to least effective.

Figure 7



Hierarchy of Controls

Eliminating the hazards of working near overhead powerlines is most effective because the hazard no longer exists. This can be done by:

- Relocating the work to another location that is farther away from overhead powerlines.
- Having a **qualified** person (e.g., a Powerline Technician) who has been **authorized** by the owner of the powerline shut the electricity off, verify that it is off, and ensure that all stored energy is removed.

If the hazard cannot be eliminated, **engineering controls** may be put in place to isolate the worker from the hazard. This can include asking the owner of the powerline to raise or move them, making it more difficult to go beyond the minimum safe work distance.

The utility owner may provide additional assistance, such as installing powerline coverups to protect workers from accidental contact with energized components (Figure 8).

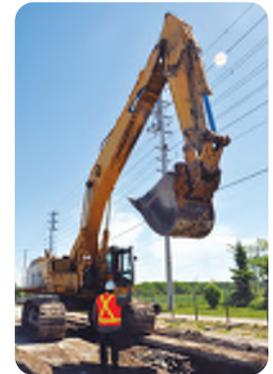
Figure 8



If engineering controls are not practicable, the next best option is putting **administrative controls** in place to change the work process. This may include the following:

- Taking additional precautions to ensure workers keep a safe distance away from powerlines (i.e., the minimum distance shown in Table 1 and Figure 1).
- Designating a signaller (Figure 9) to make sure that workers, loads, and equipment do not go beyond the minimum safe distance from powerlines. (Refer to the requirements of a signaller in O. Reg. 213/91, s. 188(8)).

Figure 9



- Ensuring that all workers are aware of the location of overhead electrical hazards, know how to protect themselves, and are familiar with the safe work procedures.

- Installing warning signs (Figure 10) or flags to remind workers about the dangers of working near powerlines.

Figure 10



- Ensuring that the emergency response plan deals with treating electrical injuries and that proper first aid supplies are available.

Although using or wearing **PPE** (personal protective equipment) is not the most effective method of injury prevention according to the Hierarchy of Controls (Figure 7), it can still minimize exposure to a hazard or reduce its severity.

Some PPE is required by law. Depending on the possible hazards workers may encounter, this can include:

- A Class E hard hat
- Grade 1 work boots with dielectric protection (i.e., an Omega tag)
- CSA-approved safety glasses with side shields
- A high-visibility safety vest
- Protective work gloves
- Hearing protection devices.



As best practice, always consider electricity to be on and electrical wires to be live unless a qualified electrical worker who is authorized by the owner of the electrical equipment confirms that it is off.

STEP 4 Ensure that All Legal Requirements Are Met

Under Ontario's *Occupational Health and Safety Act* (OHS) and its associated regulations, employers and supervisors have a legal duty to identify hazards (including electrical hazards), inform workers about these hazards, and protect workers from them.



Employers and supervisors must ensure that their legal duties under the OHS and the requirements of the Construction Projects regulation (213/91) are met

Duties of Employers and Supervisors under the OHS

Section 25 of the OHS requires the **employer** to:

- Acquaint a worker or a person in authority with any hazard in the work
- Provide information, instruction, and supervision to workers to protect their health or safety
- Ensure the equipment, materials, and protective devices prescribed by law are provided, are used as prescribed, and are maintained in good condition
- Ensure the measures and procedures prescribed by law are carried out
- Take every reasonable precaution to protect workers.

Section 27 requires the **supervisor** to:

- Advise workers if they are aware of potential or actual danger to their health or safety
- Where prescribed by the health and safety legislation, provide workers with written instructions on protective measures and procedures
- Ensure that workers follow protective measures and procedures and use the required protective devices.

Regulatory Requirements for Employers and Supervisors

Additional requirements are found in the Construction Projects regulation (O. Reg. 213/91):

- The **supervisor** will inspect all machinery and equipment, including electrical installations, at least once a week (s. 14).
- The **employer** will ensure that workers wear and use protective clothing, equipment, and devices, and be trained in their care and use (s. 21). This includes protective headwear (s. 22), protective footwear (s. 23), and eye protection when there is a risk of eye injury to the worker (s. 24).
- Do not store material or equipment moved by a crane or hoisting device near an energized overhead electrical conductor (s. 37 (2)).
- Post a sign where there is a potential hazard from an energized overhead electrical conductor at more than 750 volts (s. 44 (3)).
- The **employer** will ensure that the site-specific work plan for a suspended work platform system or boatswain's chair includes identification of electrical hazards (s. 141.5).
- The **constructor** and **employer** will take every reasonable precaution to prevent hazards from energized electrical equipment (s. 183).
- The **supervisor** will authorize any person who is permitted to enter a room or enclosure containing exposed energized electrical parts (s. 184 (1)).
- Do not store tools, equipment, or materials capable of conducting electricity so close to energized electrical equipment that they can make electrical contact (s. 187).
- Do not bring any object closer to an energized overhead electrical conductor than the minimum distances in Table 1 (s. 188 (2)).
- Designate a competent worker as a signaller to warn the equipment operator if part of the equipment or its load may encroach on the minimum distance to powerlines (s. 188 (8)).

NOTE: This is not a complete list of relevant legislation. Always consult a current version of the OHS and its associated regulations.

Developed by a collaborative working group from IHSA's Labour-Management Network in partnership with IHSA



© Infrastructure Health and Safety Association, 2022

NOTICE OF PUBLIC HEARING

Rosart Properties Inc of 3275 Rebecca St. Oakville, have applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **1215 Fairview St. Burlington** (see map).

The applicant is proposing the construction of Motor Vehicle Service Station with a one storey convenience store, fast food restaurant with an associated outdoor patio and gas bar with canopy. This proposal results in the following variances:

1. To permit a 28 m yard abutting a street (Maple Avenue) instead of the maximum permitted 4.5 m for a proposed one storey convenience store and restaurant.
2. To permit a 6.6 m yard abutting a street (Fairview Street) instead of the maximum permitted 4.5 m for a proposed one storey convenience store and restaurant.
3. To permit a Floor Area Ratio of 0.27:1 instead of the minimum required 0.3:1 Floor Area Ratio for Buildings other than Entertainment, Recreational, or Industrial Buildings for a proposed one storey convenience store and restaurant.
4. To permit a building height of 1 storey instead of the 2 storeys minimum, 6 storeys maximum for a proposed one storey convenience store and restaurant and gas bar canopy.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **February 9, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 25, 2026

This application is scheduled to be heard at or after 1:00 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **12:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of

Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

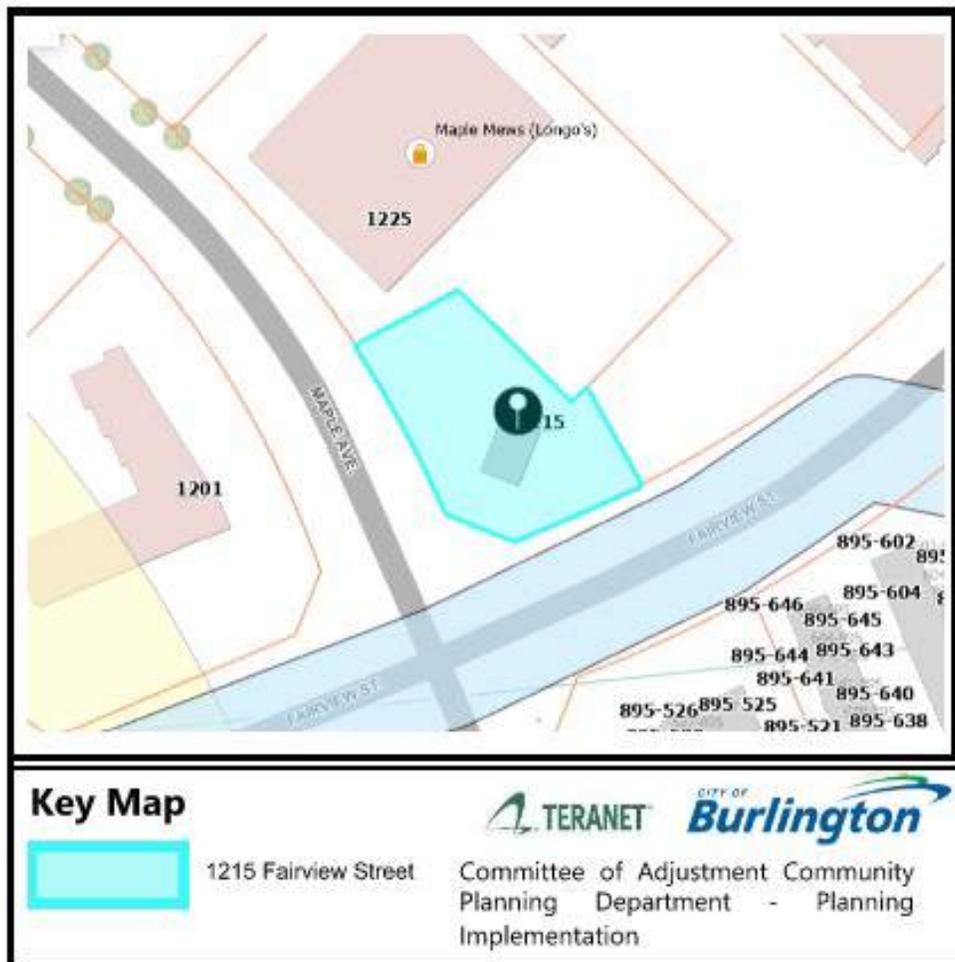
Yours truly,



Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: Melissa Gasic

Name of Zoning Examiner: Danielle Beck

PROPERTY INFORMATION

Municipal Address(es) of property:

1215 Fairview St Burlington, ON L7S 1Y5

Legal Description of property:

PCL BLK 1-2 , SEC 20M273 ; PT BLK 1, PL 20M273 , PART 2, 3 & 4 , 20R7073 , T/W PT BLK 1 PL 20M273, PT 1 20R7073 AS IN H248507; S/T H248508 ; S/T H188475E, H413602 BURLINGTON

Official Plan Designation: Urban Corridor

Current Zoning Designation MXC

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

Rosart Properties Inc.

Mailing Address: 226 South Service Rd E

City: Oakville

Postal Code: L6J 2X5

Home Phone: _____

Mobile Phone: _____

Work Phone: [REDACTED]

E-Mail: [REDACTED]

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name:

Vasili Sarantopoulos

Business Address: 19 Galsworthy Ave

City: Scarborough

Postal Code: M1R 2N5

Home Phone: _____

Mobile Phone: [REDACTED]

Work Phone: _____

E-Mail: [REDACTED]

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

We are proposing the development of a new Petro-Canada gas bar within a shared commercial plaza. The site was formerly occupied by a gas bar but is currently vacant. The proposal includes a new gas canopy and a convenience store with a quick-serve restaurant and patio, as well as enhanced parking and landscaping improvements.

Variance(s) Requested	Zoning Bylaw Requirement
1. 1 Storey Convenience Store	1. 4.5 BUILDING HEIGHT MXC Zone Other uses: 2 storeys minimum, 6 storeys maximum
2. Building set back 26 m from Maple Ave and 6.578 m from Fairview St	2. YARD ABUTTING A STREET: 3m minimum; 4.5 m maximum
3. Proposed Floor Area Ratio: 8,861.5 m ² / 32,294.7 m ² = 0.274 : 1	3. Minimum Floor Area Ratio for Buildings other than Entertainment, Recreational, or Industrial Buildings: 0.3 : 1

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

1. Why is the variance(s) minor in nature? _____

The variances are minor as they result in no negative impacts on surrounding properties. The single-storey convenience store maintains a low-scale form consistent with the other existing buildings on the lot. The increased setback from Maple Avenue improves site circulation and safety, and the small reduction in floor area ratio is negligible and does not affect the overall function or appearance of the site.

2. Why are the variance(s) desirable for the appropriate use of the land? _____

The variances are desirable as they facilitate the efficient redevelopment of a vacant site within a shared commercial plaza. The proposal introduces a new convenience store with a quick-serve restaurant and patio, supported by improved parking and landscaping. This reinvestment brings the site back into active use and complements surrounding commercial activities.

3. Do the variance(s) meet the intent and purpose of the Official Plan? _____

Yes. The proposal aligns with the Official Plan's objectives of promoting reinvestment and intensification within existing commercial areas. The development contributes to a complete, pedestrian-friendly mixed-use corridor by introducing a high-quality commercial use that is compatible in scale and character with the surrounding plaza.

4. Do the variance(s) meet the intent and purpose of the Zoning By-law? _____

Yes. The variances maintain the intent of the MXC Zone by providing an appropriately scaled commercial use with improved site organization. The increased setback enhances safety and landscaping, and the minor FAR reduction does not compromise the by-law's intent to support viable commercial development.

PROPERTY DETAILS (please complete all fields):				
Date property purchased:	Date property first built on:	Date of proposed construction:		
Mar/22/1979	Dec/15/1986	Feb/23/2026.		
mmm/dd/yyyy	mmm/dd/yyyy	mmm/dd/yyyy		
Existing Use of the Subject Property (check one):		Length of time the existing uses of the subject property have continued:		
Detached Dwelling <input type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Stacked Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Vacant <input checked="" type="checkbox"/> Other <input type="checkbox"/> _____				
		Proposed Use of the Land: Commercial		
Existing Uses of Abutting Properties (check all that apply)				
Residential <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right-of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input type="checkbox"/> Other <input type="checkbox"/> _____ Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>				
Additional Information				
Is liquor sold on site? Y <input checked="" type="checkbox"/> or N <input type="checkbox"/>				
Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unknown <input type="checkbox"/>				
Type of Access to the Subject Lands				
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other(specify) <input type="checkbox"/>
Municipal Services Provided				
Water <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
Sanitary Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
Storm Sewers <input checked="" type="checkbox"/>	If not available, by what means is it provided: _____			
IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS:				
<input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input type="checkbox"/> Building Permit <input checked="" type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent				

FOR COMMERCIAL, MIXED USE, INDUSTRIAL AND OTHER							
Dimensions of Property			Street Width (see first page of application for how to obtain)			Density	Have you applied for Site Plan Approval? Y <input checked="" type="checkbox"/> N <input type="checkbox"/> File #: MM-007/25
Frontage	Depth	Area	Actual	Deemed	Required		
34.95	32.03	2495 m2	0m	40m	40m		

Particulars of all buildings and structures on or proposed for the subject lands (attach additional page if required)			
EXISTING (Building)	***No existing buildings on property	PROPOSED (Building/Addition)	
Ground Floor Area:	M ²	Ground Floor Area:	191.5 M ²
Gross Floor Area:	M ²	Gross Floor Area:	191.5 M ²
Number of Storeys:		Number of Storeys:	1
Width:	M	Width:	18.835 M
Length:	M	Length:	10.151 M
Height:	M	Height:	5.25 M
Floor Area: Office Space	M ²	Floor Area: Office Space	M ²
Floor Area: Warehouse/Retail/Other:	M ²	Floor Area: Warehouse/Retail/Other:	191.5 M ²
# of Existing Units:		# of Proposed Units:	
Floor Area Ratio:		Floor Area Ratio:	0.27:1
Required Parking Spaces:		Proposed Parking Spaces:	458
Existing Parking Spaces:			
EXISTING (Other)		PROPOSED (Other)	
Ground Floor Area:	M ²	Ground Floor Area:	212.3 M ²
Gross Floor Area:	M ²	Gross Floor Area:	212.3 M ²
Number of Storeys:		Number of Storeys:	1
Width:	M	Width:	10.980 M
Length:	M	Length:	19.334 M
Height:	M	Height:	5.50 M
LOCATION of all existing and proposed buildings and structures			
EXISTING (Building)		PROPOSED (Building)	
Front:	M	Front:	6.547 M
Rear:	M	Rear:	10.904 M
Side:	M	Side:	26.962 M
Side:	M	Side:	3.319 M
OTHER		OTHER Gas Canopy	
Front:	M	Front:	9.323 M
Rear:	M	Rear:	9.022 M
Side:	M	Side:	10.682 M
Side:	M	Side:	18.874 M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

X

Owner Name

Ken Rosart
[Signature]
Signature of Owner/Applicant

Property Address

1215 Fairview St Burlington,
ON L7S 1Y5

Oct 15 / 25
Date (mmm/dd/yyyy)

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

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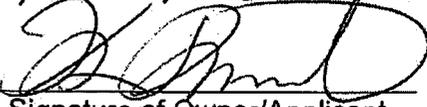
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X

Owner Name

Ken Rosarty

 Signature of Owner/Applicant

Property Address

1215 Fairview St Burlington,
 ON L7S 1Y5

Oct 15 / 25
 Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized

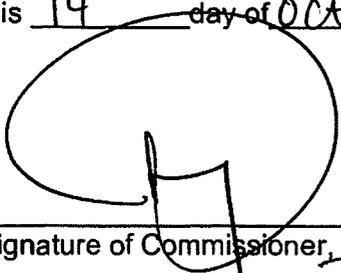
Agent: Vasili Sarantopoulos

I, Vasili Sarantopoulos of the City of Toronto in the _____
(print name) (Region/City/County) (City/Town/Township)

of _____ solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the _____ of _____ in the _____
(Region/City/County) (City/Town/Township)

this 14th day of October 2025.



Signature of Commissioner, etc. Josh Mallin

Vasili Sarantopoulos
Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 1215 Fairview St Burlington, ON L7S 1Y5

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

[Signature]
Signature of Owner

DOUGLAS ROSART
Print Name

X

X

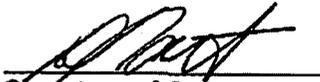
OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, ROSART PROPERTIES INC. being the registered owner of the subject lands, hereby
(print name) DOUGLAS ROSART

Authorize Vasili Sarantopoulos to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.


Signature of Owner

10/14/25
Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	X
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	X
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	X
SITE PLAN <input checked="" type="checkbox"/> Metric Scale <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Frontage <input checked="" type="checkbox"/> Depth <input checked="" type="checkbox"/> Lot Area <input checked="" type="checkbox"/> Lot Coverage <input checked="" type="checkbox"/> Deemed Street Line <input type="checkbox"/> Existing Front Yard Setbacks ***not applicable, no existing structures on site <input type="checkbox"/> Existing Rear Yard Setbacks <input type="checkbox"/> Existing Side Yard Setbacks <input type="checkbox"/> Existing Street Side Yard Setbacks <input type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Proposed Front Yard Setbacks <input checked="" type="checkbox"/> Proposed Rear Yard Setbacks <input checked="" type="checkbox"/> Proposed Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Street Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Streets (Public and Private) <input checked="" type="checkbox"/> Street Names <input checked="" type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) **railways and watercourses not applicable to site <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc)	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.
Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- Setbacks
- Height
- Area
- Length
- Width

ELEVATIONS

- Metric
- Front
- Rear
- Side 1
- Side 2

FLOOR PLANS

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.

Vasili Sarantopoulos

Signature of Owner/Agent

2025-10-14

Date (mmm/dd/yyyy)

SURVEY REPORT

RE: 24-025BT01

PREPARED FOR: SUNCOR ENERGY INC.

LEGAL DESCRIPTION OF SUBJECT LANDS
PART OF BLOCK 1 REGISTERED PLAN 20M-273 CITY OF BURLINGTON <i>REGIONAL MUNICIPALITY OF HALTON</i>

DATE:

September 16, 2024

PROJECT OBJECTIVES:

Prepare a Boundary and Topographic Survey for 1215 Fairview Street to facilitate Architectural designs for a site Re-development. The Survey was prepared with co-operation of a Locates Company (R&B Locating).

DATA SOURCES AND DATES OF ACQUISITION FOR THE PROJECT:

Legal Search, Survey Records Search and other information required in the preparation of this survey are illustrated on the face of plan and were acquired in the Month of September 2024 from the TeraView Land Titles service, Land Survey Records and other Surveyor Records as required.

SOFTWARE USED TO PREPARE PROJECT:

MicroSurvey 2020 and various MS Office Products as required.

DEVIATIONS IN PROJECT SCOPE:

None

PRODUCT OWNERSHIP:

Northern Link Survey Group retains ownership of all Software, Research, physical and digital Plans produced and obtained in the preparation of this survey work. The client is authorized to use and distribute any provided products to their Trades and Consultants in order to assist in planning and completion of the Building Project at the Subject Lands.

DATA LIMITATIONS:

There are no known limitations to the data obtained in the preparation of this Plan of Survey.

PROJECT CO-ORDINATE SYSTEM:

The project has been completed in a local co-ordinate system, no map projection has been applied but Grid Bearings have been used in Lieu of historical astronomical bearings. Grid Bearings are referenced to UTM Zone 17 using NAD83-CSRS-2010.0. Elevation data is Geodetic has been obtained using a GNSS solution. This elevation data was not linked to any specific benchmark but rather, derived from the Trimble CanNet system with the specified datum being NAD83:CSRS:v7-2010, Geoid Model HT2.0-2002.0). Any external elevation data used in relationship to this project should be confirmed with our Local Benchmark shown on the face of plan.

FIELD PROCEDURES:

Refer to Plan of Survey for Boundary Retracement details. Data capture was performed with a Trimble S6 Robotic Total Station and TSC2 Data Collection System; and an R12i GPS RTK receiver.

CERTIFICATION:

The Plan of Survey prepared in relation to the Subject Lands is correct and was prepared in accordance with the Surveys Act, The Surveyors Act, and the Regulations made under them.

PREPARED BY:

Michael McKechnie, O.L.S.
Northern Link Survey Group

SURVEY LEGEND

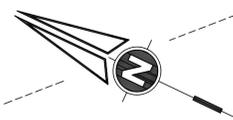
- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- SSIB DENOTES SHORT STANDARD IRON BAR
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CP DENOTES CONCRETE PIN
- PB DENOTES PLASTIC BAR
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
- FFE DENOTES FINISHED FLOOR ELEVATION
- CSE DENOTES GARAGE SILL ELEVATION
- DS DENOTES DOOR SILL
- BOL DENOTES BOLLARD
- OH DENOTES OVERHEAD WIRES
- FH DENOTES FIRE HYDRANT
- WV DENOTES WATER VALVE
- GV DENOTES GAS VALVE
- LS DENOTES LIGHT STANDARD
- MH DENOTES MANHOLE
- CB DENOTES CATCH BASIN
- RM DENOTES RIM ELEVATION
- INV DENOTES INVERT ELEVATION
- ULP DENOTES UTILITY AND LIGHT POLE
- UP DENOTES UTILITY POLE
- GW DENOTES GUY WIRE
- HR DENOTES METAL HAND RAIL
- P/W DENOTES TOP OF RETAINING WALL ELEVATION
- P DENOTES FUEL PUMP
- C DENOTES CANOPY SUPPORT COLUMN
- CONC. DENOTES CONCRETE
- DT DENOTES DECIDUOUS TREE
- CT DENOTES CONIFEROUS TREE
- 0.50φ DENOTES TRUNK CALLIPER
- EOA DENOTES EDGE OF ASPHALT
- GUT DENOTES GUTTER
- TOC DENOTES TOP OF CURB
- TOS DENOTES TOP OF SLOPE
- MW DENOTES MONITORING WELL
- HW DENOTES HAND WELL
- SPED DENOTES BELL PEDESTAL
- SN DENOTES SIGN
- SLP DENOTES SIGNAL LIGHT POLE
- N/S DENOTES UTILITY VAULT
- N./S. DENOTES NORTH / SOUTH
- E./W. DENOTES EAST / WEST
- IF DENOTES INFLOW
- OF DENOTES OUTFLOW
- INST. DENOTES INSTRUMENT NUMBER
- (WT) DENOTES WITNESS
- (M) DENOTES MEASURED
- (S) DENOTES SET
- (1949) DENOTES NORTHERN LINK SURVEY GROUP, O.L.S.
- (M&P) DENOTES MACKAY, MACKAY & PETERS LIMITED
- (Y) DENOTES YATES & YATES LIMITED, O.L.S.
- (646) DENOTES R.G. SEWELL, O.L.S.
- (OU) DENOTES ORIGIN UNKNOWN

BURIED UTILITY LEGEND

BURIED UTILITY LOCATIONS SHOWN HEREON HAVE BEEN DERIVED FROM GEOPHYSICAL METHODS BY R&B LOCATING. DATA CAPTURE WAS PERFORMED USING AN INDEPENDENT GPS SOLUTION AND TIED TO TOPOGRAPHIC FEATURES MEASURED BY NORTHERN LINK SURVEY GROUP. UTILITIES NOT OBSERVABLE OR TRACEABLE AT THE TIME OF SURVEY HAVE BEEN COMPILED FROM MUNICIPAL SERVING RECORDS.

- C — C — C — CONDUIT
- TV — TV — TV — CABLE TV
- B — B — B — TELEPHONE CABLE
- OPT — OPT — OPT — FIBRE OPTIC CABLE
- SL — SL — SL — STREET LIGHTING
- TC — TC — TC — TRAFFIC CONTROL
- HS — HS — HS — HYDRO SERVICE
- GM — GM — GM — GAS MAIN
- GS — GS — GS — GAS SERVICE
- SAN — SAN — SAN — SANITARY SEWER
- STM — STM — STM — STORM SEWER
- WM — WM — WM — WATER MAIN
- WS — WS — WS — WATER SERVICE

R&B LOCATING
 8 COMMERCE CRESCENT, ACTON, ON, L7J 2X3
 T: 905.877.7268 | rbcn.co | info@rbcn.co

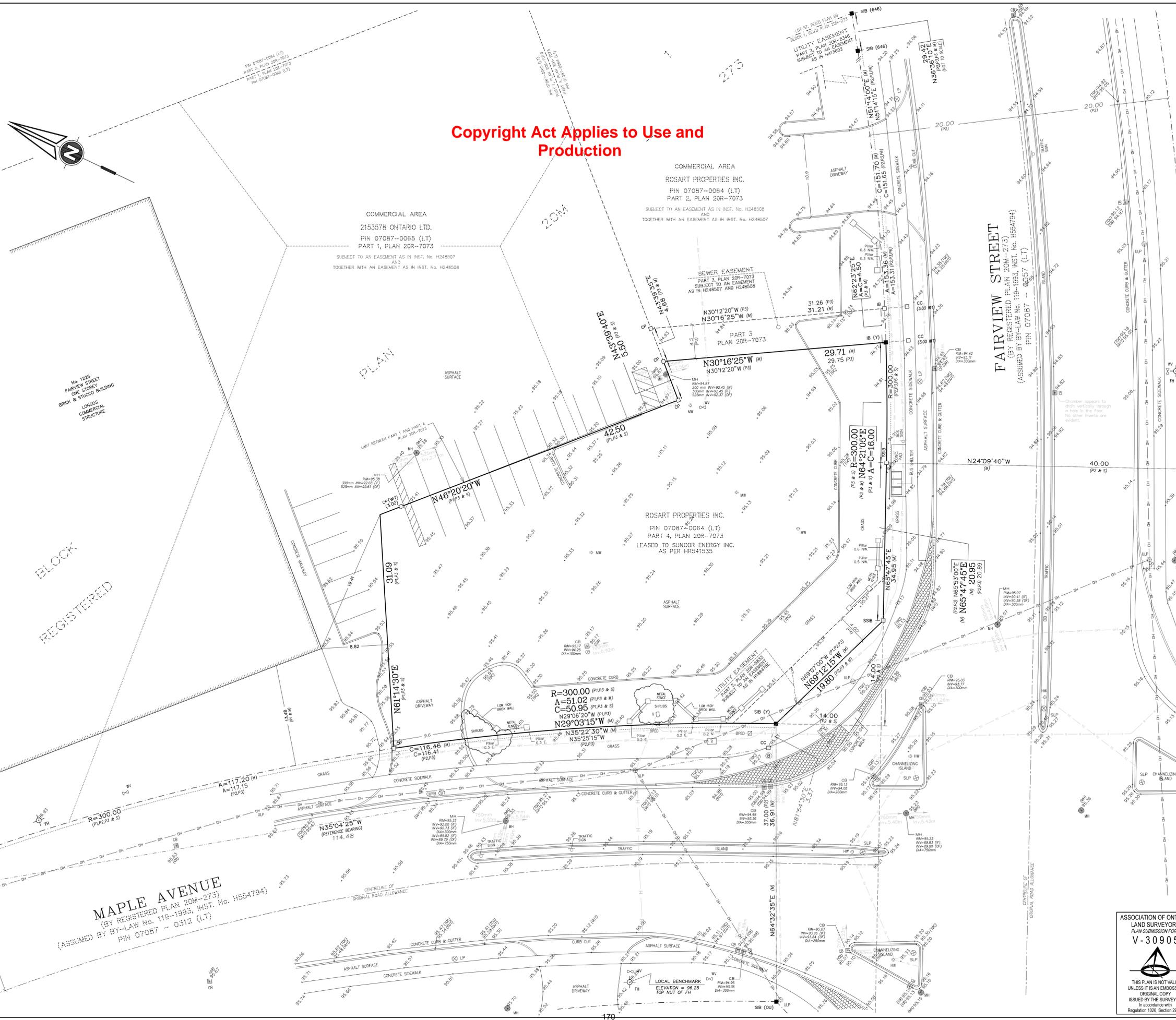


No. 1225
 FAIRVIEW STREET
 ONE STOREY
 BRICK & STUCCO BUILDING
 LONGO'S
 COMMERCIAL
 STRUCTURE

BLOCK
 REGISTERED

MAPLE AVENUE
 (BY REGISTERED PLAN 20M-273)
 (ASSUMED BY BY-LAW No. 119-1993, INST. No. H554794)
 PIN 07087 -- 0312 (L.T.)

Copyright Act Applies to Use and Production



BOUNDARY AND TOPOGRAPHIC SURVEY

PLAN OF SURVEY OF
PART OF BLOCK 1
REGISTERED PLAN 20M-273
CITY OF BURLINGTON
 REGIONAL MUNICIPALITY OF HALTON

SCALE 1:250

NORTHERN LINK SURVEY GROUP 2024

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING

BEARINGS SHOWN HEREON ARE GRID AND ARE REFERRED TO THE REFERENCE LINE BETWEEN THE CUT CROSS CONTROL POINTS ON THE NORTHERLY LIMIT OF MAPLE AVENUE, THESE POINTS BEING DENOTED AS OBSERVED CONTROL POINTS 'A' AND 'B' AND HAVING A BEARING OF N 35°04'25" W.

GRID BEARINGS ARE 6' UTM ZONE 17, CENTRAL MERIDIAN 81°00' WEST LONGITUDE, NAD83 (CSRS-2010.0).

NOTES

TREE CALIPER'S SHOWN HEREON ARE AS MEASURED BY OUR SURVEY CREW. CROWN DIMENSIONS ARE AS SHOWN ON THE FACE OF PLAN AND CONFIRMED VIA AERIAL REFERENCE DATA. THIS DATA HAS NOT BEEN CONFIRMED OR REVIEWED BY A PROFESSIONAL ARBORIST.

FENCES AND OCCUPATION ARE AS INDICATED ON THIS PLAN OF SURVEY. OBSERVATIONS TO STRUCTURES ON THE SUBJECT LANDS HAVE BEEN MADE TO THE EXPOSED EXTERIOR CLADDING OF THE STRUCTURES AS SHOWN.

BEARING ROTATION:

FOR BEARING COMPARISONS, A ROTATION OF 00°48'40" COUNTER-CLOCKWISE WAS APPLIED TO PLAN P1, P2, AND P3.

MUNICIPAL ADDRESS:

No. 1215 FAIRVIEW STREET, BURLINGTON, ONTARIO

SURVEY REPORT:

1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES IS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PRIOR SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.
2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC. ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.
3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.
4. LAND COMPRISES PART OF PIN 07087-0064 (L.T.).
5. LANDS ARE SUBJECT TO A UTILITY EASEMENT OVER PART 2, PLAN 20R-5833 AS IN H188475E. LANDS ARE ALSO SUBJECT TO AND TOGETHER WITH JOINT USE EASEMENTS AS IN H248508 AND H248507 RESPECTIVELY.

TOTAL SITE AREA:

SUBJECT LANDS AREA = 2,695.88 SQUARE METRES (0.666 ACRES)

SURVEY DOCUMENT REFERENCES:

- P1 DENOTES SURVEYOR'S REAL PROPERTY REPORT DATED: FEBRUARY 23, 2005
- P2 DENOTES PLAN 20M-273
- P3 DENOTES PLAN 20R-7073
- P4 DENOTES PLAN 20R-5833
- P5 DENOTES PLAN 20R-5908
- P6 DENOTES BUILDING LOCATION SURVEY DATED: AUGUST 14, 1999

BENCHMARK

ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM GNSS OBSERVATIONS TO OUR CONTROL NETWORK. ELEVATIONS ARE REFERENCED TO OUR LOCAL BENCHMARK:

LOCAL BENCHMARK:

THE TOP NUT OF THE FIRE HYDRANT SITUATED AT THE WESTERLY LIMIT OF MAPLE AVENUE, APPROXIMATELY 35m NORTH OF THE INTERSECTION WITH FAIRVIEW STREET AND BEING AT THE SOUTH SIDE OF THE ASPHALT ENTRANCE TO 1201 FAIRVIEW STREET ALONG MAPLE AVENUE. THIS POINT, HAVING AN ELEVATION OF 96.25m. (NAD83; CSRS-v7-2010, GEOD MODEL HT2.0-2002.0)

GRID SCALE CONVERSION

DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.99969776.

CO-ORDINATE SYSTEM

6° UTM ZONE 17 CO-ORDINATES
 NAD 83 CSRS-2010 (CENTRAL MERIDIAN 81°00' WEST LONGITUDE)

THE COORDINATES LISTED BELOW COMPLY WITH SUBSECTION 14(2) OF ONTARIO REGULATION 216/10 FILED UNDER THE SURVEYORS ACT.

POINT ID	NORTHING	EASTING
A	4 798 180.76	595 568.60
B	4 798 087.09	595 634.37

COORDINATE VALUES SHOWN ARE FOR GEOGRAPHIC INFORMATION SYSTEM INTEGRATION ONLY. COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 13th DAY OF SEPTEMBER, 2024.

SEPTEMBER 16, 2024
 DATE
 MICHAEL MCKECHNIE
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
V-30905

NORTHERN LINK SURVEY GROUP
 ONTARIO LAND SURVEYORS

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY.
 ISSUED BY THE SURVEYOR
 IN ACCORDANCE WITH REGULATION 1128, SECTION 29(3).

FIELD: MJM | DRAWN BY: MJM | CHECKED BY: MJM
 DWG NAME: 24-025BT01 PROJECT: 24-025 09:15 16/SEPT/2024
 NORTHERN LINK SURVEY GROUP IS A DIVISION OF 2307869 ONTARIO LTD.
 65 CEDAR POINTE DRIVE SUITE #204 BARRIE ONTARIO L4N 9R3
 T: 705.985.2610 | northern-link.ca | info@northern-link.ca

Copyright Act Applies to Use and Production



KEYPLAN NTS

PLAN OF SURVEY OF
PART OF BLOCK 1
REGISTERED PLAN 20M-273
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON

ISSUED	NO.	DATE	DESCRIPTION
	01	2025-08-22	ISSUED FOR SPA

REVISION	NO.	DATE	DESCRIPTION
△	2025-05-02		ADD SNOW STORAGE AREAS
△	2025-05-28		CLARIFIED LEASE LINES
△	2025-06-02		ADJUSTED FUEL TANK FILL PORTS
△	2025-06-02		UPDATED YARD LIGHTS WITH PHOTOMETRICS

SEAL

The contractor will check and verify dimensions and report errors and omissions to the designer and the design professional whose seal is affixed to this drawing. Do not scale the drawings.

This drawing will not be used for construction purposes until issued for construction by the design professional whose seal is affixed to this drawing and whose signature is below.

ISSUED FOR CONSTRUCTION DATE

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES

PAUL ARCHITECT INC.
TORONTO • VANCOUVER • ISLANDS

2400 Sheppard Avenue, Dr. Suite 200, Oakville, Ontario, L4J 7Y9
www.paularchitect.com
905.337.9900 Fax: 905.337.1990



CLIENT

DRAWING TITLE

PROPOSED OVERALL SITE PLAN

PROJECT

PETRO-CANADA
1215 FAIRVIEW STREET
BURLINGTON, ON

DRAWN

RD

CHECKED

SCALE

1:400

DATE

2025-08-20

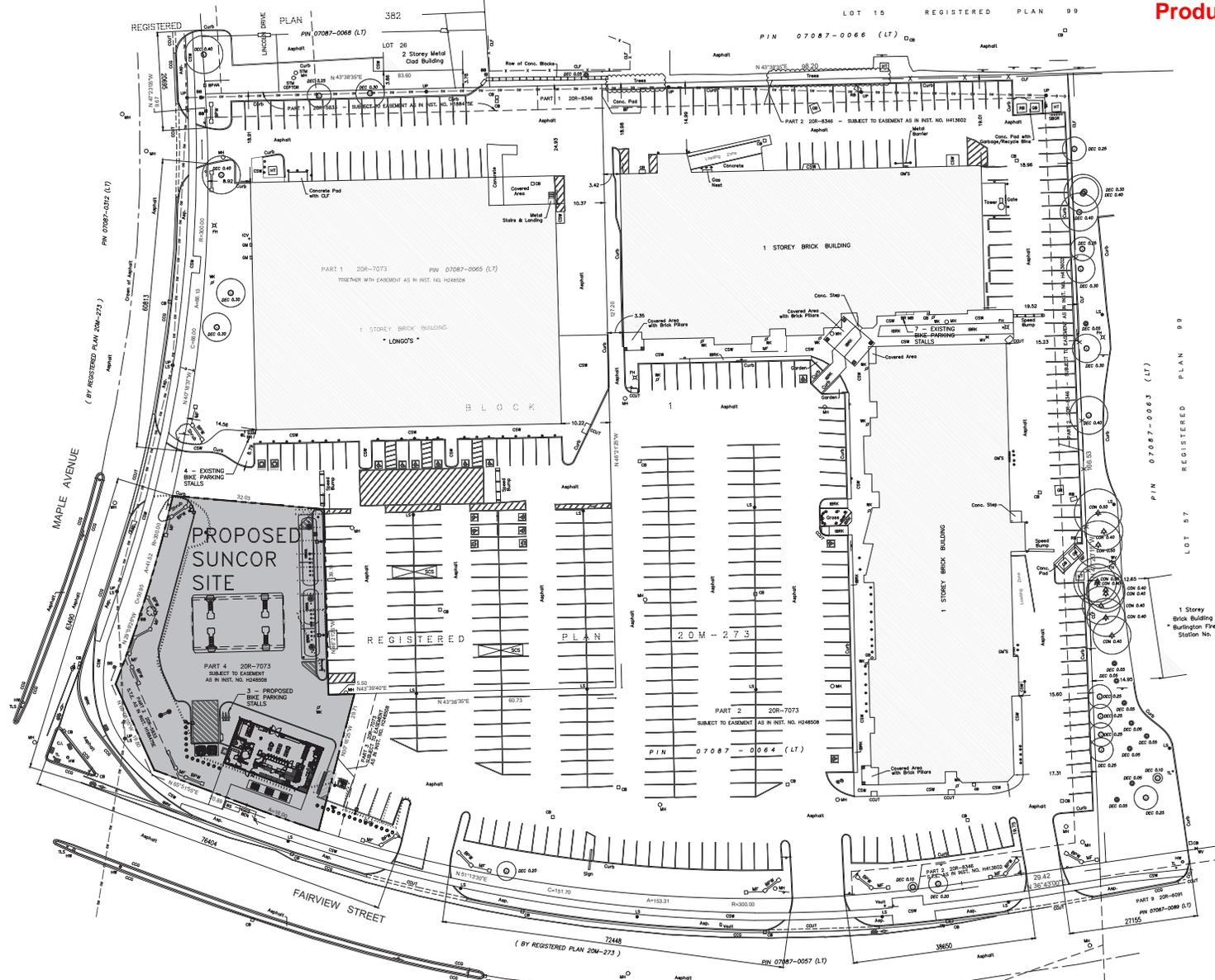
PROJECT NO.

05850

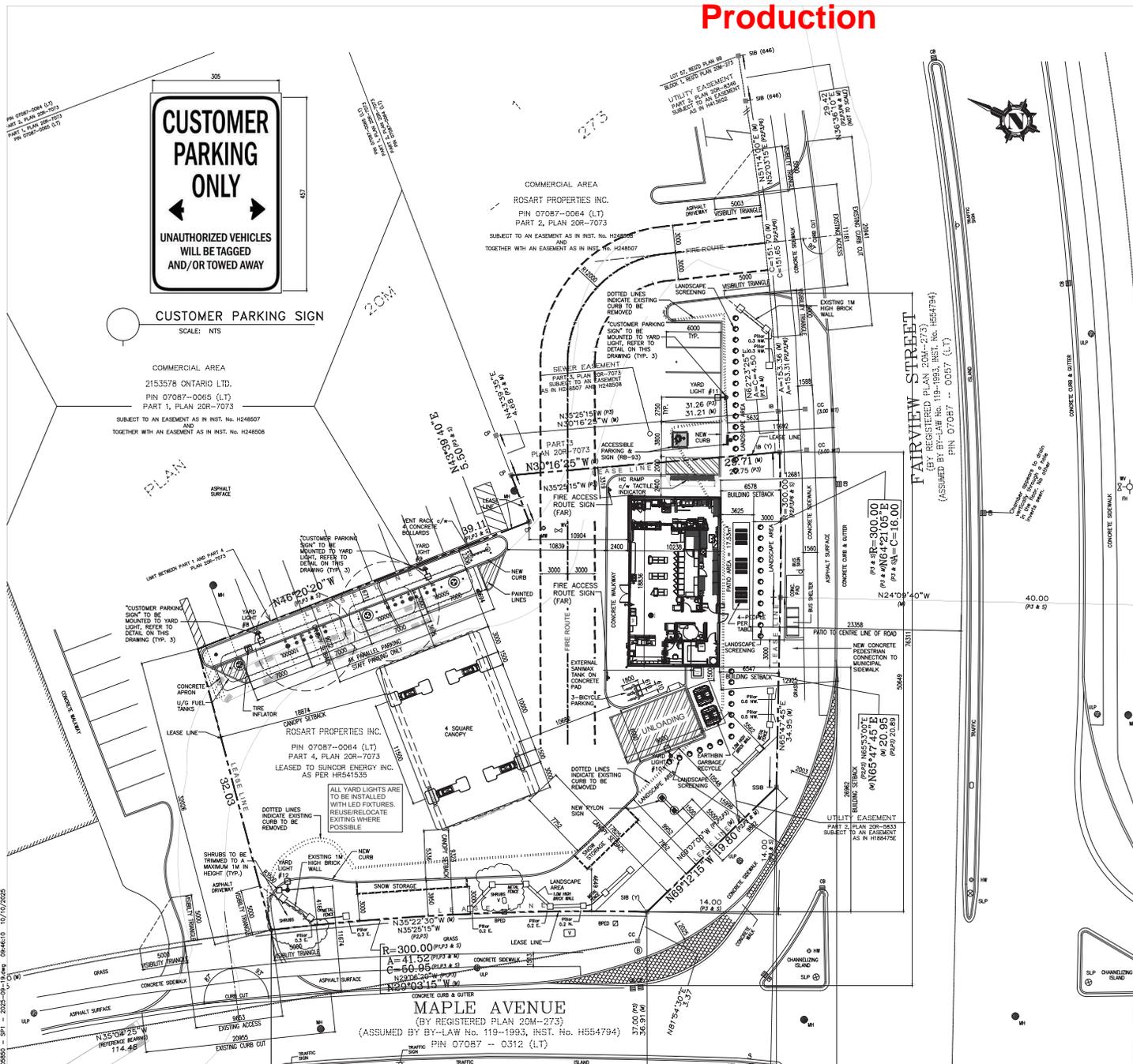
DRAWING NO.

SP2

SITE INFORMATION			
ADDRESS: 1215 FAIRVIEW STREET, BURLINGTON, ONTARIO			
ZONE: MIXED USE CORRIDOR (MXC)			
	PROPOSED AREA - SQ.M.	AREA ACRES	% OF TOTAL LOT AREA
TOTAL LOT AREA - SUNCOR	2,405 M ²	62	100%
TOTAL BUILDING AREA - SUNCOR	191.5 M ²		7.98%
LANDSCAPED AREA - SUNCOR	619.5 M ²		24.83%
ASPHALT PAVED AREA - SUNCOR	1,148.8 M ²		48.04%
CONCRETE PAVED AREA - SUNCOR	526.4 M ²		21.94%
FLOOR AREA, FLOOR AREA RATIO, AND DENSITY			
	FLOOR AREA - SQ.M.	BUILDING AREA (SQ. M)	MINIMUM (SQ. M)
OVERALL PLAZA SURFACE	31,863.8 M ²	8,571.1 M ²	0.311
SUNCOR LEASE SPACE	2,405 M ²	191.5 M ²	0.111
TOTAL BUILDING AREA - BALANCE OF BLOCK - SUNCOR	31,863.8 M ²	8,768.6 M ²	0.311
	PROPOSED		% OF TOTAL
MAIN BUILDING AREA - SUNCOR	191.5 M ²		100%
C-STORE GFA	124 M ²		64.8%
AWAY GFA	67.5 M ²		35.2%
CANOPY COVERAGE	212.3 M ²		8.5%
	PROPOSED		
BUILDING HEIGHT - CANOPY	5.20 M		
BUILDING HEIGHT - STORE	5.25 M		
MINIMUM PARKING			
	MINIMUM REQUIRED	REQUIRED	PROPOSED
C-STORE	RETAIL STORE - 4 SPACES PER 100 M ² OF GFA, (124/100) = 4.9 = ROUNDED UP	5	5 INCLUDING 1 HANDICAP
AWAY	FAST FOOD RESTAURANT - 10 SPACES PER 100 M ² OF GFA (67.5/100) = 6.8 = ROUNDED UP TO 7	7	4
BICYCLE PARKING - PLAZA - SUNCOR	3 SPACES PLUS 1 SPACE/1000 M ² GFA	27	14
BALANCE OF PLAZA	RETAIL STORE - 4 SPACES PER 100 M ² OF GFA, (876.6/100) = 8.8 = ROUNDED UP TO 9	351	449
TOTAL		363	458
LOADING SPACE PROVIDED			
C-STORE & AWAY	88 x 208	1	1



Copyright Act Applies to Use and Production



KEYPLAN NTS

PLAN OF SURVEY OF
PART OF BLOCK 1
REGISTERED PLAN 20M-273
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON

SITE INFORMATION

ADDRESS: 1215 FAIRVIEW STREET, BURLINGTON, ONTARIO

ZONE: MIXED USE CORRIDOR (MXC)

	PROPOSED AREA: SQ M	AREA ACRES	% OF TOTAL LOT AREA
TOTAL LOT AREA - SUNCOR	2,495 M ²	.62	100%
TOTAL BUILDING AREA - SUNCOR	191.5 M ²	7.68%	
LANDSCAPED AREA - SUNCOR	619.5 M ²	24.83%	
ASPHALT PAVED AREA - SUNCOR	1,148.5 M ²	46.04%	
CONCRETE PAVED AREA - SUNCOR	535.4 M ²	21.46%	

FLOOR AREA, FLOOR AREA RATIO, AND DENSITY

	AREA: SQ. M	BUILDING AREA (SQ. M)	MINIMUM (FAR 1.13)	FAR %
OVERALL PLAZA (APPROX.)	31,663.8 M ²	8,071.1 M ²	0.27:1	27.1%
SUNCOR LEASE SPACE	2,495 M ²	191.5 M ²	0.08:1	7.68%
TOTAL BUILDING AREA - BALANCE OF PLAZA - SUNCOR	31,663.8 M ²	8,768.6 M ²	0.28:1	27.7%

	PROPOSED	% OF TOTAL
MAIN BUILDING AREA (GROSS)	191.5 M ²	100%
C-STORE GFA	124 M ²	64.8%
AWW GFA	67.5 M ²	35.2%
CANOPY COVERAGE	212.3 M ²	8.5%

PROPOSED

	MINIMUM	REQUIRED	PROPOSED
BUILDING HEIGHT - STORE	5.50 M	5.50 M	5.50 M
BUILDING HEIGHT - RETAIL	5.50 M	5.50 M	5.50 M

PARKING

	MINIMUM REQUIRED	REQUIRED	PROPOSED
C-STORE	RETAIL STORE - 4 SPACES PER 100 M ² OF GFA (124/100) = 4.9 - ROUNDED UP 5	5	5 INCLUDING 1 MANICAP
AWW	FAST FOOD RETAIL/RESTAURANT - 10 SPACES PER 100 M ² OF GFA (67.5/100) = 6.8 - ROUNDED UP TO 7	7	4
BICYCLE PARKING	2 SPACES PLUS 1 SPACE/1000 M ² GFA	3	3
BALANCE OF PLAZA	RETAIL STORE - 4 SPACES PER 100 M ² OF GFA (876/100) = 8.8 - ROUNDED UP 351	351	449
TOTAL		363	458
C-STORE & AWW	LOADING SPACE PROVIDED	6M x 9M	1

ISSUED

NO.	DATE	DESCRIPTION
01	2025-06-06	ISSUED FOR SPA

REVISION

2025-05-02	ADD SNOW STORAGE AREAS
2025-05-28	CLEARIFIED LEASE LINES
2025-05-28	ADJUSTED FUEL TANK FILL PORTS
2025-06-02	UPDATED YARD LIGHTS WITH PHOTOMETRICS

SEAL

DATE	DESCRIPTION

The contractor will check and verify dimensions and report errors and omissions to the designer and the design professional whose seal is affixed to this drawing. Do not scale the drawings.

This drawing will not be used for construction purposes until issued for construction by the design professional whose seal is affixed to this drawing and whose signature is below.

ISSUED FOR CONSTRUCTION DATE

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES

PAUL ARCHITECT INC.
TORONTO • VANCOUVER • DELAWARE

2400 Sherwood Heights Dr. Suite 200, Oakville, Ontario, L6L 7Y9
www.paularchitect.com
(905) 337-9900 Fax (905) 337-1990

CLIENT

PETRO-CANADA
A Suncor business

DRAWING TITLE

PROPOSED SITE PLAN

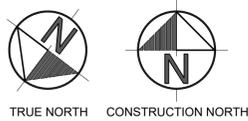
PROJECT

PETRO-CANADA
1215 FAIRVIEW STREET
BURLINGTON, ON

DRAWN: JN/RD CHECKED:

SCALE: 1:200 DATE: 2025-09-19

PROJECT NO.: 05850 DRAWING NO.: SP1



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BUILDING AREA DATA

EXIST. BUILDING AREA = 191.5 sq.m.

C-STORE
GROSS FLOOR AREA = 138.1 sq.m.

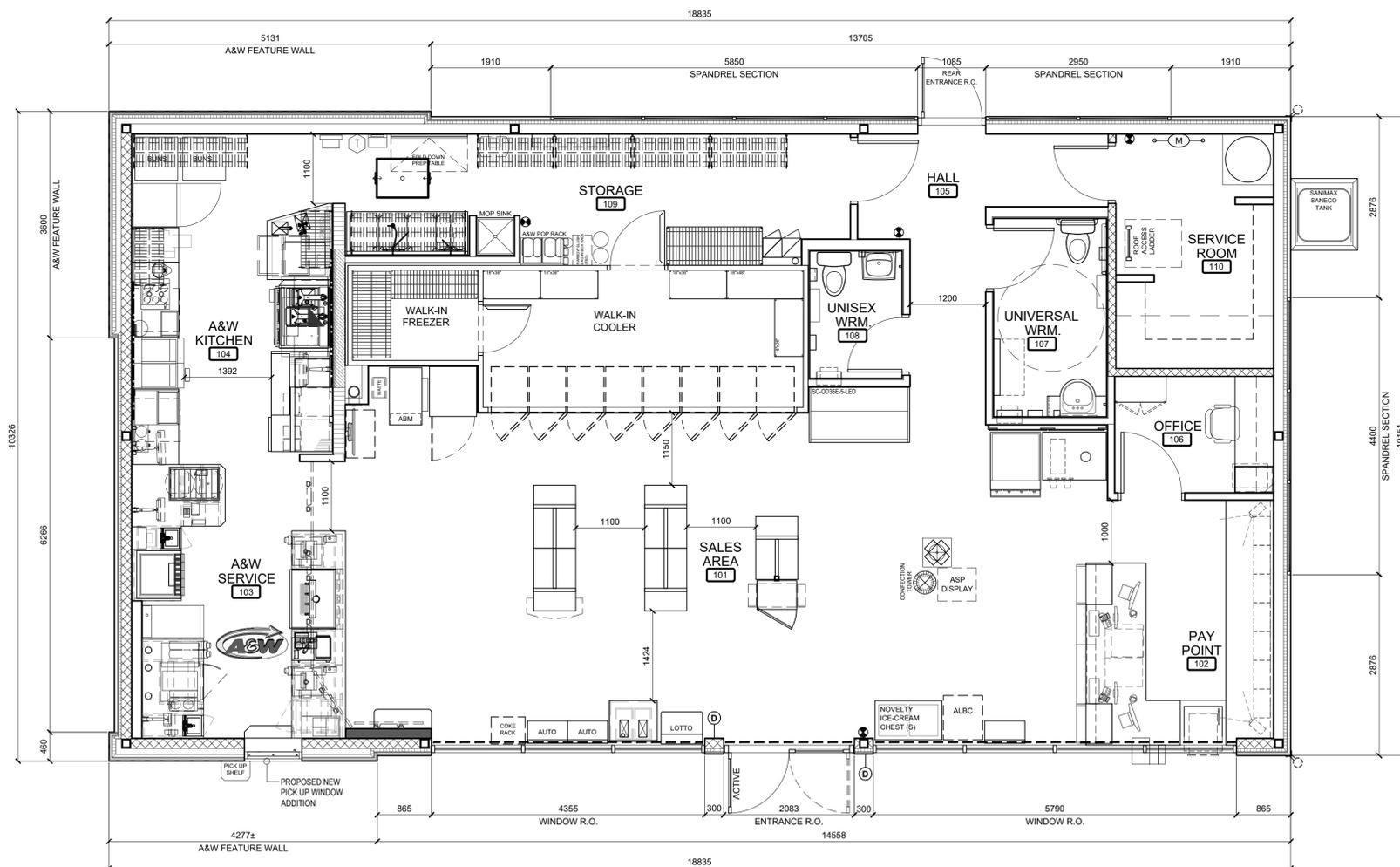
(A) PUBLIC AREA = 74.1 sq.m.
(B) PRIVATE / STAFF AREA = 53.4 sq.m.

- B1 W.I. COOLER STORAGE (8.5 sq.m.)
- B2 DRY STORAGE (13.9 sq.m.)
- B3 SERVICE ROOM (12.0 sq.m.)
- B4 PAY POINT STAFF AREA (19.0 sq.m.)

(C) WASHROOM AREA = 10.6 sq.m.

A&W RESTAURANT
GROSS FLOOR AREA = 53.4 sq.m. (27.9% OF BUILDING AREA)

(D) PRIVATE AREA = 47.1 sq.m.
(E) ORDER AREA = 6.3 sq.m.



BUILDING CODE ANALYSIS

BUILDING AREA	EXISTING	NEW	TOTAL	— SQ. M.	— SQ. FT.
		191.5	191.5	2061	2061
		191.5	191.5	2061	2061

BUILDING HEIGHT	ABOVE GRADE	BELOW GRADE
1 STOREYS	5.00 (m) 16.4 (ft.)	0 STOREYS
		0 (m) 0 (ft.)

MAJOR OCCUPANCY (TABLE 3.1.2.1)	C-STORE	A&W RESTAURANT
GROUP 'E'	GROSS FLOOR AREA = 138.1 SQ.M.	GROUP E (MAJOR OCCUPANCY) RESTAURANT DESIGNED TO ACCOMMODATE NOT MORE THAN 30 CUSTOMERS (3.1.2.6. FOR RESTAURANT CLASSIFIED AS GROUP E) GROSS FLOOR AREA = 53.4 SQ.M.

BUILDING CLASSIFICATION	3.2.2.61	GROUP E UP TO 2 STOREYS (2012 ONTARIO BUILDING CODE)																																																
CONSTRUCTION TYPE	() COMBUSTIBLE (X) NON-COMBUSTIBLE () COMBINATION																																																	
SPRINKLER SYSTEM	() YES (X) NO																																																	
STANDPIPE REQUIRED	() YES (X) NO																																																	
FIRE ALARM REQUIRED	() YES (X) NO																																																	
WATER SERVICE / SUPPLY IS ADEQUATE	(X) YES () NO																																																	
MEZZANINE(S) AREA	() YES (X) NO	N/A AREA (m ²)																																																
FIRE RESISTANCE RATING (REQ.)	<table border="1"> <thead> <tr> <th>FLOOR</th> <th>ROOF</th> <th>MEZZANINE</th> <th>FLOOR</th> <th>ROOF</th> <th>MEZZANINE</th> </tr> </thead> <tbody> <tr> <td>0 (hrs.)</td> <td>0 (hrs.)</td> <td>0 (hrs.)</td> <td>0 (hrs.)</td> <td>0 (hrs.)</td> <td>0 (hrs.)</td> </tr> </tbody> </table>		FLOOR	ROOF	MEZZANINE	FLOOR	ROOF	MEZZANINE	0 (hrs.)	0 (hrs.)	0 (hrs.)	0 (hrs.)	0 (hrs.)	0 (hrs.)																																				
FLOOR	ROOF	MEZZANINE	FLOOR	ROOF	MEZZANINE																																													
0 (hrs.)	0 (hrs.)	0 (hrs.)	0 (hrs.)	0 (hrs.)	0 (hrs.)																																													
OCCUPANT LOAD (SECTION 3.1.17)	PUBLIC AREA (14.1 sq.m) 20 PEOPLE 3.1.17.1 (1) / TABLE 3.1.17.1	ORDER AREA (6.3 sq.m) 5 PEOPLE TABLE 3.1.17.1																																																
	4 EMPLOYEE (MAX.) 3.1.17.1 (1) (c)	5 EMPLOYEE (MAX.) 3.1.17.1 (1) (c)																																																
	TOTAL OCCUPANT LOAD = 34 PEOPLE																																																	
PLUMBING REQUIREMENT (SECTION 3.7.4.)	REQUIRED	1 MALE FIXTURES + 1 FEMALE FIXTURES (C-STORE) 3.7.4.8 (2) 1 MALE FIXTURES + 1 FEMALE FIXTURES (A&W) 3.7.4.8 (6) / 3.7.4.3 (1)																																																
	PROVIDED	1 FEMALE FIXTURES (PROVIDED) 1 MALE FIXTURES (PROVIDED) 1 UNIVERSAL FIXTURES (PROVIDED)																																																
NUMBER OF STREETS	2	STREET 3.2.2.10 (3)																																																
SPATIAL SEPARATION (TABLE 3.2.3.1 C & TABLE 3.2.3.7)	<table border="1"> <thead> <tr> <th>FACE</th> <th>AREA OF EXPOSED WALL (SQ. M.)</th> <th>UNPROTECTED OPENINGS ACTUAL (%)</th> <th>UNPROTECTED OPENINGS ALLOWED (%)</th> <th>H/T O/L (RATIO)</th> <th>SPATIAL SEPARATION LIMITING DIST (ACTUAL)</th> <th>SPATIAL SEPARATION LIMITING DIST (ALLOWED)</th> <th>CONSTRUCTION REQUIRED (FIRE RATED-HR.)</th> <th>COMMENTS</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>58.2</td> <td>75.4%</td> <td>81%</td> <td>3:1/10:1</td> <td>11.0 m</td> <td>11 m</td> <td>N/A</td> <td></td> </tr> <tr> <td>SOUTH</td> <td>63.5</td> <td>5.5%</td> <td>100%</td> <td>3:1/10:1</td> <td>28.1 m (28.1 m (2 STOREYS))</td> <td>2.5 m</td> <td>N/A</td> <td></td> </tr> <tr> <td>EAST</td> <td>28.8</td> <td>0%</td> <td>10%</td> <td>3:1/10:1</td> <td>3.3 m</td> <td>0 m</td> <td>N/A</td> <td></td> </tr> <tr> <td>WEST</td> <td>32.1</td> <td>0%</td> <td>100%</td> <td>3:1/10:1</td> <td>19.3 m</td> <td>0 m</td> <td>N/A</td> <td></td> </tr> </tbody> </table>					FACE	AREA OF EXPOSED WALL (SQ. M.)	UNPROTECTED OPENINGS ACTUAL (%)	UNPROTECTED OPENINGS ALLOWED (%)	H/T O/L (RATIO)	SPATIAL SEPARATION LIMITING DIST (ACTUAL)	SPATIAL SEPARATION LIMITING DIST (ALLOWED)	CONSTRUCTION REQUIRED (FIRE RATED-HR.)	COMMENTS	NORTH	58.2	75.4%	81%	3:1/10:1	11.0 m	11 m	N/A		SOUTH	63.5	5.5%	100%	3:1/10:1	28.1 m (28.1 m (2 STOREYS))	2.5 m	N/A		EAST	28.8	0%	10%	3:1/10:1	3.3 m	0 m	N/A		WEST	32.1	0%	100%	3:1/10:1	19.3 m	0 m	N/A	
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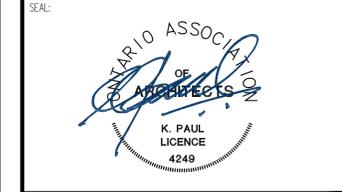
REVISION TABLE

REV.	DESCRIPTION	DRAWN / APP'D.	DATE

ISSUE TABLE

TO	FOR	DATE
CITY	ISSUED FOR SITE PLAN APPROVAL	28 FEB 25

METRIC
ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.



CONSULTANT:
K. PAUL ARCHITECT INC.
TORONTO • VANCOUVER • OREGON
2600 Sherwood Heights Dr. Suite 200, Oakville, Ontario, L6J 7Y8
www.kpaularchitect.com
(905)337-9800 fax (905)337-1986

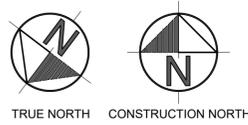


DRAWING TITLE:
FLOOR PLAN

PROJECT:
NEIGHBOURS N2000AW
1215 FAIRVIEW STREET
BURLINGTON, ONTARIO
CITY FILE NO. No. PRCN-SP-27-24

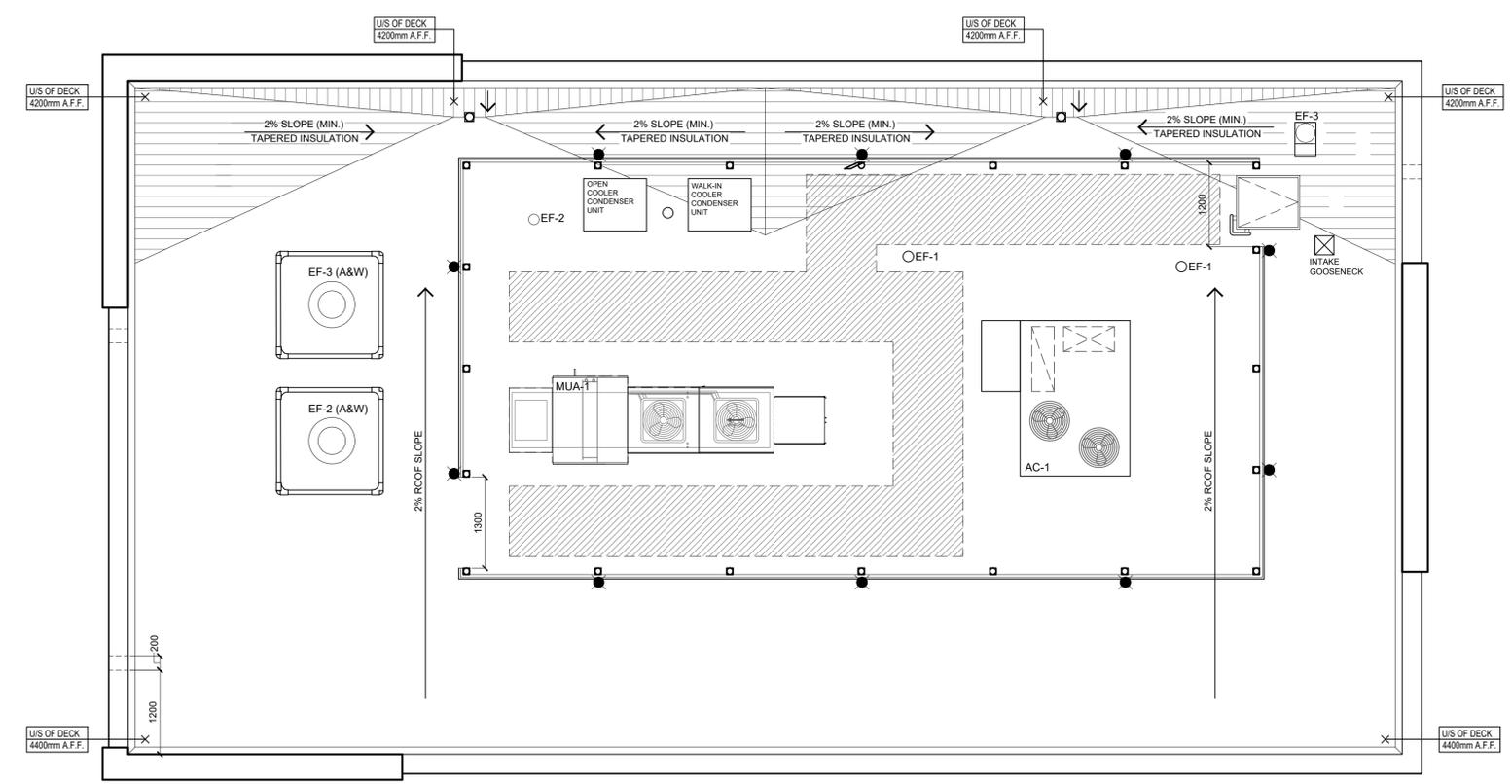
DRAWN BY: RG	CAD INFO: SHEET SIZE D (559 x 864)
DRAWING SCALE: 1:50	PETRO-CANADA CAD FILE No.
DATE DRAWN: FEB 2025	CONSULTANT CAD FILE No.
CHECKED BY:	PLOT SCALE
APPROVED BY:	PLOT DATE
	PLOT CONFIGURATION

STD No./OUTLET No. **05850** **A1**



CONSTRUCTION LEGEND	
ROOF	
R1	TYPICAL FLAT ROOF CONSTRUCTION
	<ul style="list-style-type: none"> - STEEL ROOF JOIST (REFER TO STRUCT. DWGS) - 38MM STEEL DECK - 12.7MM DENS DECK PRIME DECK LEVELING BOARD, MECH FASTENED WITH SCREWS AND PLATES - TORCHED APPLIED SANDED SURFACE VAPOUR RETARDER (SOPREMA SOPRALEVE 180 SP 3.5MM) - LOW RISE FOAM ADHESIVE - TYPE 2 TAPERED EPS INSULATION (0 - 75MM, REFER TO ROOF PLAN FOR REQUIRED SLOPE DIFFERENT) - LOW RISE FOAM ADHESIVE - 2 LAYERS OF COATED, GLASS-FACED POLYISO INSULATION (100+75 = 175MM / 7" TOTAL) C/W LOW RISE FOAM ADHESIVE BETWEEN (R VALUE 35) - LOW RISE FOAM ADHESIVE - 6.4MM (1/4") DENS-DECK PRIME INSULATION COVER BOARD WITH FIRE PREVENTION TAPED - TORCHED APPLIED SBS BASE SHEET - COMPOSITE REINFORCED (SOPREMA SOPRAPLY BASE 520) - SELF-ADHERED SBS BASE STRIPPING (SOPREMA SOPRAFLASH FLAM STICK) - TORCHED APPLIED SBS CAP SHEET AND STRIPPING - COMPOSITE REINFORCED (SOPREMA SOPRAPLY TRAFFIC CAP 580)

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REVISION TABLE		
REV.	DESCRIPTION	DRAWN / APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
CITY	ISSUED FOR SITE PLAN APPROVAL	28 FEB 25

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CONSULTANT:
K. PAUL ARCHITECT INC.
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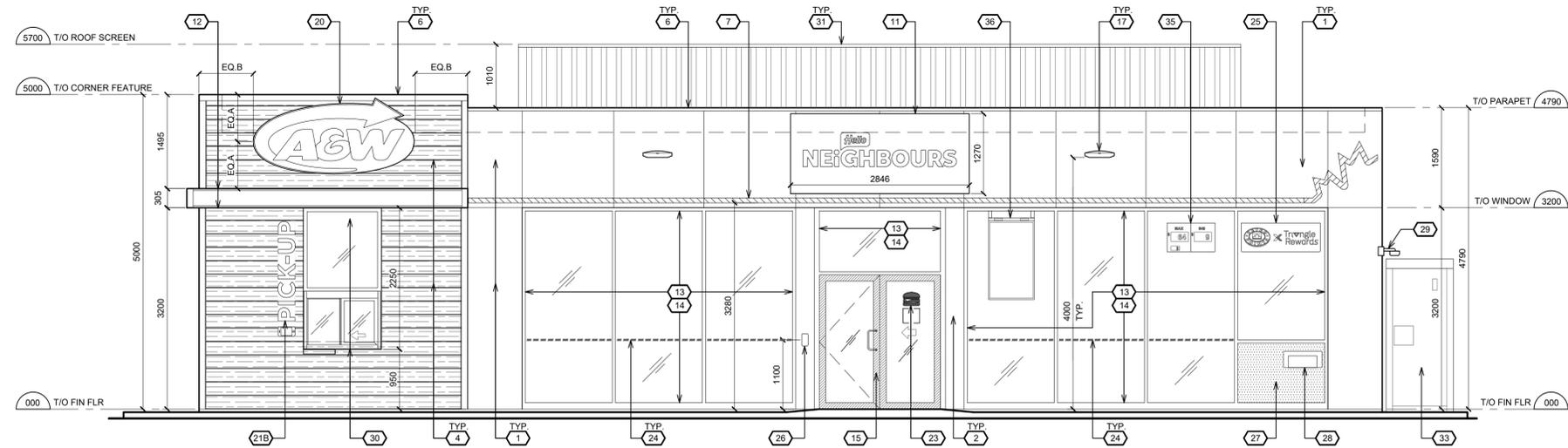


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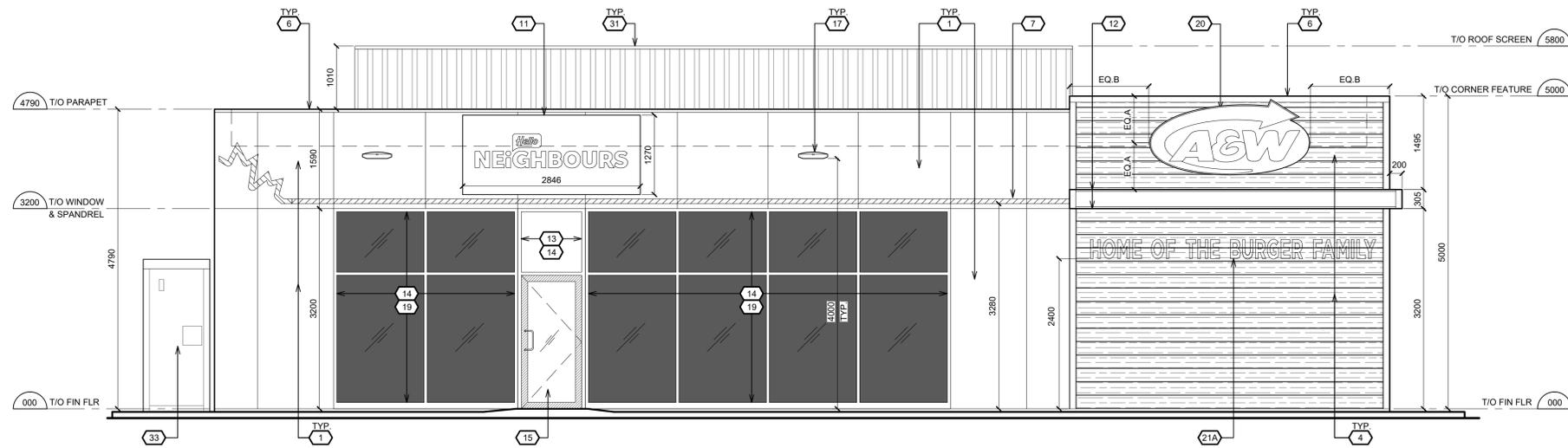
PROJECT:
 NEIGHBOURS N2000AW
 1215 FAIRVIEW STREET
 BURLINGTON, ONTARIO
 CITY FILE NO. No. PRCN-SP-27-24

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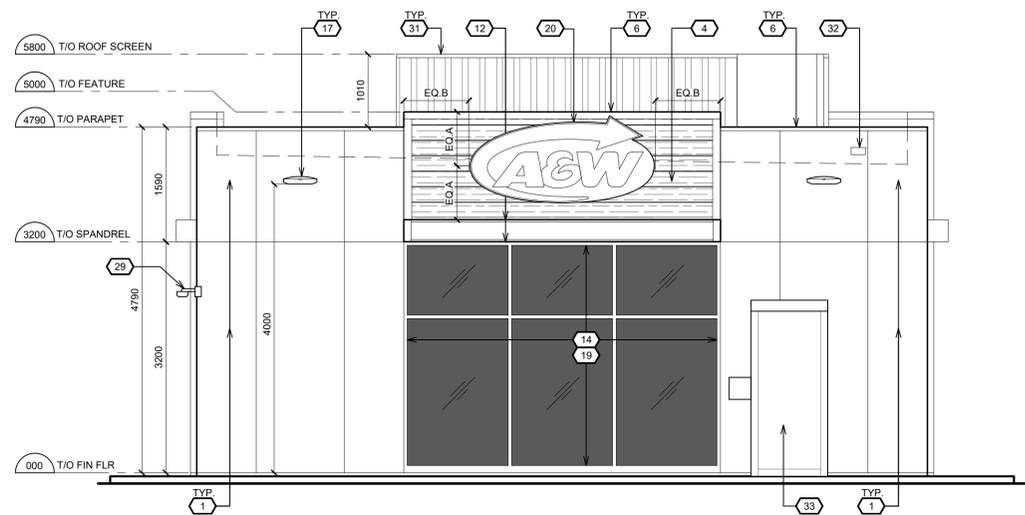
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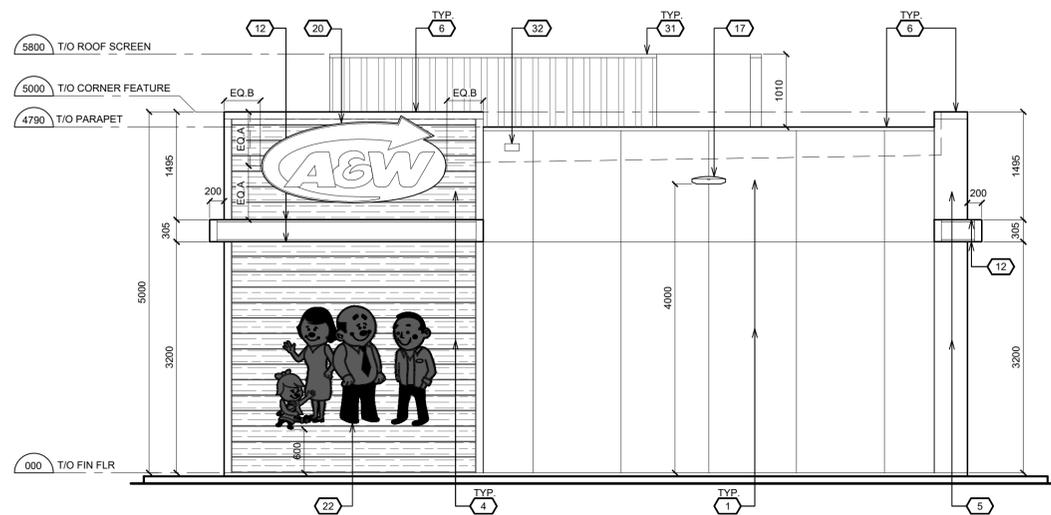
1 NORTH ELEVATION



2 SOUTH ELEVATION



3 WEST ELEVATION



4 EAST ELEVATION

NO.	PRODUCT	SPECIFICATION & COLOUR
1	ACM WALL PANEL SYSTEM	COLOUR : PCP WHITE
2	ALUMINUM COVER	COLOUR : CLEAR ANODIZED
4	PRE-FINISHED 'WOOD GRAIN' METAL CLADDING	KNOTWOOD - KED150 COLOUR : ATLANTIC CEDAR (6" DECKING BOARD)
5	METAL CLADDING CAP END COVER	COLOUR TO MATCH (4)
6	METAL FLASHING (PARAPET)	COLOUR TO MATCH: PCP WHITE
7	ILLUMINATED LED RED LEAF BAND	75mm CONTINUOUS ILLUMINATED LED RED LEAF BAND
11	INTERNALLY ILLUMINATED SIGN	
12	A&W ILLUMINATED LIGHT BAND	COLOUR : A&W ORANGE
14	ALUMINUM WINDOW FRAMING	COLOUR : CLEAR ANODIZED
15	ALUMINUM DOOR LEAF FRAME	COLOUR : BLACK ANODIZED
16	THERMAL PANE GLASS	DOUBLE GLAZED
17	EXTERIOR LIGHT FIXTURE	FIXTURE COLOUR: BLACK
18	DRIVE-THRU WINDOW	COLOUR : CLEAR ANODIZED
19	SPANDREL GLASS PANEL	PPG EXTRUSION COATINGS: DURANAR COATINGS - UC43352 COLONIAL GRAY (OR APPROVED EQUAL)
20	A&W ILLUMINATED LOGO SIGN	
21A	A&W NON-ILLUMINATED LETTER SIGN	COLOUR : BLACK
21B	A&W NON-ILLUMINATED LETTER SIGN	COLOUR : WHITE
22	A&W BURGER FAMILY DECAL	
23	A&W VINYL GRAPHIC	INTERIOR APPLICATION
24	OPAQUE SAFETY STRIPE	OPAQUE SAFETY STRIPE
25	PETRO-POINTS / TRIANGLE REWARD CLING	DOUBLE SIDED OPAQUE WINDOW APPLIED VINYL
26	ENTRANCE OPERATOR PUSH BUTTON	SURFACE MOUNTED
27	INSULATED PANEL	COLOUR : CLEAR ANODIZED
28	SECURITY DRAWER	COLOUR : SILVER ALUMINUM
29	PASS-THRU 360 CAMERA	
30	PICK UP WINDOW W/ TRANSOM	COLOUR : CLEAR ANODIZED
31	METAL CLAD ROOF SCREEN	32mm VERTICAL 24 GA. WF012036 ROOF SCREEN METAL CLADDING, FASTENED TO STRUCTURAL FRAMING. PAINT: BENJAMIN MOORE CC-20 DECORATOR'S WHITE OR APPROVED EQUAL
32	ROOF SCUPPER	PAINT TO MATCH ADJACENT SURFACE
33	EXTERNAL SANIMAX TANK UNIT	TANK COLOUR : SILVER ALUMINUM
33	ROOF SCUPPER	PAINT TO MATCH ADJACENT SURFACE
35	LOTTO DIGITAL PANEL	INTERIOR SUSPENDED
36	CINEPLEX DIGITAL MEDIA SCREEN	INTERIOR SUSPENDED

5 EXTERIOR FINISH SCHEDULE
SCALE: N.T.S.

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REVISION TABLE		
REV.	DESCRIPTION	DRAWN / APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
CITY	ISSUED FOR SITE PLAN APPROVAL	28 FEB 25

METRIC
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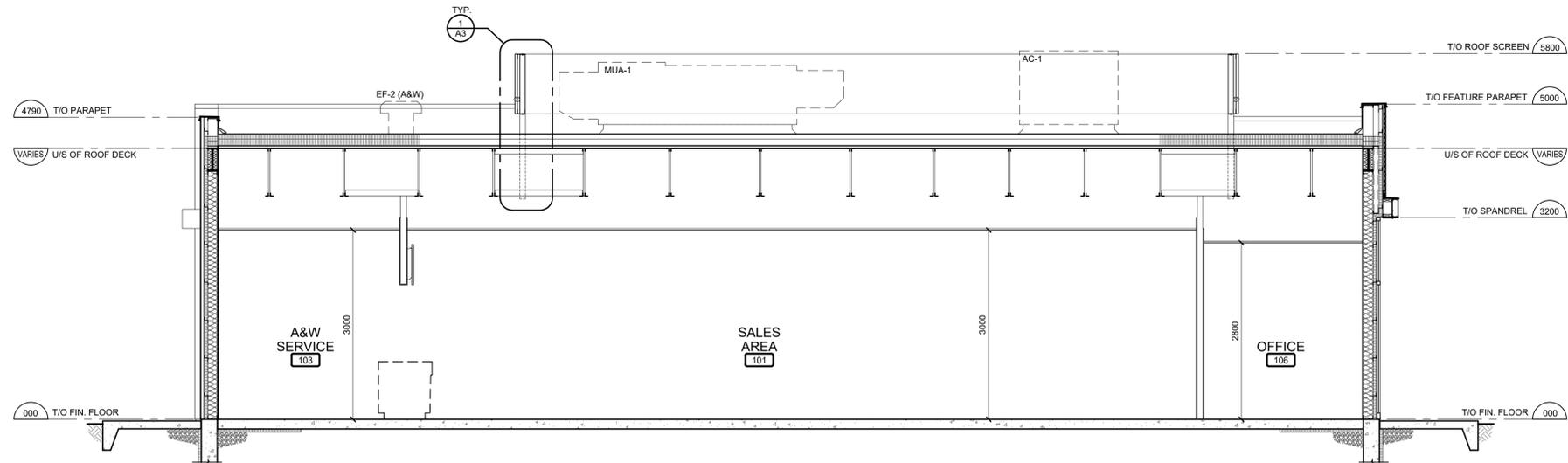


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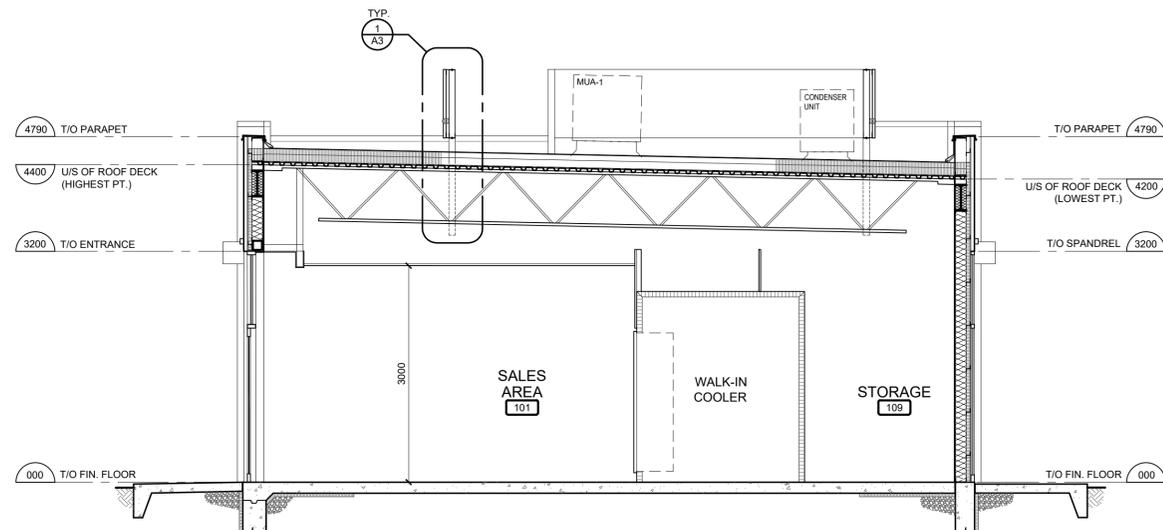
PROJECT:
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BURLINGTON, ONTARIO
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APPROVED BY:	PLOT DATE
	PLOT CONFIGURATION

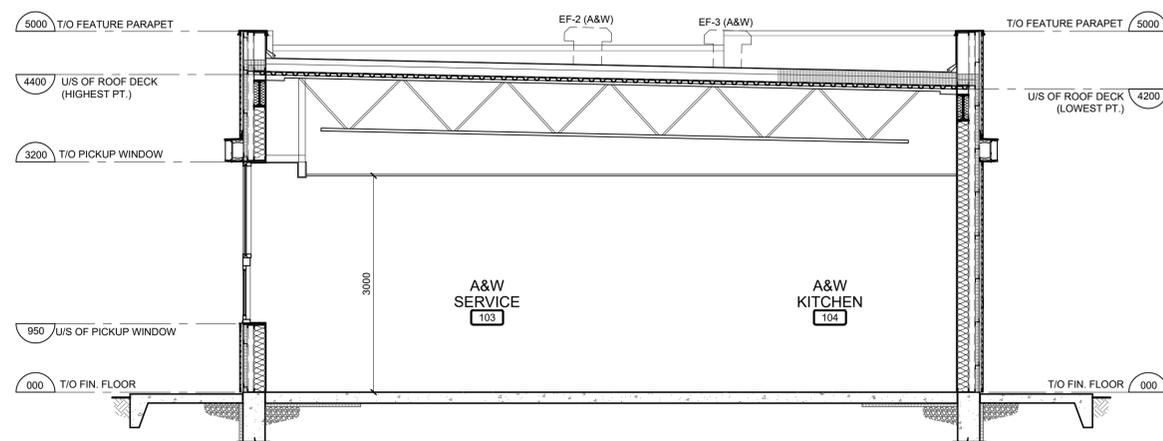
STD No./OUTLET No. 05850 A3



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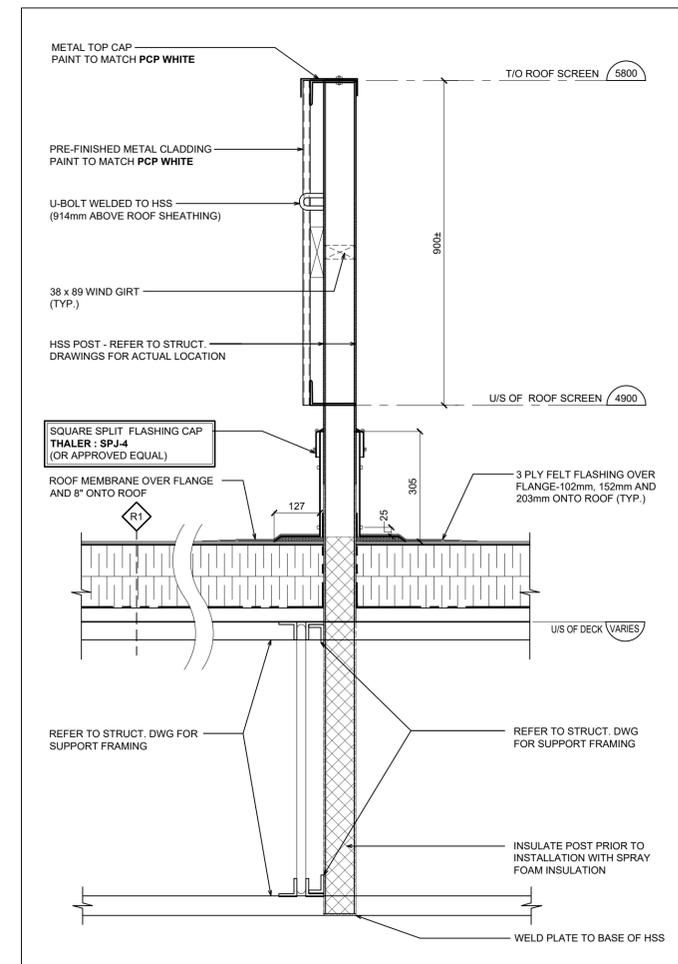


2 BUILDING SECTION 2
SCALE: 1:50



3 BUILDING SECTION 3
SCALE: 1:50

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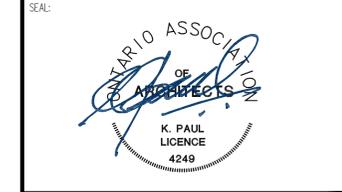


4 TYPICAL ROOF SCREEN DETAILS
SCALE: 1:10

REVISION TABLE		
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ISSUE TABLE		
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DRAWING TITLE:
BUILDING SECTIONS

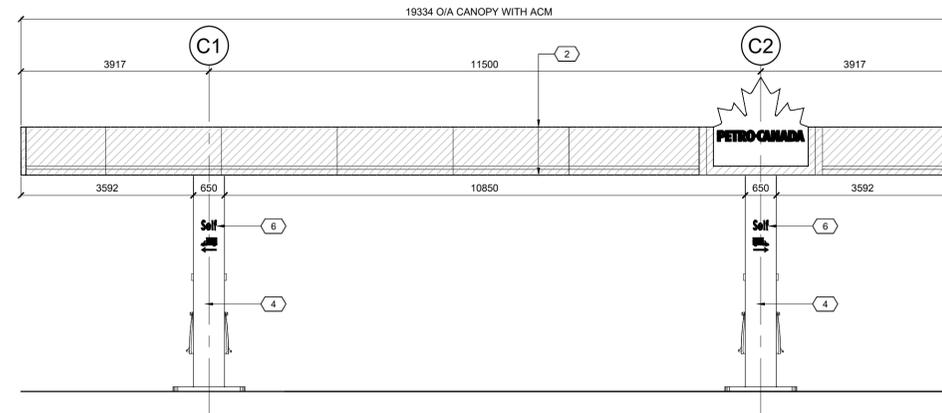
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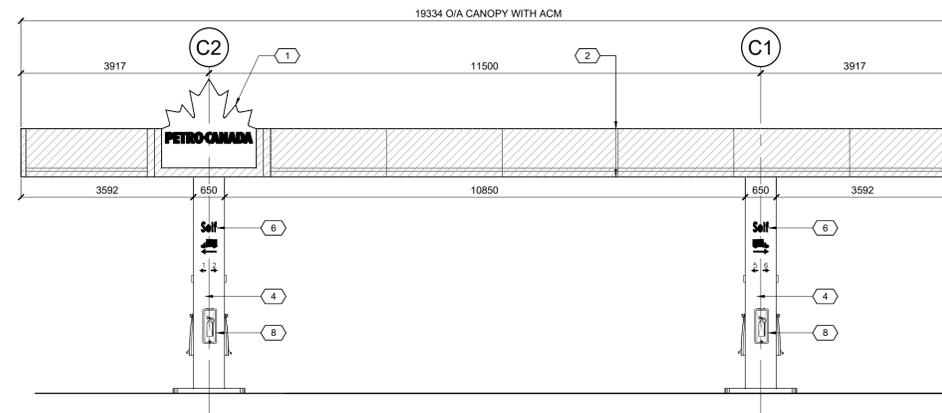
STD No./OUTLET No. **05850** **A3**

NO.	PRODUCT	SPECIFICATION & COLOUR
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4	ALUMINUM COMPOSITE METAL PANEL	COLOUR: PC WHITE
5	GAS DISPENSER UNIT	
6	VINYL LETTER / GRAPHIC	COLOUR: BLACK
7	SNAP FRAME DISPLAY UNIT	
8	FIRE EXTINGUISHER	ONE PER COLUMN

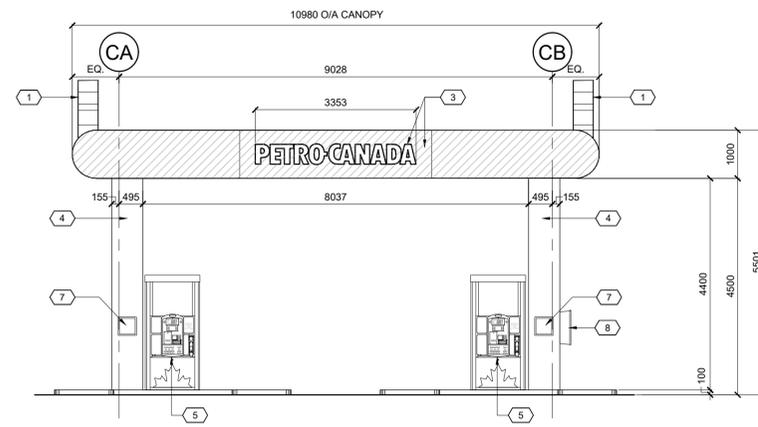
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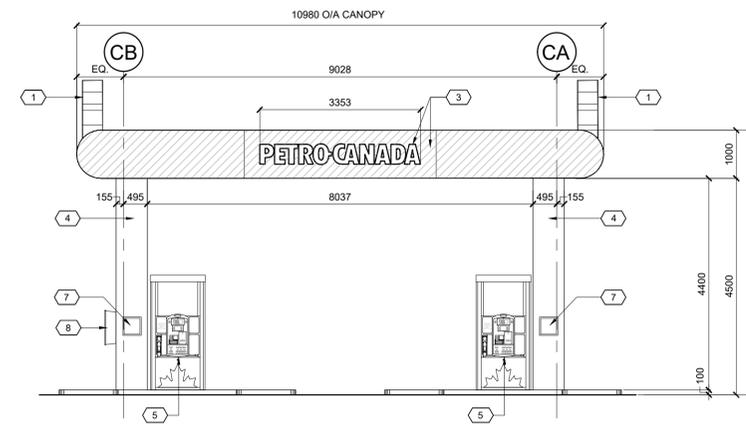
1 NORTH ELEVATION



2 SOUTH ELEVATION



3 WEST ELEVATION



4 EAST ELEVATION

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DRAWING TITLE:
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PLAN & ELEVATIONS**

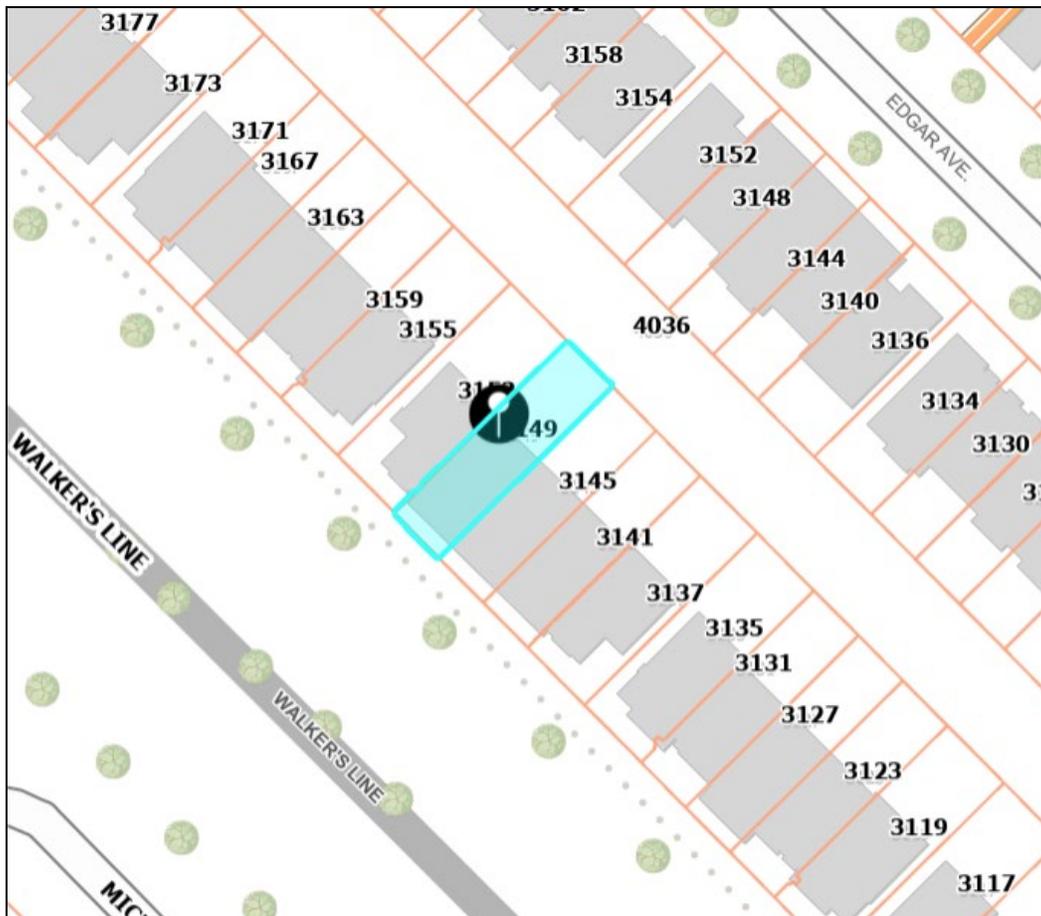
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	PLOT CONFIGURATION

STD No./OUTLET No.
05850 **C1**

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Owner(s): Tran Tu Vuong
Address: 3149 Walker's Line Burlington
File No. **A-085/25**
Ward: 6



Staff Comments:

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: November 24, 2025

Prepared By: E. Shacklette

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Zoning

The subject property is zoned MXG-346, under Zoning By-Law 2020, as amended. The MXG-346 zone requires, among other things, the following:

Exception	Zone	Map	Amendment	Enacted
326	MXG	25	2020.184	Apr 25/05

1. The following are the only permitted uses:

Residential: Dwelling units on 2nd or 3rd floor of a commercial or office building

The following retail uses are permitted on the ground floor only of two storey or higher residential units:

Retail Commercial:

- Office furniture and equipment
- Computer hardware and software
- Convenience store
- Sporting goods, photography supplies, and hobby shops
- Books, music, flowers, and gifts
- Food store, paper products and pharmacy
- Other retail uses

Service commercial:

- Dry cleaning depot
- Other service commercial uses

Office:

- All office uses

14. Required parking: 4 spaces per unit (tandem parking permitted)

Except as amended herein, all other provisions of this By-law, as amended, shall apply.

Proposal:

The applicant is proposing to convert the existing two-car garage associated with a three-storey mixed use building into residential floor area. The current Zoning of the property permits dwelling units on the 2nd and 3rd floors only and requires four parking spaces per unit.

Although the zoning permits dwelling units on the 2nd or 3rd floor of a commercial or office building, the development was constructed as a live work unit under the Ontario Building Code. The applicant is advised that the dwelling unit and commercial unit must be operated by a single household.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Variances are required to reduce the required parking from four spaces to two spaces, and to permit floor area associated with a residential dwelling unit on the ground floor.

Variances required:

1. To permit two parking spaces instead of the minimum required four parking spaces per unit.
2. Notwithstanding Part 14, Exception #326, to permit floor area associated with a dwelling unit on the ground floor instead of the 2nd and 3rd floor of a commercial or office building.

Notes:

1. A Zoning Clearance application has been applied for under file 25-019198 ZC. The Zoning Clearance will be required to be issued prior to a Building Permit application being made.
2. The application is reviewed under section 45(1) of the Planning Act.
3. The applicant is advised to contact the Building Department regarding Ontario Building Code requirements if they intend to separate the Commercial component into an independent leasable unit.

Date: January 9, 2026

Prepared By: Nathan Dart, CPT

Site Planning

Site Characteristics	
Lot Frontage (m)	6.04 m ²
Lot Area (m²)	140.6m ²
Existing Land Uses <i>(ex. buildings, structures, driveways, fences, etc...)</i>	Three-storey mixed use building with frontage on Walker's Line and a private laneway. Building contains parking and a commercial use on ground floor and residential use on the second and third floor.
Site Grading <i>(ex. Flat and level, significant grade differences)</i>	Flat and level
Notable Site Features	n/a
Surrounding Land Uses <i>(ex. Adjacent building relationships, natural features, notable adjacencies)</i>	Adjacent uses consist of mixed use buildings to the south and north and townhouses to the east and west.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Nearest Major Intersection	Walker's Line and Dundas Street
Neighbourhood Boundaries*	North: Highway 407 East: Appleby Line South: Dundas Street West: Walker's Line
<small>*Based on OP, 1997 <i>residential neighbourhood</i> definition</small>	

Neighbourhood Characteristics:

- The subject lands are located along Walker's Line, which is the western boundary of the Alton Central East Community.
- The immediate surrounding neighborhood contains three-storey mixed-use buildings along Walker's Line and two-storey and three-storey townhouses to the south, north, east and west of the mixed-use buildings.
- A neighbourhood commercial plaza is located close by the intersection of Walker's Line and Dundas Street, which is approximately 280m south of the subject lands.

A site visit was conducted on January 27, 2026, and existing on-site conditions are summarized in site photos included in Attachment No. 1 (Site Photos).

The subject lands contain a live-work unit, which is not a defined term under the City's Zoning By-law. However, a live-work unit is defined by the Ontario Building Code as a dwelling unit containing a subsidiary business, personal service or low-hazard industrial use, operated by a resident of the same household.

No additional residential units (ARU's) are proposed as a result of the requested variances. In this case, portions of the ground floor are being converted for use by dwelling unit located on the second and third floor.

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

The proposal meets the general intent and purpose of the Regional Official Plan, 2022 (ROP, 2022) for the following reasons:

- The site is within the Urban Area according to Map 1 (Regional Structure) and is located near Dundas Street, which is identified as a Regional Intensification Corridor according to Map 1H (Regional Urban Structure). Dundas Street is also

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

identified as a Higher Order Transit Corridor according to Map 3 (Functional Plan of Major Transportation Facilities). In alignment with Section 82.3 of the ROP, these corridors are to accommodate mixed use development and serve an existing or planned high order transit function. Staff is of the opinion that Variance 1 meets the general intent and purpose of the ROP, given that a parking reduction is appropriate to the existing local context that is served by transit. The availability of transit is described in more detail in under the Official Plan, 1997 & 2020 section of this report .

- Section 76 of the ROP indicates that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. Staff is of the opinion that Variance 2 meets the general intent and purpose of the ROP, given that mixed use buildings are permitted by the City's Zoning By-law, and that the variance does not propose to eliminate the existing service commercial use.

Regional Staff have also reviewed this application and have no objections to the Minor Variance application.

Official Plan, 1997 & 2020

The site is designated 'Urban Corridor' according to Schedule C (Land Use – Urban Area) of the Burlington Official Plan, 2020 (BOP 2020), as amended. The 'Urban Corridor' policies of the BOP, 2020 are not in-force due to ongoing Ontario Land Tribunal Appeals, so the application was reviewed against the in-force policies under the older Burlington Official Plan 1997 (BOP, 1997).

The variances meet the general intent and purpose of the Official Plan for the following reasons:

- The site is designated 'Mixed Use Corridor – General' according to Schedule 'B' (Comprehensive Land Use Plan-Urban Planning Area) of the BOP, 1997, as amended, which permits high density residential uses and a wide range of retail, office, service commercial, entertainment, recreation, and other community facilities. The requested variances do not propose a change of use, but to expand a portion of residential use onto the ground floor of a mixed-use building.
- Whereas Part II, Section 5.3.1, policy (c), permits mixed-use developments on individual sites where various combinations of residential, retail, office and other uses are located, the proposal is consistent in the following way:
 - The submitted plans show that a combination of residential and service commercial use (hair salon) will be maintained on the subject lands as envisioned by the BOP, 1997.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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- Whereas Part III, Section 5.3.2, policy (k), directs that retail, service commercial and other pedestrian-oriented use shall be encouraged at street level, the proposal is consistent in the following ways:
 - The submitted plans show that although the garage will be converted into residential storage and a portion of the ground floor that is currently empty will be converted into a recreation room for the residential unit, the limits of the existing commercial unit are to remain as-is and will not be reduced, therefore a service commercial use will continue to front onto Walker's Line as intended.

- Whereas Part III, Section 5.3.2, policy (i), encourages the design and development of Mixed-Use Corridors to encourage the use of public transit, pedestrian and bicycle safety as an alternative to the automobile, the proposal is consistent in the following ways:
 - The site is well positioned in close proximity to public transit, dedicated cycling lanes on Walker's Line, which is identified as part of the "on-road spine network in the City's Integrated Mobility Plan (IMP), and sidewalk connections thereby encouraging alternatives to use of the automobile.
 - The site is less than a 5-minute walk from Dundas Street, which is identified as a future bus rapid transit corridor under the City's IMP and is currently served by bus route #25, which takes riders to and from the Appleby GO station and runs every 15 minutes or better at peak times and the #2/11, which also connect to the Appleby GO station and offers frequent service of every 15 minutes or better during daytime hours from 6am-6pm
 - The 407 carpool lot at 3405 Dundas Street is located an 11 minutes walk on Dundas Street

- Whereas Part III, Section 3.2.2, policy (j), allows for reduced parking standards subject to evaluation through the approval of a development application, including minor variance approval, the proposal is consistent in the following ways:
 - The subject lands will continue to provide two parking spaces in the driveway fronting the rear lane.
 - Short-term parking for public use for customers of the hair salon on the ground floor is available along Walker's Line, in front of the live-work units.
 - There are existing cycling facilities along Walker's Line and Dundas Street per Figure 4-8 of the City's Integrated Mobility Plan.
 - There are several transit routes within walking distance of the subject lands including Route 11 (closest stop is Dundas at Walker's Line), Route 48 (closest stop is Walker's Line at Thomas Alton Blvd) and Route 6 (closest stop at Thomas Alton and Munson Cres.
 - Transportation Services staff have no objections to the proposed variances.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
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- Whereas one of the objectives of Part II, 2.2, of the Alton Central East Urban Design Guidelines is to minimize the visual impact of parking, garbage storage and equipment storage areas on the streetscape and recommends that parking and storage areas be located away from the street and screened from view with a combination of architectural and landscape elements, the guideline is not fully met given that the proposal would maintain storage for two vehicles within the driveway adjacent to the rear lane. Staff are of the opinion this is acceptable given that parking on the driveway is expected and that part of the accepted character of the laneway is to have vehicles parked in the driveway.

2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes – (Variance 1 (Parking Reduction))

The application requests a variance to permit two parking spaces instead of the minimum required four parking spaces per unit. The intent of minimum parking regulation is to ensure that adequate parking is provided for each building or use. The proposed minor variance is consistent with this intent for the following reasons:

- Exception 326 applies to five blocks of mixed-use units fronting Walker's Line between Donnic Drive and Edgar Avenue. The regulation requires four spaces overall per live-work unit (not specified by use) and tandem parking is permitted. Onsite parking is provided in a garage located at the rear of the property (two spaces) and in a driveway fronting a private laneway (two spaces). The requested variance would result in the conversion of the garage into storage space for the residential unit, leaving two parking spaces available in the driveway.
- Transportation Services staff have reviewed the application and are satisfied that two spaces is sufficient to support the use.

Yes – (Variance 2 (Residential floor area on the ground floor))

The application requests a variance to allow floor area associated with a dwelling unit on the ground floor instead of the 2nd and 3rd floor of a commercial or office building. The intent of the provision is to ensure that the building provides sufficient space for non-residential uses "to provide for the day-to-day and weekly shopping needs of residents within and in close proximity to the Corridor." (BOP, 1997, Part III, General Policy 5.3.2(b)) The proposed minor variance is consistent with this intent for the following reasons:

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

- The ground floor contains an existing service commercial unit (hair salon) that is 3.96m in depth and 5.77 m in width. The proposal will not alter the size of the existing service commercial unit, therefore the mixed-use function of the site will be maintained, despite the increase in residential floor area.
- The variance would facilitate conversion of a garage rather than an existing commercial space

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

The proposed minor variances are desirable for the appropriate development and use of the building for the following reasons.

- The requested parking reduction is desirable given the location of the subject lands in an area that is served by transit.
- The area includes a variety of service commercial and retail commercial uses in walking distance including a grocery store, drug store, café, dentist office and bank around the intersection of Dundas Street and Walker's Line
- The minor renovation of the ground floor would improve functionality of the residential unit, while maintaining the mixed-use function of the building.
- Development Engineering, Forestry, Transportation Services, and Halton Region have no objections to the requested variances.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed minor variances are minor in nature for the following reasons:

- The site will remain functional in terms of on-site parking given that two parking spaces will be available for use by the residence and business and therefore, impacts to the site and surrounding area will be minimal.
- Although residential floor are will be introduced on the ground floor, the mixed-use function of the existing building will be maintained.

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Cumulative Effects of Multiple Variances and Other Planning Matters:

The variances relate to different aspects of the site and have no cumulative effects.

Recommendation:

Staff has reviewed the proposed variance in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection.

Date: February 9, 2026

Prepared By: Melissa Dalrymple, MCIP, RPP

Report Schedules & Attachments:

Attachment No. 1 (Site Photos)

	
<p><i>View of subject lands fronting Walker's Line</i></p>	<p><i>View of subject lands from rear laneway</i></p>

COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS



Technical Reviewer Comments:

Development Engineering

Development Engineering has reviewed the application and has no objection to the proposed minor variance(s).

Date: January 23, 2026

Prepared By: Garry R. Colorado Hernandez

Forestry

Forestry has no objection to the proposed variances requested however offers the following advisory comments:

Advisory Comments:

1. A tree permit will be required for any and all work around regulated trees in accordance with the City’s Public and Private Tree By-laws.

Date: January 21, 2026

Prepared By: M.Krzywicki

Building

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2024.

Date: January 23, 2026

Prepared By: Q. Tan

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Transportation Planning

Deemed Road Width Analysis

Walker's Line is under the authority of the City of Burlington and the deemed right-of-way width of this segment is 35 metres. The right of-way adjacent to the subject site is approximately 37.5 metres therefore no additional lands are required.

Date: December 1, 2025 Prepared By: Thalia Thompson

Transportation Planning have reviewed the proposed minor variance application and offer no comments.

Date: January 15, 2026 Prepared By: E. Chen

Finance

Notice regarding Development Charges:

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: January 14, 2026 Prepared By: L. Bray

Agency Comments:

Halton Region

Regional Contaminated Sites Database:

In order to maintain the Region's Contaminated Sites Database, Regional staff request final copies of all environmental reports (if applicable) including: Geotechnical Studies, Hydrogeological Studies, Phase One and/or Two Environmental Site Assessments, Remediation Reports, Risk Assessments, Record of Site Condition (RSC), and/or Certificate of Property Use (CPU).

**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE
STAFF REPORTS**

Regional Staff have reviewed the Minor Variance application proposing to convert the existing two-car garage associated with a three-storey mixed use building into residential floor area. Variances are requested to the minimum required parking spaces per unit and to the permitted use type for ground floor.

- Due to Provincial legislation, as of July 1, 2024, the Halton Region's role in land use planning and development matters has changed. The Region is no longer responsible for the Regional Official Plan – as this has become the responsibility of Halton's four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities has been signed that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters.
- Regional Staff have no objections to the Minor Variance application.

Date: January 22, 2026

Prepared By: Navjot Kaur

Burlington Hydro

Burlington Hydro comments are attached to the end of this report.

Date: February 4, 2026

Prepared By: Carlos Gaviria



February 2, 2026

3149 Walkers Ln,
Burlington, ON

Attention: Sahar Koosha (1000879147 Ontario Corp.), 647-863-2037, admin@permitman.ca, Agent

Re: Permit for interior alteration (change garage to living area)

Dear Sahar,

This letter serves as confirmation that Burlington Hydro Incorporated ("BHI") has reviewed the proposed permit for interior alteration (change garage to living area) building permit file number **A-085-2025** submitted to the City of Burlington's Building Department.

Upon reviewing the submitted permit application drawings, and through review of BHI records, the proposed minor variance does not conflict with the existing BHI hydro service.

Before you begin demolition or construction, we would like to stipulate the following conditions:

- Relocation, modification or removal of existing hydro facilities, if required, shall be at the customer's expense. BHI will refer to the latest BHI standards, if possible, if issues arise between existing hydro facilities and proposed building structures.
- Hydro easement is to remain clear of heavy vehicle traffic. Construction shall not encroach any easement.
- Customer is to ensure that BHI has access to hydro facilities and easements.
- Customer to acquire any easement for Burlington Hydro, if required.
- Project must meet City of Burlington Standards.
- Machine excavation within one meter of underground plant is not permitted.
- Do not excavate within two meters of Hydro poles and anchors except for the termination pole where the duct structure shall be terminated by the customer under the supervision of BHI inspector.
- Please arrange for underground hydro cable locates, prior to beginning construction, by contacting Ontario One call at (800) 400-2255.
- To ensure safety, maintain a minimum working clearance of 1 meter (3 feet) from any secondary wire (120V/240V) and a 3-meter (10 feet) minimum clearance from any primary wire (exceeding 750V).
- Please refer to the latest edition of the Occupational Health and Safety Act ("OHS") and Regulations for Construction Projects when construction is planned to be performed in the proximity of hydro distribution system.



Burlingtonhydro inc.

- Arrange for disconnect and isolation of the power supply if a person or equipment is to encroach on the minimum distance permitted under the OHSA and OESC.

I may be contacted at (905) 332 1851 ext. 347 should you have additional questions or concerns

Regards,

Carlos Gaviria C.E.T.
Engineering Services Technician

Rosso Parra, P.Eng. FEB 04/2026
 Engineering Manager RP
 Customer Connections & Key Accounts

NOTICE OF PUBLIC HEARING

Tran Tu Vuong, the owner of 3149 Walker's Line Burlington, has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **3149 Walker's Line Burlington** (see map).

The applicant is proposing to convert the existing two-car garage associated with a three-storey mixed use building into residential floor area. The current Zoning of the property permits dwelling units on the 2nd and 3rd floors only and requires four parking spaces per unit.

Although the zoning permits dwelling units on the 2nd or 3rd floor of a commercial or office building, the development was constructed as a live work unit under the Ontario Building Code. The applicant is advised that the dwelling unit and commercial unit must be operated by a single household. This proposal results in the following variances:

1. To permit two parking spaces instead of the minimum required four parking spaces per unit.
2. Notwithstanding Part 14, Exception #326, to permit floor area associated with a dwelling unit on the ground floor instead of the 2nd and 3rd floor of a commercial or office building.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **February 9, 2026**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 25, 2026

This application is scheduled to be heard at or after 1:00 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **12:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Catherine Susidko-Petriczko at committeeofadjustment@burlington.ca

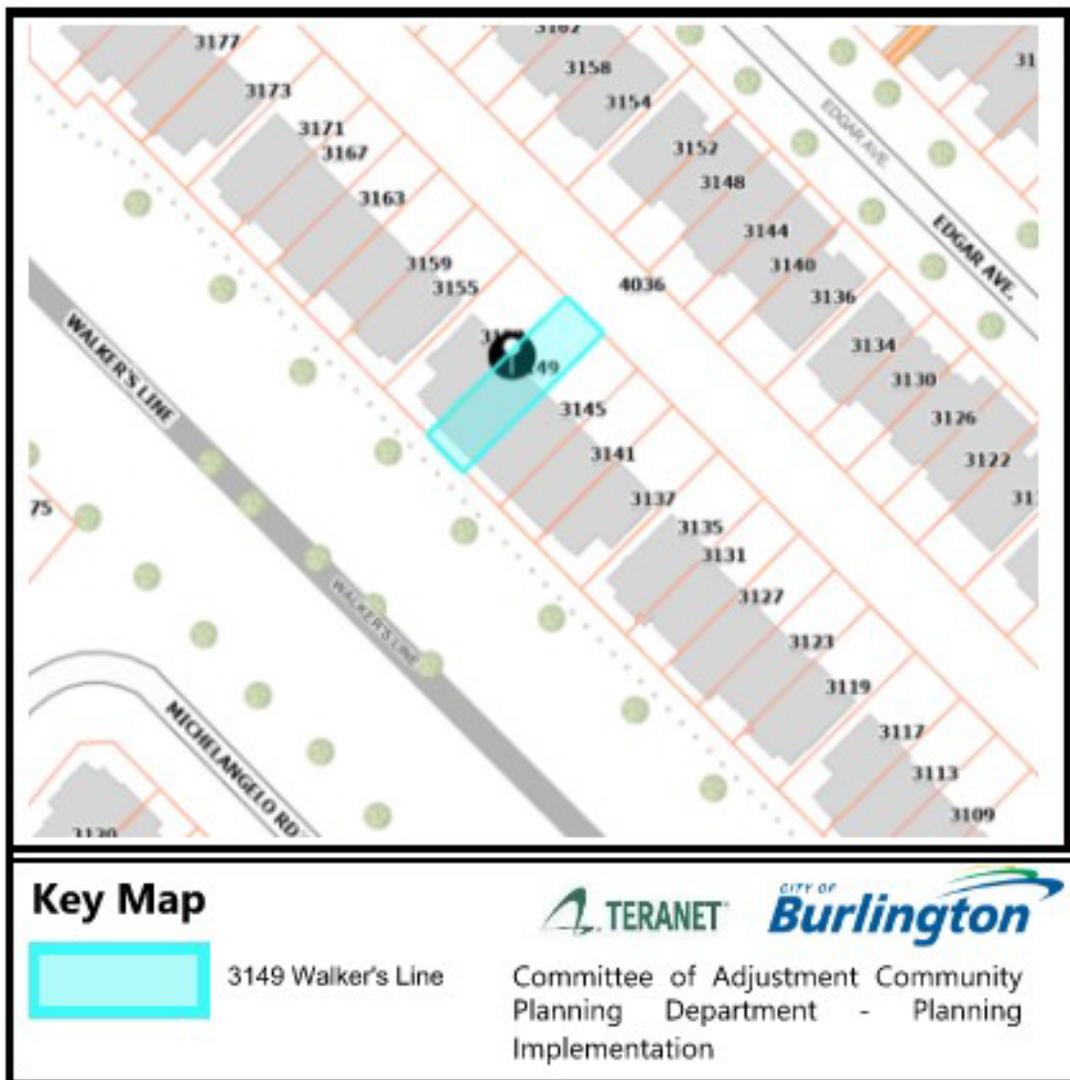
Yours truly,



Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: _____ Name of Zoning Examiner: Nathan Dart,

PROPERTY INFORMATION

Municipal Address(es) of property:

3149 WALKERS LINE BURLINGTON ON

Legal Description of property:

Part of Block 202 Registered Plan 20M-977

Official Plan Designation: _____ Current Zoning Designation MXG-326

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

TRAN VUONG

Mailing Address: 3149 WALKERS LINE City: BURLINGTON

Postal Code: L7M 0E1 Home Phone: _____ Mobile Phone:

Work Phone: _____ E-Mail:

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name: Sahar Koosha (1000879147 Ontario Corp.)

Business Address: 180 W Beaver Creek Rd. City: Richmond Hill

Postal Code: L4B 1B4 Home Phone: _____ Mobile Phone:

Work Phone: _____ E-Mail:

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

PERMIT FOR INTERIOR ALTERATION (CHANGE GARAGE TO LIVING AREA)

Variance(s) Requested	Zoning Bylaw Requirement
As the garage has been converted into a living room, two parking spaces are available. (To permit two parking spaces instead of the minimum required four parking spaces per unit.)	Four parking spaces per unit.
* The main floor area in our design is designated for residential use.(To permit floor area for a dwelling unit to be located on the ground floor whereas exception 326 permits dwelling units to be located on the 2nd or 3rd floor only)	The main floor area can not be residential

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

1. Why is the variance(s) minor in nature? _____

The proposed changes have no negative impact on neighbouring properties and are just for better usage for the owner, and therefore are considered minor in nature.

2. Why are the variance(s) desirable for the appropriate use of the land? _____

The use of the land is not change. it is mixed of a commercial and a residential unit.

3. Do the variance(s) meet the intent and purpose of the Official Plan? _____

Yes, the variances meet the intent of the Official Plan because they allow for appropriate residential and commercial uses while maintaining the character and orderly development of the area.

4. Do the variance(s) meet the intent and purpose of the Zoning By-law? _____

Yes, the variances meet the intent of the Zoning By-law because they allow reasonable use of the property without negatively affecting surrounding properties or the neighbourhood

PROPERTY DETAILS (please complete all fields):			
Date property purchased:	November 16, 2018 <small>mmm/dd/yyyy</small>	Date property first built on:	N/A <small>mmm/dd/yyyy</small>
		Date of proposed construction:	Approximately mid-2024 <small>mmm/dd/yyyy</small>
Existing Use of the Subject Property (check one): Detached Dwelling <input type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input checked="" type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Stacked Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input checked="" type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Vacant <input type="checkbox"/> Other <input type="checkbox"/> Residential & the ground floor is Commercial		Length of time the existing uses of the subject property have continued: From the first	
		Proposed Use of the Land: Mixed Use(Residential &Commercial)	
Existing Uses of Abutting Properties (check all that apply) Residential <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right-of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input type="checkbox"/> Other <input type="checkbox"/> Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>			
Additional Information Is liquor sold on site? Y <input type="checkbox"/> or N <input checked="" type="checkbox"/> Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input type="checkbox"/> <div style="text-align: right;">Unknown <input checked="" type="checkbox"/></div>			
Type of Access to the Subject Lands Provincial Highway <input type="checkbox"/> Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Water <input type="checkbox"/> Other(specify) <input type="checkbox"/>			
Municipal Services Provided Water <input checked="" type="checkbox"/> If not available, by what means is it provided: _____ Sanitary Sewers <input checked="" type="checkbox"/> If not available, by what means is it provided: _____ Storm Sewers <input checked="" type="checkbox"/> If not available, by what means is it provided: _____			
IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS: <input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input checked="" type="checkbox"/> Building Permit <input type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent			

FOR COMMERCIAL, MIXED USE, INDUSTRIAL AND OTHER

Dimensions of Property			Street Width (see first page of application for how to obtain)			Density	Have you applied for Site Plan Approval? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Frontage	Depth	Area	Actual	Deemed	Required		
6.04 m	23.30 m	140.6 m ²	35 m	0		Low density	File #:

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Building)			PROPOSED (Building/Addition)		
Ground Floor Area:	81.31	M ²	Ground Floor Area:	81.32	M ²
Gross Floor Area:	193.42	M ²	Gross Floor Area:	243.93	M ²
Number of Storeys:	3		Number of Storeys:	3	
Width:	6.04	M	Width:	6.04	M
Length:	13.46	M	Length:	13.46	M
Height:		M	Height:		M
Floor Area: Office Space		M ²	Floor Area: Office Space		M ²
Floor Area: Warehouse/Retail/Other:	28.6	M ²	Floor Area: Warehouse/Retail/Other:	28.6	M ²
# of Existing Units:	2		# of Proposed Units:	2	
Floor Area Ratio:			Floor Area Ratio:		
Required Parking Spaces:	4		Proposed Parking Spaces:	2	
Existing Parking Spaces:	4				
EXISTING (Other)			PROPOSED (Other)		
Ground Floor Area:		M ²	Ground Floor Area:		M ²
Gross Floor Area:		M ²	Gross Floor Area:		M ²
Number of Storeys:			Number of Storeys:		
Width:		M	Width:		M
Length:		M	Length:		M
Height:		M	Height:		M

LOCATION of all existing and proposed buildings and structures

EXISTING (Building)		PROPOSED (Building)	
Front:	M	Front:	M
Rear:	M	Rear:	M
Side:	M	Side:	M
Side:	M	Side:	M
OTHER		OTHER	
Front:	M	Front:	M
Rear:	M	Rear:	M
Side:	M	Side:	M
Side:	M	Side:	M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name

TRAN VUONG

Property Address

3149 WALKER'S LINE
BURLINGTON - ON



Signature of Owner/Applicant

NOV / 12 / 2025

Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized

Agent: Sahar Koosha (1000879147 Ontario Corp.)

I, TV Tran Vuong of the City of Burlington of Ontario in the Regional Municipality of Halton
 (print name) (Region/City/County) (City/Town/Township)

of 3149 WALKERS LINE solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the CITY of BURLINGTON in the REGION OF HALTON
 (Region/City/County) (City/Town/Township)

this 12th day of NOV 2025.

WALK-IN NOTARY 1888-383-0383
 www.walkinnotary.com
 info@walkinnotary.com
 200-4145 North Service Road.
 Burlington, ON., L7L 6A3

(AS TO TV TRAN VUONG) MP

Michael De Fabrizio
 Barrister & Solicitor
 Notary Public and Commissioner of Oaths
 in and for the Province of Ontario.
 My commission is of unlimited duration.
 No legal advice given.

[Signature]
 Signature of Commissioner, etc

[Signature] Sahar Koosha TV
 Signature of Applicant or Authorized Agent MP

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 3149 WALKER'S LINE BURLINGTON ON

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

[Signature]
 Signature of Owner

TRAN VUONG
 Print Name

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, TRAN YUONG being the registered owner of the subject lands, hereby
(print name)

Authorize Sahar Koosha (1000879147 Ontario Corp.) to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.



Signature of Owner

NOV / 12 / 2025

Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Frequently Asked Questions

What is involved in the application process?

Once you have submitted your application, the Secretary-Treasurer will circulate to staff and agencies for comment. All property owners within 60 m (200 ft) of the site will be notified in writing ten days prior to the meeting. This notice, setting out the time, date, and place of the hearing, is also sent to the owner and agent listed on the application. The Secretary-Treasurer will be able to provide the date of your hearing when zoning has finished its review.

When does the committee meet?

Committee meetings are held twice a month on Wednesdays, alternating between 1:00 pm start times and 5:30 pm start times. Meetings will be conducted via a hybrid model at City Hall, Council Chambers and Zoom Webinar videoconferencing technology.

How can you prepare for the hearing?

You will receive a copy of the agenda containing all staff comments prior to the hearing. As well, any letters received from the public will be e-mailed to the owner and agent as soon as they are received.

What happens next?

The committee will make its decision at the meeting which is followed by a 20 (twenty) day appeal period. During this time, you or a specified person or public body that has an interest in the matter has the right to appeal to the Ontario Land Tribunal (OLT). At the end of the appeal period, if there has been no appeal, the committee's decision is final and binding.

If the committee defers its decision to a later date, the applicant will receive written confirmation of the deferral. The applicant should proceed expeditiously so the application can be rescheduled for another hearing. A deferral fee may be charged and is payable prior to the scheduling of a new hearing. A revised application and a revised application fee may also apply.

If approval was given subject to conditions and no appeals are submitted, the owner/agent is responsible for meeting all conditions. A decision does not take effect until all conditions are met within the given time periods. When all conditions have been fulfilled, the notice of final approval will be released.

How do you appeal the decision?

If you are dissatisfied with the decision, you may, during the 20 (twenty) day appeal period, deliver personally to the Secretary-Treasurer or send by registered mail, a "notice of appeal form" (available on the OLT website) with reason for appeal, together with a cheque in the amount of \$400.00* made payable to the Minister of Finance. The appeal is then forwarded, with all necessary material, to the OLT. The OLT office will notify you of a hearing date to present your appeal to the Board.

If you have any further questions, please contact the Secretary-Treasurer at (905) 335-7629 or committeeofadjustment@burlington.ca

*Additional fees may apply. Please confirm fee directly with the OLT

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	✓
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	✓
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	✓
SITE PLAN <ul style="list-style-type: none"> <input type="checkbox"/> Metric Scale <input type="checkbox"/> North Arrow <input type="checkbox"/> Frontage <input type="checkbox"/> Depth <input type="checkbox"/> Lot Area <input type="checkbox"/> Lot Coverage <input type="checkbox"/> Deemed Street Line <input type="checkbox"/> Existing Front Yard Setbacks <input type="checkbox"/> Existing Rear Yard Setbacks <input type="checkbox"/> Existing Side Yard Setbacks <input type="checkbox"/> Existing Street Side Yard Setbacks <input type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Proposed Front Yard Setbacks <input type="checkbox"/> Proposed Rear Yard Setbacks <input type="checkbox"/> Proposed Side Yard Setbacks <input type="checkbox"/> Proposed Street Side Yard Setbacks <input type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Streets (Public and Private) <input type="checkbox"/> Street Names <input type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

<p>Minor Variance Application Checklist</p> <p>Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.</p>	
<p>LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES</p> <ul style="list-style-type: none"> <input type="checkbox"/> Setbacks <input type="checkbox"/> Height <input type="checkbox"/> Area <input type="checkbox"/> Length <input type="checkbox"/> Width 	
<p>ELEVATIONS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Metric <input type="checkbox"/> Front <input type="checkbox"/> Rear <input type="checkbox"/> Side 1 <input type="checkbox"/> Side 2 	
<p>FLOOR PLANS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Metric <input type="checkbox"/> North Arrow <input type="checkbox"/> Gross Floor Area Calculation <input type="checkbox"/> Ground Floor Area Calculation <input type="checkbox"/> Floor Area Ratio (where applicable) 	

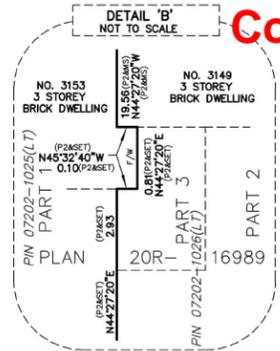
I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.

Sahar Koosha

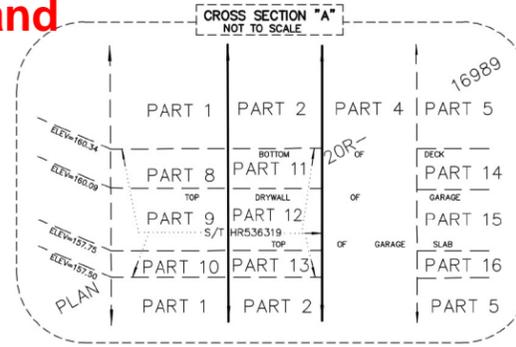
Signature of Owner/Agent

2025-11-13

Date (mmm/dd/yyyy)



Copyright Act Applies to Use and Production



HALTON COMMON ELEMENTS CONDOMINIUM PLAN NO. 516
CONDOMINIUM BLOCK 25818

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY OF
PART OF BLOCK 202
REGISTERED PLAN 20M-977
CITY OF BURLINGTON
REGIONAL OF MUNICIPALITY OF HALTON

SCALE = 1:100 m
POLAR SURVEYING LTD.
© COPYRIGHT 2025

METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - REPORT SUMMARY
MUNICIPALLY KNOWN AS NO. 3149 WALKERS LINE
LOT 202, REGISTERED PLAN 20M-977
CITY OF BURLINGTON
REGIONAL OF MUNICIPALITY OF HALTON

EASEMENTS OR RIGHT OF WAY

- SUBJECT TO EASEMENT OVER PART 3, PLAN 20R-16989 AS IN INSTRUMENT NO. HR536319.
- SUBJECT TO EASEMENT OVER PART 12, PLAN 20R-16989 AS IN INSTRUMENT NO. HR536319.
- SUBJECT TO EASEMENT OVER PARTS 11 AND 13, PLAN 20R-16989 AS IN INSTRUMENT NO. HR536319.
- TOGETHER WITH EASEMENT OVER PARTS 8 AND 10, PLAN 20R-16989 AS IN INSTRUMENT NO. HR536319.
- TOGETHER WITH EASEMENT OVER PARTS 9, PLAN 20R-16989 AS IN INSTRUMENT NO. HR536319.
- TOGETHER WITH EASEMENT OVER PARTS 8 AND 10, PLAN 20R-16989 AS IN INSTRUMENT NO. HR536319.
- SUBJECT TO EASEMENT IN GROSS AS IN INSTRUMENT NO. HR544950.
- SUBJECT TO EASEMENT IN GROSS AS IN INSTRUMENT NO. HR545646.
- SUBJECT TO EASEMENT IN GROSS AS IN INSTRUMENT NO. HR546435.
- SUBJECT TO EASEMENT IN GROSS AS IN INSTRUMENT NO. HR546454.
- TOGETHER WITH AN UNDIVIDED COMMON INTEREST IN HALTON COMMON ELEMENTS CONDOMINIUM PLAN NO. 516.
- SUBJECT TO EASEMENTS FOR ENTRY AS IN INSTRUMENT NO. HR570803.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING REQUIREMENT HAS BEEN MADE IN CONNECTION WITH THIS REPORT.

ADDITIONAL REMARKS

- MONUMENTS SHOWN AS "WT" ARE WITNESS MONUMENTS AND ARE NOT AT THE PROPERTY CORNER.
- THE FENCES ARE AS SHOWN ON THE SURVEY PLAN.

LEGEND:

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SSB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- MS DENOTES MEASURED
- P1 DENOTES REGISTERED PLAN 20M-977
- P2 DENOTES PLAN 20R-16989
- JOB DENOTES J.D. BARNES LTD., O.L.S.
- N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
- S/T DENOTES SUBJECT TO EASEMENT AS IN INSTRUMENT NO./NOS.
- COR DENOTES CORNER
- FEN DENOTES FOUNDATION
- F/W DENOTES FACE OF WALL
- EVS DENOTES EAVES
- OL DENOTES ONLINE
- SRW DENOTES STONE RETAINING WALL

GEODETIC:
ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC AND ARE DERIVED FROM THE CITY OF BURLINGTON BENCH MARK NO. 267, HAVING A PUBLISHED ELEVATION OF 152.247 METRES (CGVD26-78 ADJUSTMENT).

NOTE
BEARINGS ARE UTM GRID AND ARE REFERRED TO THE SOUTH-WESTERLY OF BLOCK 202 AS SHOWN ON REGISTERED PLAN 20M-977, AS HAVING A BEARING OF N45°32'40\"/>

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON AUGUST 6, 2025.

AUGUST 25, 2025
DATE

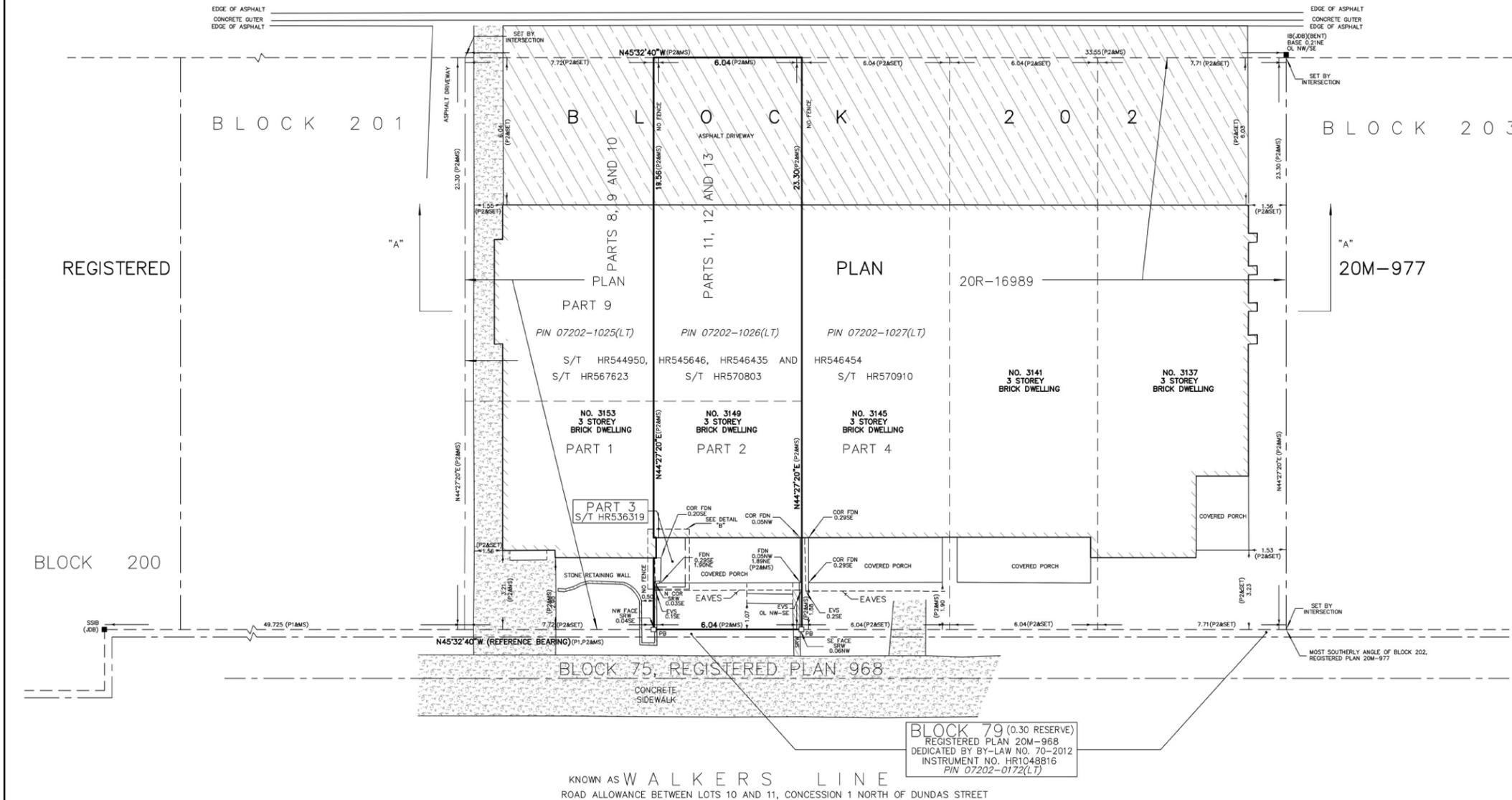
Armin Asadi
ARMIN ASADI
ONTARIO LAND SURVEYOR

THE PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-107015

POLAR
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559 KLEINBURG SUMMIT WAY, VAUGHAN, ON L4R 4T5
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(416) 388-4114 info@polarsurveying.com

DRAWN BY: M.N. CHECKED BY: A.A./V.A. REFERENCE NO.: 25-01-185-00



NOTE
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CITY: BURLINGTON, ON

MUNICIPAL ADDRESS

3149 WALKERS LINE

SCOPE OF WORK

- PERMIT FOR INTERIOR ALTERATION (CHANGE GARAGE TO LIVING AREA)

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QUALIFICATION INFORMATION

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MAHSHAD MESHKSAR 127936
NAME BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C 3.2.4.1 OF ONTARIO BUILDING CODE

1000879147 ONTARIO CORPORATION 205356
(Permitman) FIRM NAME BCIN

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				08 2025
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ADDRESS: 3149 WALKERS LINE, BURLINGTON

DRAWING TITLE: COVER SHEET

REV NO: REV 3 PAGE NO: A-00

LEGEND

EXISTING WALL	
PROPOSED WALL	
CONCRETE WALL	
WALLS TO BE REMOVED	
BEAM	
FLOOR JOIST	
POST	
HSS POST	
ROUND POST	
PROPERTY LINE	
FENCE	
REVISION CLOUD	
REVISION NUMBER	
MIN 45 MIN FIRE SEPARATION	
SUPPLY AIR REGISTER	
RETURN AIR GRILLE	
EXHAUST FAN	
FLOOR DRAIN	
SMOKE DETECTOR AND SMOKE ALARM	
CARBON MONOXIDE DETECTOR/ALARM	
SPRINKLER	

ABBREVIATIONS

ABV	ABOVE	MAX	MAXIMUM
ADD	ADDITIONAL	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MIN	MINIMUM
BLW	BELOW	NLB	NON-LOAD BEARING
BOT	BOTTOM	NTS	NOT TO SCALE
¢	CENTERLINE	OC	ON CENTER
CL	CLOSET	OPEN	OPENING
COL	COLUMN	O.F	OUTER FACE
C/W	COMPLETE WITH	PL	PLATE
CONC	CONCRETE	PC	PRECAST
CONT	CONTINUOUS	PROJ	PROJECTION
DP	DEPTH	PRO	PROPOSED
DET	DETAIL	R/W	REINFORCED WITH
DIA	DIAMETER	SD	SHORT DIRECTION
DJ	DOUBLE JOIST	STIF	STIFFENER
DWL	DOWEL	STRU	STRUCTURAL
EF	EACH FACE	THK	THICKNESS
EW	EACH WAY	T&B	TOP AND BOTTOM
ELEC	ELECTRICAL	TOC	TOP OF CONCRETE
EP	ELECTRICAL PANEL	TOF	TOP OF FLOOR
EL	ELEVATION	TOR	TOP OF ROOF
EQ	EQUAL	TOS	TOP OF STEEL
EX	EXISTING	TOW	TOP OF WALL
EXPJ	EXPANSION JOINT	TJ	TRIPLE JOIST
EXT	EXTERIOR	TYP	TYPICAL
F	FURNACE	U/S	UNDERSIDE
FIN	FINISHED	UNO	UNLESS NOTED OTHERWISE
FP	FIREPLACE	UL	UPPER LAYER
FL	FLOOR	VER	VERTICAL
FD	FLOOR DRAIN	WIC	WALKING CLOSET
FT	FOOTING	WIN	WINDOW
FDN	FOUNDATION WALL	WPL	WALL PLATE
GALV	GALVANIZED	WH	WATER HEATER
H	HEIGHT	WWF	WELDED WIRE FABRIC
HOR	HORIZONTAL	W	WIDTH
I.F	INNER FACE	W/	WITH
INT	INTERIOR		
LB	LOAD BEARING		
LD	LONG DIRECTION		
LL	LOWER LAYER		

DRAWING LIST

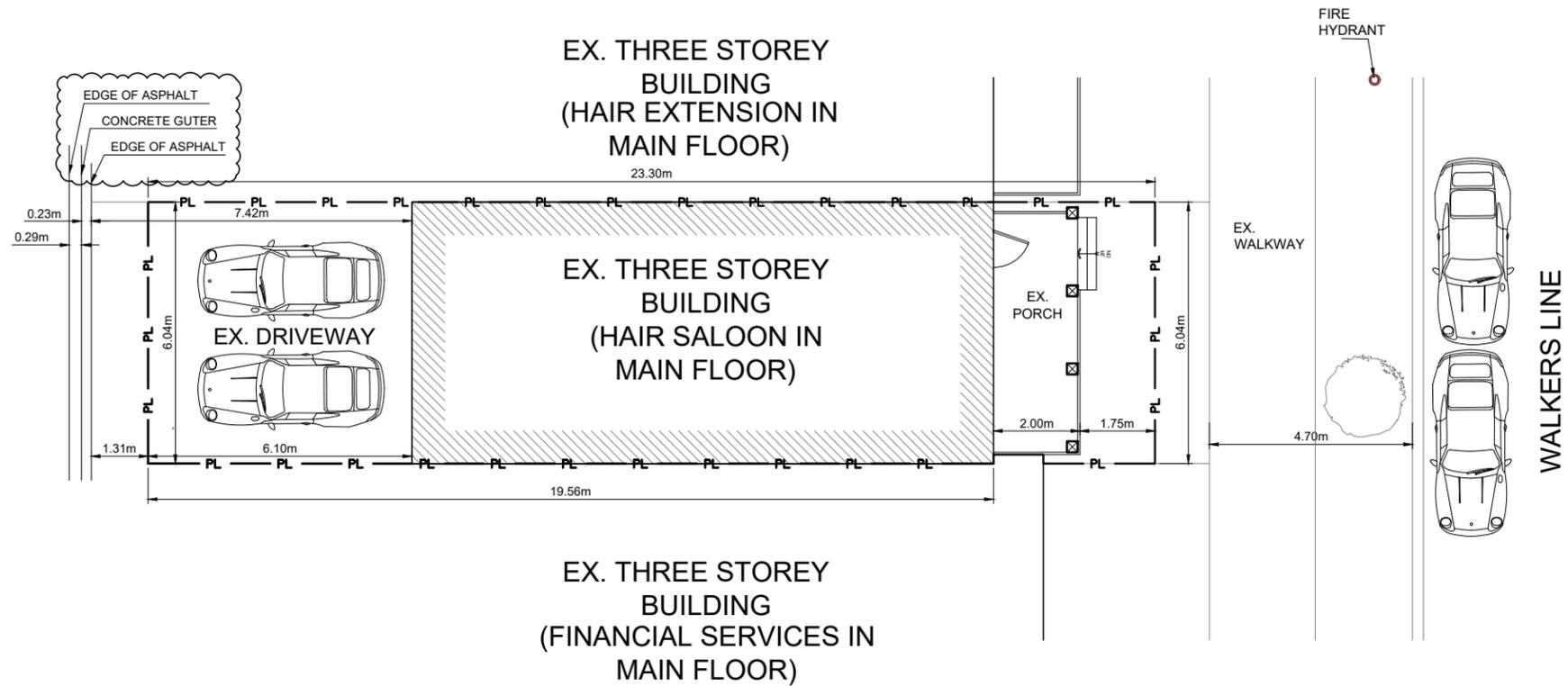
- A-00 COVER SHEET
- A-01 SITE PLAN
- A-02 EX. MAIN FLOOR PLAN
- A-03 PRO. MAIN FLOOR PLAN
- A-04 EX. SECOND FLOOR PLAN
- A-05 EX. THIRD FLOOR PLAN
- A-06 DETAILS
- A-07 NOTES & SPECIFICATIONS

STANDARDS, LOADS & ASSUMPTIONS:

THE ENGINEERING HAS PERFORMED BASED ON THE LATEST UPDATE OF THE 2024 ONTARIO BUILDING CODE COMPENDIUM, WHICH IS A REGULATION MADE UNDER THE BUILDING CODE ACT, 1992, AND ALSO THE REFERRED STANDARDS.

STRUCTURAL DESIGN BASIS:
NO STRUCTURAL ALTERATION CONSIDERED IN DESIGN. ALL EXISTING STRUCTURAL COMPONENTS TO REMAIN.

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SITE PLAN

SCALE 1 : 150

ZONE: MXG-326

MAIN FLOOR USE AS COMMERCIAL- HAIR SALON (AREA: 28.6 M2)

SECOND AND THIRD FLOOR USE AS ONE DWELLING UNIT

REQUIRED PARKING: 4 SPACES PER UNIT (TANDEM PARKING PERMITTED)

FLOOR AREA FOR A NON-RESIDENTIAL USE: 85 M2 MAXIMUM

BUILDING AREA: 81.31 M2

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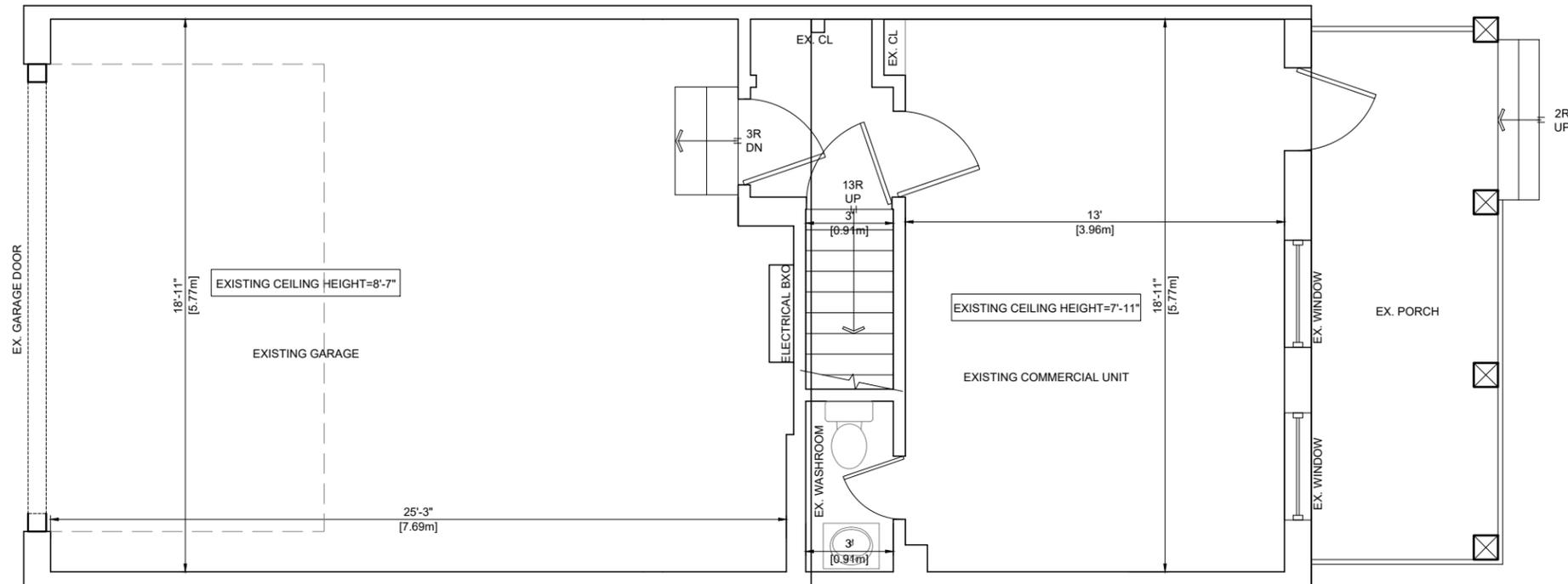
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EX. MAIN FLOOR PLAN

SCALE 3/16" = 1'-0"

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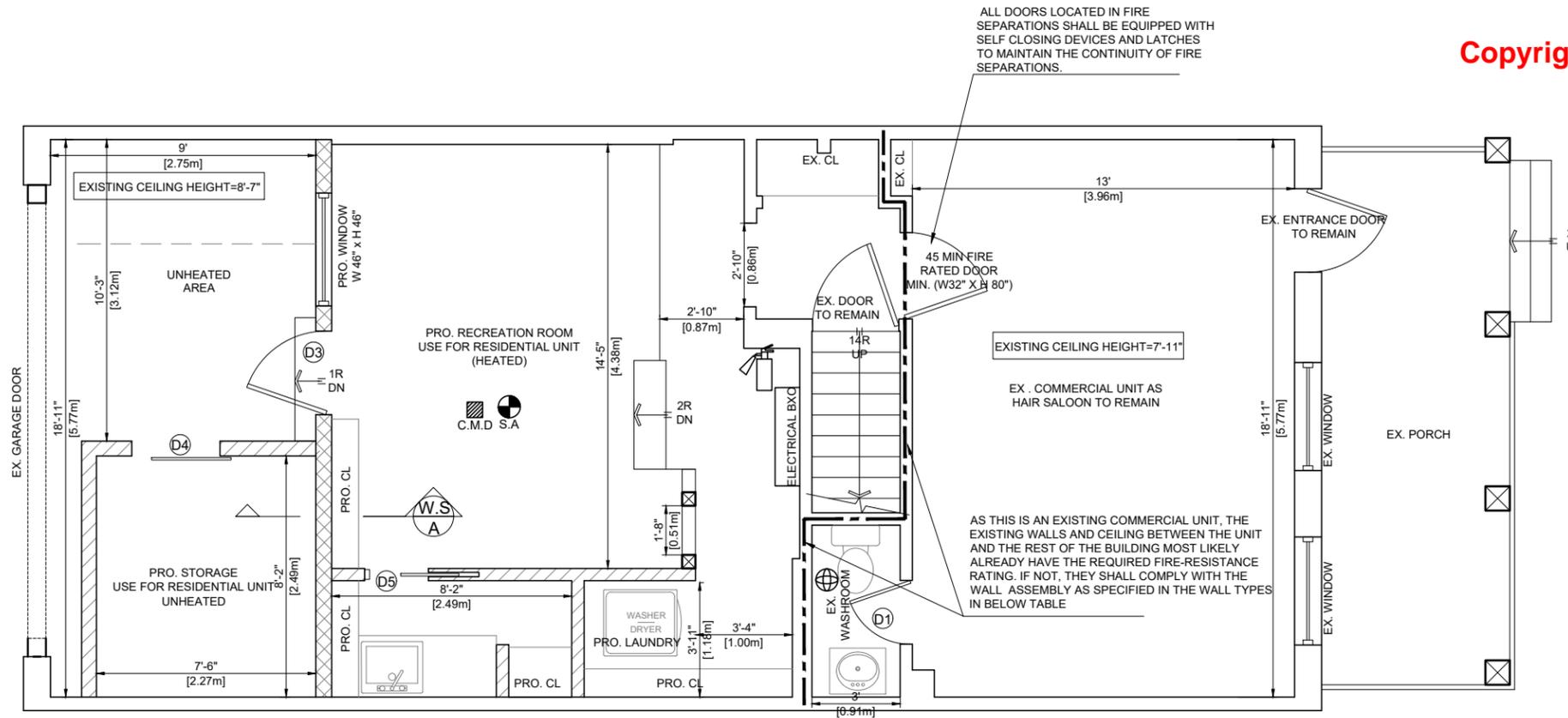
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REV NO: REV 3 PAGE NO: A-02

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PRO. MAIN FLOOR PLAN

SCALE 3/16" = 1'-0"

WALL TYPE ASSEMBLIES	
	<p>INTERIOR NON LOAD BEARING WALLS SHALL CONSIST OF:</p> <ul style="list-style-type: none"> - 2x4 STUDS @ 16" O.C., 2x4 BOTTOM PLATE AND DOUBLE 2x4 TOP PLATE. NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON 2x4 BLOCKING @ 4' O.C BETWEEN THE JOISTS(9.23.9.8). - DRYWALL BOTH SIDE OF THE STUDS. PROVIDE 2x4 @ 24" O.C LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER.
	<p>REFER TO WALL SECTION A IN PAGE 6</p> <p>INTERIOR NON LOAD BEARING WALLS INCLUDING THERMAL INSULATION SHALL CONSIST OF:</p> <ul style="list-style-type: none"> - 2x6 STUDS @ 16" O.C., 2x6 BOTTOM PLATE AND DOUBLE 2x6 TOP PLATE. NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON 2x6 BLOCKING @ 4' O.C BETWEEN THE JOISTS(9.23.9.8). - BATH INSULATION RIP-22 IN CAVITY. - CONTINUOUS AIR/VAPOR BARRIER - DRYWALL BOTH SIDE OF THE STUDS.
	<p>MIN 1 H FIRE RATED WALL BETWEEN GROUP D AND C AS PER TABLE 3.1.3.1 OBC</p> <p>ULC TEST NUMBER: U305</p> <ul style="list-style-type: none"> -15.9 MM (5/8") TYPE X GYPSUM BOARD ON BOTH SIDE -2X4 WOOD STUD 400 MM (16) (FOR 610 MM (24) O.C. -2-2x4 DOUBLE TOP PLATES AND 2x4 SILL PLATE - JOINTS FINISHED - OPTIONAL VENEER PLASTER

LEGEND	
	PROPOSED PARTITION WALL
	WALL TO BE REMOVED
	PARTITION WALL WITH THERMAL INSULATION
	FIRE EXTINGUISHER
	EXHAUST FAN

DOOR SCHEDULE:	
D1	MIN 2'-0"x 6'-6" x 1 3/8" SLAB DOOR
D2	MIN 2'-6"x 6'-6" x 1 3/8" SLAB DOOR
D3	MIN 2'-8"x 6'-6" x 1 3/8" SLAB DOOR
D4	MIN 2'-0"x 6'-6" x 1 3/8" SLIDING DOOR
D5	MIN 2'-0"x 6'-6" x 1 3/8" POCKET DOOR

TABLE 9.5.5.1 MINIMUM DOOR SIZES			
ITEM	COLUMN 1 AT THE ENTRANCE TO:	COLUMN 2 MIN. WIDTH	COLUMN 3 MIN. HEIGHT
1.	DWELLING UNITE(REQUIRED ENTRANCE) VESTIBULE OR ENTRANCE HALL	810MM - (2'-8")	1980MM - (6'-6")
2.	STAIRS TO A FLOOR LEVEL THAT CONTAINS A FINISHED SCAPE	810MM - (2'-8")	1980MM - (6'-6")
	ALL DOORS IN AT LEAST ONE LINE OF PASSAGE FROM THE EXTERIOR TO THE BASEMENT UTILITY ROOMS		
3.	WALK -IN CLOSET	610MM- (2'-0")	1980MM - (6'-6")
4.	BATHROOM, WATER CLOSET ROOM, SHOWER ROOM	610MM- (2'-0")	1980MM - (6'-6")
5.	ROOM LOCATED OFF HALLWAYS THAT ARE PERMITTED TO BE 710 MM WIDE	610MM- (2'-0")	1980MM - (6'-6")
6.	ROOMS NOT MENTIONED ABOVE, EXTERIOR BALCONIES	760MM - (2'-6")	1980MM - (6'-6")

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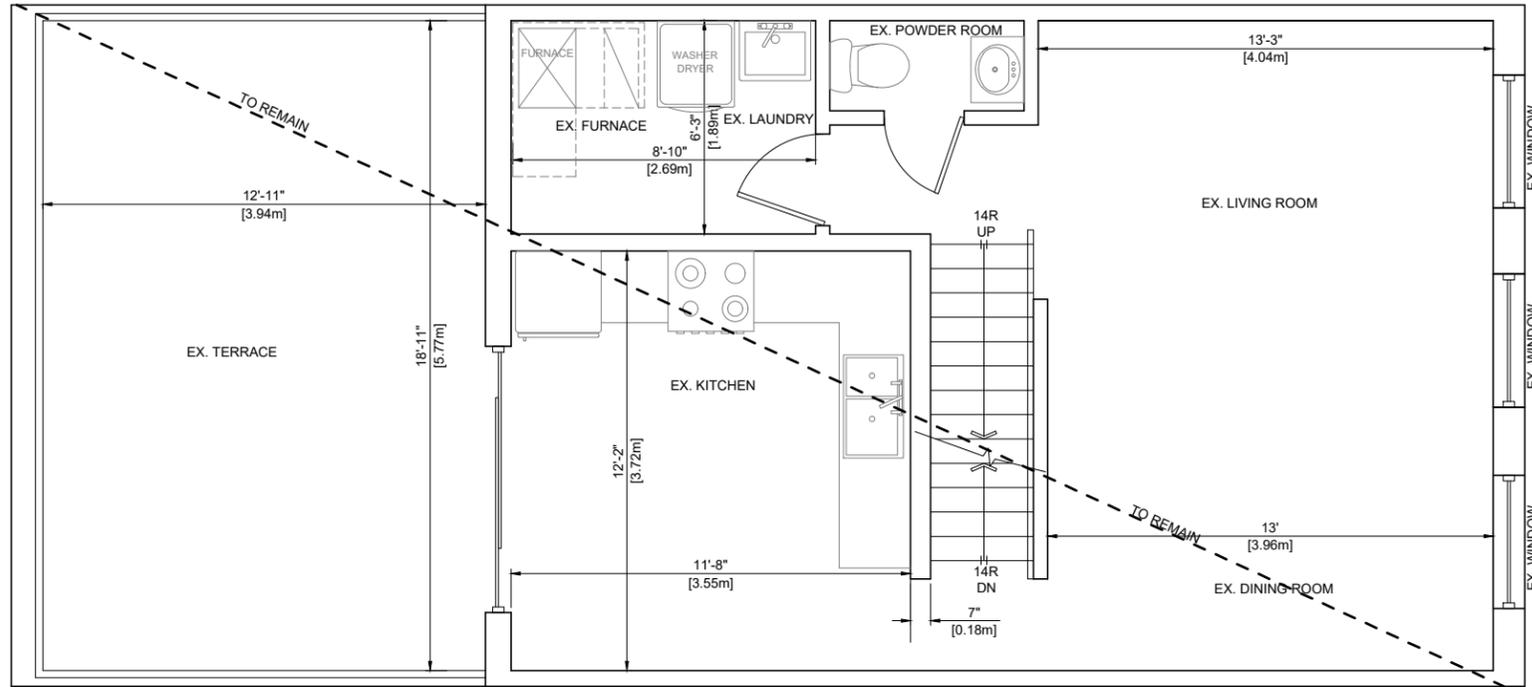
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REV NO: REV 3 PAGE NO: A-03



EX. SECOND FLOOR PLAN

SCALE 3/16" = 1'-0"

NOTE: THERE IS NO CHANGE IN RESIDENTIAL UNIT AT SECOND AND THIRD FLOOR

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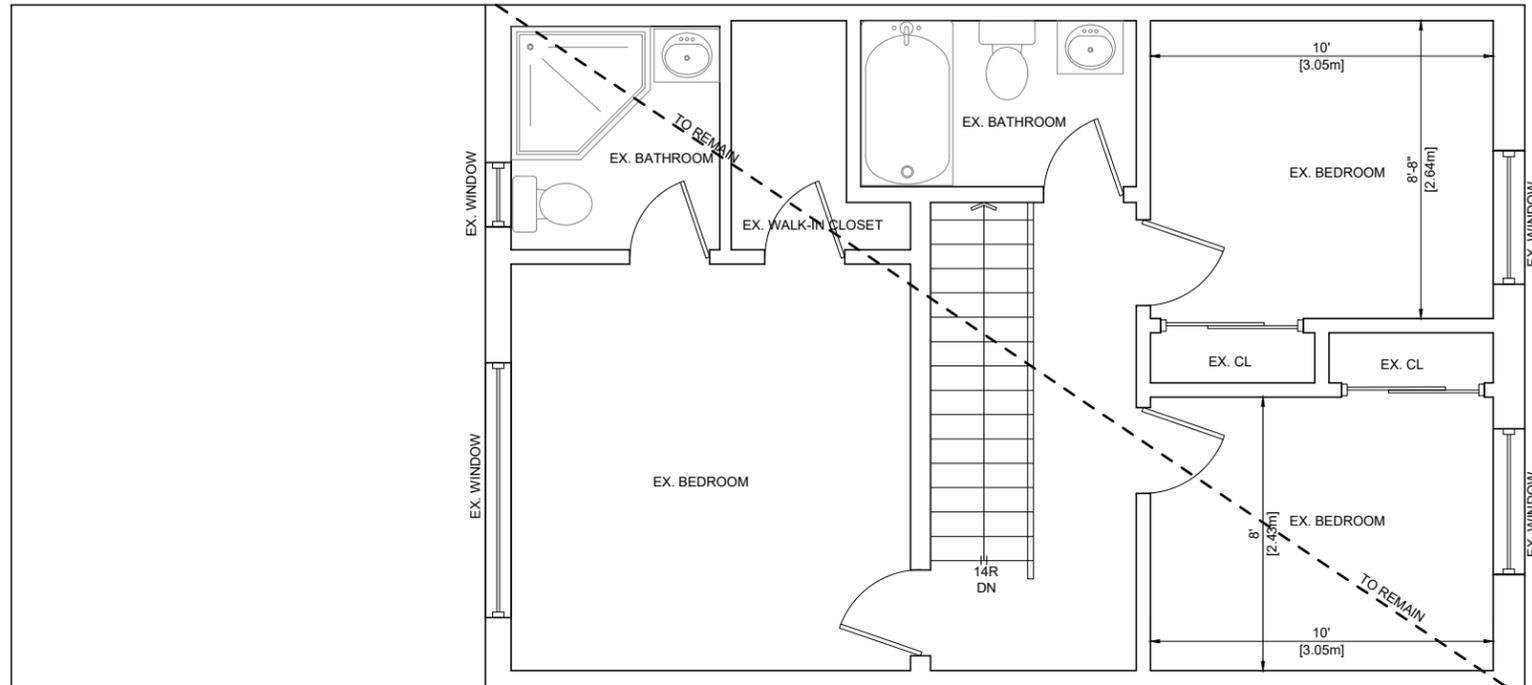
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ADDRESS: 3149 WALKERS LINE, BURLINGTON

DRAWING TITLE: EX. SECOND FLOOR PLAN

REV NO: REV 3 PAGE NO: A-04



EX. THIRD FLOOR PLAN

SCALE 3/16" = 1'-0"

NOTE: THERE IS NO CHANGE IN RESIDENTIAL UNIT AT SECOND AND THIRD FLOOR

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DRAWING TITLE: EX. THIRD FLOOR PLAN

REV NO: REV 3 PAGE NO: A-05

JOB NO & DATE:
25274
08 2025

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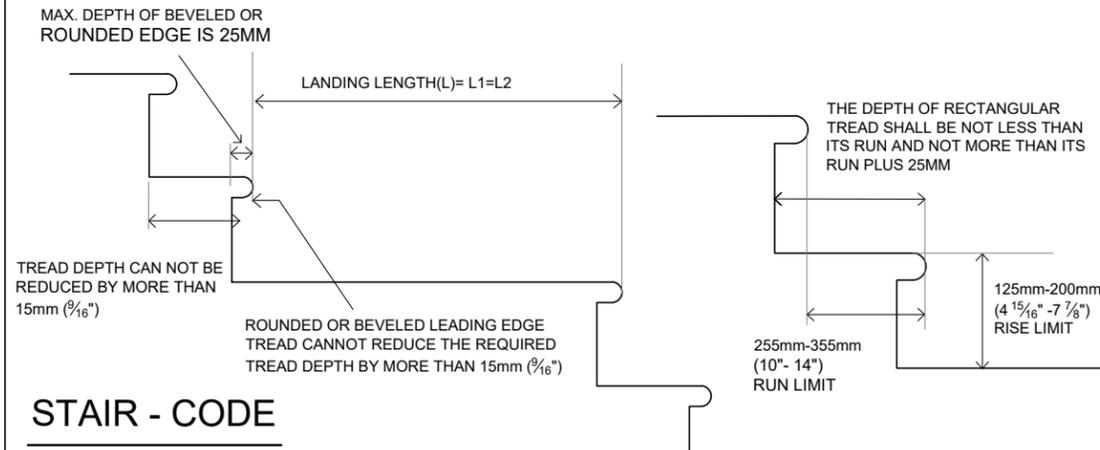
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2024 ONTARIO BUILDING CODE COMPENDIUM TABLE 9.8.4.1				
STAIR TYPE	ALL STEPS		RECTANGULAR TREAD	
	MAX. RISE	MIN. RISE	MAX. RUN	MIN. RUN
PRIVATE STAIRS	200mm 7 7/8"	125mm 4 15/16"	355mm 14"	255mm 10"
PUBLIC STAIRS	180mm 7 1/16"	125mm 4 15/16"	no limit	280mm 11"

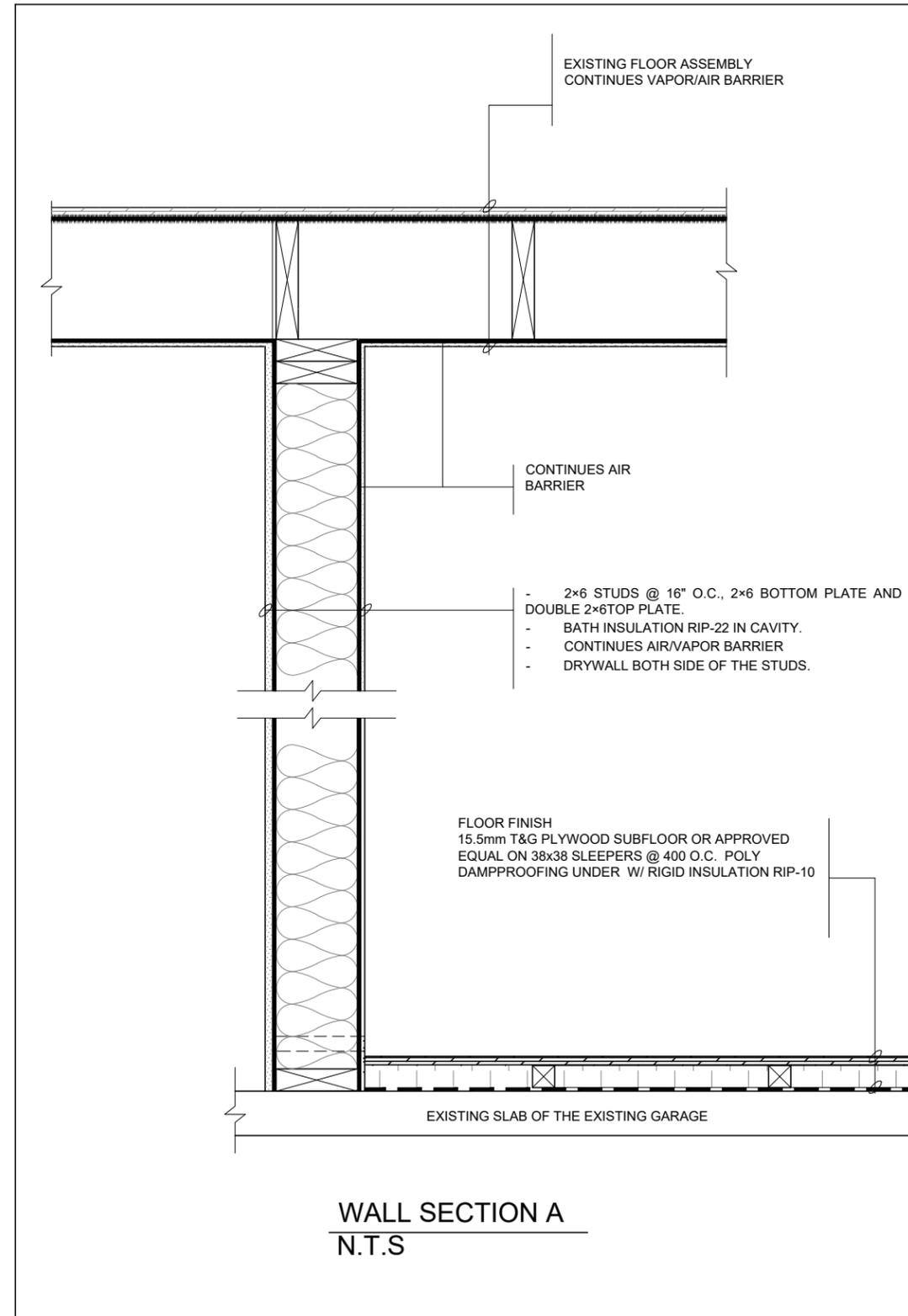
9.8.4.2. Dimensions for Rectangular Treads

- (1) The run for rectangular treads shall conform with Table 9.8.4.1.
- (2) The depth of a rectangular tread shall be not less than its run and not more than its run plus 25mm.



STAIR - CODE

N.T.S



WALL SECTION A
N.T.S

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REV	DATE	DESCRIPTION	NOTE	JOB NO & DATE:
				25274 08 2025
				DRAWN BY: P.S
3	2025-11-18	ISSUED FOR PERMIT	CITY	CHECKED BY: M.M
2	2025-10-02	ISSUED FOR PERMIT	CITY	PAPER SIZE: 17"x11"
1	2025-09-25	ISSUED FOR REVIEW	CLIENT	
0	2025-09-23	ISSUED FOR REVIEW	CLIENT	

PERMIT DRAWINGS FOR INTERIOR ALTRATION

SCOPE OF WORK:
ADDRESS: 3149 WALKERS LINE, BURLINGTON

DRAWING TITLE: DETAILS

REV NO: REV 3 PAGE NO: A-06

ARCHITECTURAL NOTES

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS.

1. INTERIOR STUD PARTITION
 - 1.1. INTERIOR NON-LOAD-BEARING WALLS SHALL CONSIST OF: 2"x4" STUDS @ 16" O.C., 2"x4" BOTTOM PLATE AND DOUBLE 2"x4" TOP PLATE. NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON 2X4 BLOCKING @4' O.C BETWEEN THE JOISTS(9.23.9.8).
 - 1.2. PROVIDE SOUND ATTENUATION IN BATHROOM WALLS AND WHERE INDICATED ON DRAWINGS. DRYWALL BOTH SIDE OF THE STUDS. PROVIDE 2X4 @ 24" O.C LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2X6 STUDS WHERE NOTED.

2. BASEMENT SLAB OR SLAB ON GRADE
 - 2.1. MINIMUM 3" (750 MM)THICK, MINIMUM 20MPA COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS, PLACED ON A MINIMUM 4"(100MM) OF COARSE, CLEAN, GRANULAR MATERIAL.
 - 2.2. ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT(9.16). WITH DAMPPROOFING BELOW SLAB.
 - 2.3. WHERE A BASEMENT SLAB IS COMPLETELY OR PARTIALLY WITHIN 24" (600 MM) OF THE EXTERIOR GROUND LEVEL, EITHER THE ENTIRE SURFACE OF THE SLAB OR THE PERIMETER OF THE SLAB IS REQUIRED TO BE INSULATED BUT NOT AT BOTH LOCATIONS ((SB-12 2.1.1.6(5),(6))

3. GARAGE ATTACHED TO HOUSE WALL/CEILING
 - 3.1. AIR BARRIER SYSTEM SHALL BE INSTALLED BETWEEN THE GARAGE AND THE REMAINDER OF THE BUILDING TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES.
 - 3.2. EVERY DOOR BETWEEN THE GARAGE AND THE REMAINDER OF THE BUILDING MAY NOT OPEN TO THE BEDROOM AND SHALL BE TIGHT FITTING AND WEATHER-STRIPPED AND FITTED WITH A SELF-CLOSING DEVICE.(9.10.13.15)
 - 3.3. GAS PROOFING: 12.7MM DRYWALL TAPE& SEAL ALL JOINTS MIN. 2 COATS OF COMPOUND ON FURRING AS REQUIRED ON EXISTING WALL

4. INSULATION AND ENERGY EFFICIENCY
 - 4.1. COMPLIANCE PACKAGE FOR ZONE 1 [REFER TO SB-12 TABLE 3.1.1.2.A(IP) FOR DETAILS]
 - CEILING WITH ATTIC R-60
 - CEILING WITHOUT ATTIC R-31
 - EXPOSED FLOOR R-31
 - EXTERIOR WALL ABOVE GRADE R-19+5CI OR R-22
 - BASEMENT WALL R-12+10CI
 - SLABS ON GRADE R-10
 - SUPPLY DUCTS IN UNHEATED SPACE R-12
 - 4.2. INSULATION SHALL BE PROTECTED WITH A GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE A 6 MIL POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.

- 4.3. DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.
 - 4.4. CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.
 - 4.5. WEATHER STRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.
 - 4.6. EXTERIOR WALLS, CEILINGS, AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.
-
5. STAIRS INTERIOR/EXTERIOR BASED ON CODE (9.8)
 - 17.1 PRIVET STAIR DIMENSIONS:
 - MAXIMUM RISE = 200MM (7 7/8")
 - MINIMUM RISE = 125MM (4 7/8")
 - MINIMUM RUN = 255MM (10")
 - MAXIMUM RUN = 355MM (14")
 - MINIMUM TREAD = 280 (11")
 - MAXIMUM TREAD = 380 (12")
 - MAXIMUM NOISING = 25MM (1")
 - MINIMUM WIDTH = 860MM (2'-10")
 - MINIMUM HEADROOM = 1950MM (6'-5")
 - 5.2. WINDERS WHICH CONVERGE TO A CENTER POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90° AND INDIVIDUAL TREAD NOT LESS THAN 30° OR NOT MORE THAN 45°. SETS OF WINDERS MUST BE SEPARATED IN PLAN BY 1200MM (3'-11") (9.8.4.5).
 - 5.3. A LANDING IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING AND OTHER EXTERIOR ENTRANCES WITH MORE THAN 3 RISERS.
 - 5.4. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS.

 6. GUARDS AND HANDRAILS (9.8.8, 9.8.7)
 - 6.1. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 23 5/8"(600MM) ABOVE THE ADJACENT LEVEL AND WHERE THE ADJACENT SURFACE WITHIN 1.2M FROM THE WALKING SURFACE HAS A SLOPE MORE THAN 1:2.
 - 6.2. HEIGHT OF THE GUARD FOR HOUSE AND INDIVIDUAL DWELLING FOR INTERIOR LANDINGS =900MM (36")
INTERIOR STAIRS = 900MM (36")
EXTERIOR GUARD HEIGHT IF WALKING SURFACE SERVED THE GUARD IS GREATER THAN1800MM (5'-11") ABOVE THE FINISHED GROUND LEVEL = 1070MM (3'-6"), AND IF WALKING SURFACE IS 1800MM OR LESS FROM THE FINISHED GROUND =900MM (2'-11")
THE HEIGHT OF GUARDS FOR EXTERIOR STAIRS AND LANDINGS MORE THAN 10 M ABOVE ADJACENT GROUND LEVEL SHALL BE NOT LESS THAN 1500 MM(59").
 - 6.3. MAXIMUM DISTANCE BETWEEN PICKETS IS 4"(100)MM.
 - 6.4. NO MEMBER, ATTACHMENT OR OPENING BETWEEN 140MM AND 900 HIGH ABOVE THE FLOOR OR WALKING SURFACE SHALL FACILITATE CLIMBING.(9.8.8.5)
 - 6.5. A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.
 - 6.6. THE HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN TANGENT TO THE TREAD NOSINGS OF THE STAIR SERVED BY THE HANDRAIL, OR THE SURFACE OF THE RAMP, FLOOR OR LANDING SERVED BY THE HANDRAIL. THE HANDRAILS SHALL BE 865 MM TO 1 070 MM HIGH.
 - 6.7. ONLY ONE HANDRAIL IS REQUIRED ON EXTERIOR STAIRS HAVING MORE

- THAN THREE RISERS, PROVIDED SUCH STAIRS SERVE A HOUSE OR AN INDIVIDUAL DWELLING UNIT.
 - 6.8. FOR STAIRS OR RAMPS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, AT LEAST ONE REQUIRED HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP, EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS, OR NEWEL POSTS AT CHANGES IN DIRECTION.
-
7. SMOKE ALARM (9.10.19)
 - 7.1. AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH STOREY AND BASEMENT LEVEL AND IN EACH SLEEPING ROOM.
 - 7.2. SMOKE ALARMS SHALL LOCATED BETWEEN THE SLEEPING ROOM AND THE REMAINDER OF THE STOREY, IN ACCORDANCE WITH OBC. (9.10.19).
 - 7.3. REQUIRED SMOKE ALARMS SHALL HAVE A VISUAL SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3. (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE".

 8. CARBON MONOXIDE DETECTOR (9.33.4)
 - 8.1. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA IN SUIT FOR DWELLING WITH FUEL BURNING FIREPLACE OR STOVE, OR AN ATTACHED GARAGE, AND IN THE SERVICE ROOM AS WELL.
 - 8.2. PROVIDE DETECTOR BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED, WHERE LOCATED ADJACENT TO A SLEEPING AREA AND CONFORMING TO CAN/CGA-6.19 OR UL 2034. INSTALL NOT MORE THAN 12" ABOVE FINISHED FLOOR CLOSE TO POSSIBLE SOURCE OF CO.

 9. MECHANICAL VENTILATION
A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF: (TABLE 9.23.3.3)
 - 10 L/S FOR BASEMENT AND MASTER BEDROOM
 - 5 L/S FOR EACH OTHER ROOM
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITION, 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION PRINCIPAL EXHAUST FAN IS REQUIRED, CONFORM TO TABLE 9.32.3.4 OBC. WHEN HRV IS REQUIRED, CONFORM TO 9.32.3.11 OBC.
REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.

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QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

MAHSHAD MESHKSAR 127936
NAME BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C 3.2.4.1 OF ONTARIO BUILDING CODE

1000879147 ONTARIO CORPORATION 205356
(Permitman) FIRM NAME BCIN

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REV	DATE	DESCRIPTION	NOTE	17"x11"

SCOPE OF WORK: **PERMIT DRAWINGS FOR INTERIOR ALTRATION**

ADDRESS: **3149 WALKERS LINE, BURLINGTON**

DRAWING TITLE: **ARCHITECTURAL NOTE**

REV NO: **REV 3** PAGE NO: **A-07**