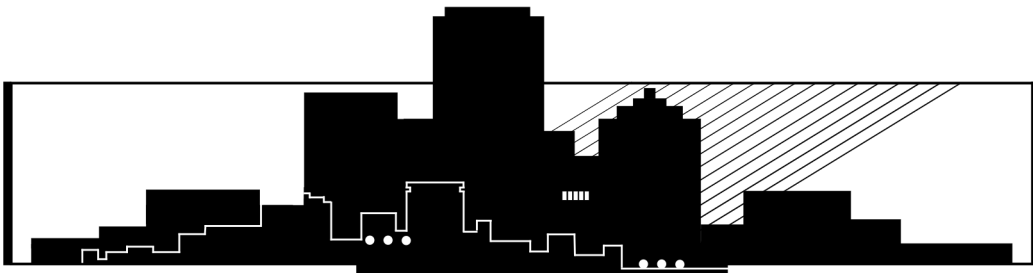


Hybrid Committee of Adjustment
Meeting
February 5, 2025 at 5:30 pm



AGENDA

COMMITTEE OF ADJUSTMENT AGENDA

Meeting #02

Meeting Date: February 5, 2025

TIME OF MEETING:	5:30 P.M.
PLACE OF MEETING:	Council Chambers and Zoom

1. DECLARATION OF INTEREST:
2. ADDENDUMS:
3. REQUEST FOR DEFERRALS:
4. CONSENT ITEMS:

HEARING NO.	TIME	FILE NO. 540-02-	APPLICATION ADDRESS
4.1)	5:30 P.M.	A-065/24	Re: 904 Easterbrook Ave., Burlington Ward 1 Pages 1 - 14
4.2)	5:30 P.M.	A-078/24	Re: 1043 Maplehurst Ave., Burlington Ward 1 Pages 15 - 26
4.3)	5:30 P.M.	A-084/24	Re: 237 Cheltenham Rd., Burlington Ward 5 Pages 27 - 39

5. REGULAR ITEMS:

HEARING NO.	TIME	FILE NO. 540-02-	APPLICATION ADDRESS
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6. OTHER BUSINESS:

6.1 Correspondence

6.2 Items for Discussion

6.3 Date of Next Meeting

6.4 Motion to Approve Minutes of the previous Committee of Adjustment Meeting:

7. ADJOURNMENT:

COMMITTEE OF ADJUSTMENT

Meeting #02

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FEBRUARY 5, 2025

HEARING NO. 4.1 - 5:30 P.M.

File
540-02-A-065/24

APPLICANTS: Jason Rutledge and Emily Victory

PROPERTY: 904 Easterbrook Avenue,
City of Burlington - Regional Municipality of Halton.

PROPOSAL: The applicant is proposing the construction of a two-storey detached dwelling with an attached garage and Additional Residential Unit in the basement.

- VARIANCES:
1. To permit a front yard of 9.2 m instead of the minimum required 11 m for a proposed two storey dwelling with attached garage.
 2. To permit a front yard of 6.1 m instead of the minimum required 10.35 m (11 – 0.65 m encroachment) for a proposed roofed-over 1-storey porch including steps and roof overhang excluding eaves and gutter.

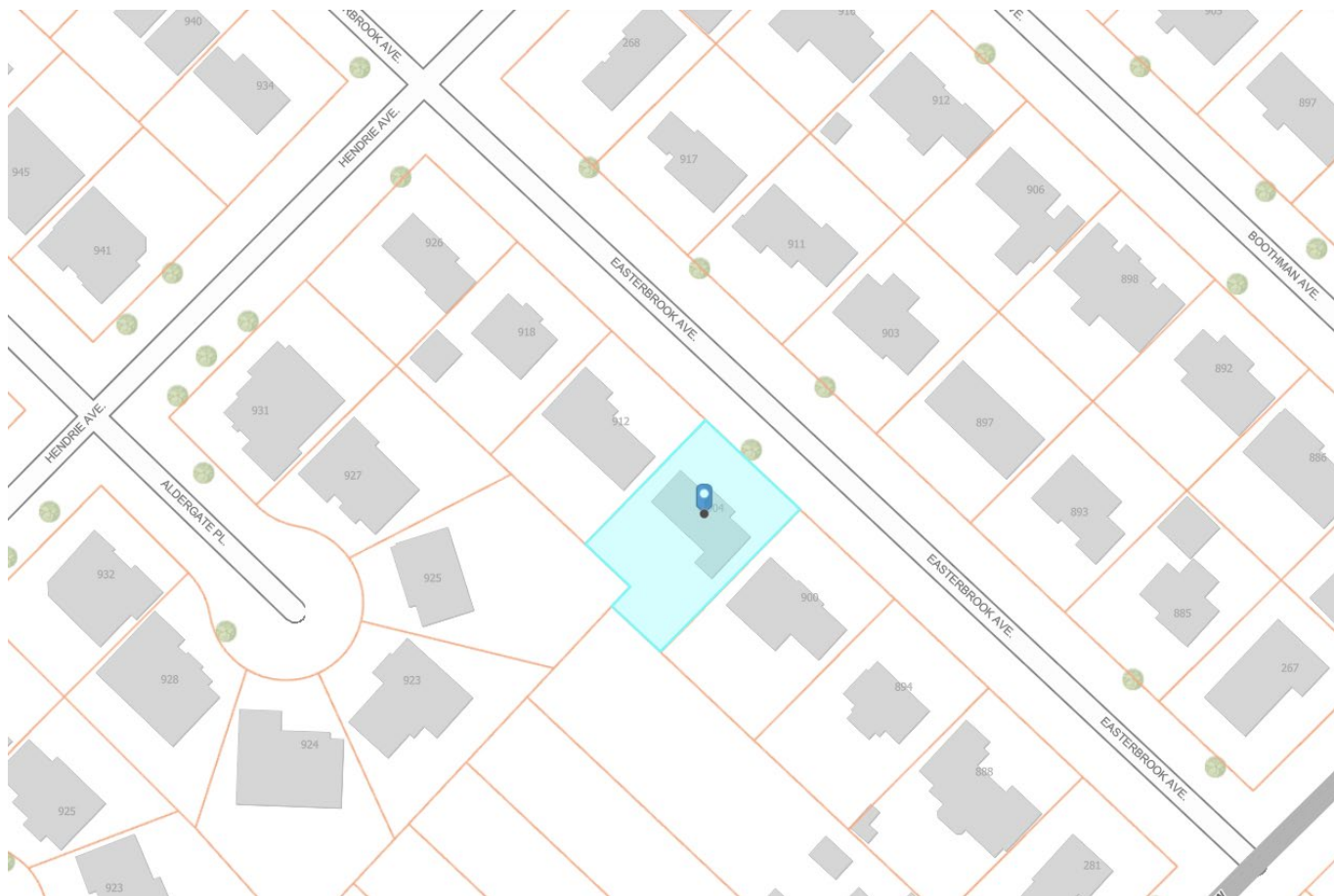
COMMITTEE OF ADJUSTMENT

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FEBRUARY 5, 2025

Owners: Jason Rutledge and Emily Victory
Address: 904 Easterbrook Ave., Burlington
File No. **A-065/24**
Ward: 1



Staff Comments

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: August 26th, 2024

Prepared By: C.Kabel

COMMITTEE OF ADJUSTMENT

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FEBRUARY 5, 2025

Zoning

1) Background information:

The subject property is zoned R2.1, Low Density Residential, under Zoning By-Law 2020, as amended, and is located in the designated area for lot coverage and floor area ratio. The R2.1 zone requires, among other things, the following:

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R2.1	18 m	700 m ²	11 m	10 m	(a)	4.5 m

Footnotes to Table 2.4.1

(a) With attached garage or carport: 10% of actual lot width
(24.37 m x 10% = 2.437 m)

PART 1: GENERAL CONDITIONS AND PROVISIONS
--

1.1 COMPLIANCE WITH OTHER REGULATIONS

(b) Where the provisions of this By-Law conflict with the regulations or requirements of any other Regional, Provincial, or Federal Government or an agency established by the Provincial or Federal Government, the regulations or requirements of that Government or agency shall prevail.

2.13 ENCROACHMENT INTO YARDS

2.13.1 Every part of a required yard shall be unobstructed with respect to the following encroachments:

(a) The following obstructions may project **65 cm** maximum into a required yard:

A roofed-over or screened but otherwise unenclosed 1-storey porch including steps and roof overhang excluding eaves and gutter

A terrace or unroofed porch

A carport

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History / Background:

On November 20th, 2024, Ontario Regulation 462/24 amending O. Reg. 299/19 for Additional Residential Units came into effect. The amended provincial regulation permits up to 45% of the surface of a parcel containing an ARU to be covered by buildings and structures.

2) Proposal:

The applicant is proposing the construction of a two-storey detached dwelling with an attached garage and Additional Residential Unit in the basement.

3) Variances required:

1. To permit a front yard of 9.2 m instead of the minimum required 11 m for a proposed two storey dwelling with attached garage.
2. To permit a front yard of 6.1 m instead of the minimum required 10.35 m (11 – 0.65 m encroachment) for a proposed roofed-over 1-storey porch including steps and roof overhang excluding eaves and gutter.

4) Notes and conditions:**Condition:**

1. The applicant shall apply for a Pre-Building Approval Application.

Notes:

1. Variances have been identified based on the plans submitted for zoning review. If additional variances are identified when a Pre-Building Approval Application is made, they will be the responsibility of the applicant to obtain.
2. The zoning review is based on a proposed Additional Residential Unit being constructed in the basement. If an Additional Residential Unit is not constructed, it will be the applicant's responsibility to comply with the maximum lot coverage restriction of 25% or apply for an additional variance.
3. The variances are being reviewed under 45(1) of the *Planning Act*.

Date: December 16, 2024Prepared By: J. Parker

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Site Planning

A minor variance application has been submitted to the City of Burlington to facilitate the construction of a two-storey detached dwelling with an attached garage and an additional residential unit in the basement. The application proposes the removal of the existing dwelling above grade and the retention and expansion of the existing house foundation and construction of a two-storey dwelling. The applicant requests approval from the Committee of Adjustment to permit a reduced front yard setback to the dwelling and porch. The variance for a reduced front yard setback to the dwelling would allow the location of the front wall of the proposed dwelling to be built with the same front yard setback as the existing dwelling that is to be demolished.

The subject lands are an irregular shaped lot with a total area of 852.29 m² (0.085 hectares) with approximate lot frontage of 24.37 m along Easterbrook Avenue. The lands are located on the southwest side of Easterbrook Avenue, south of Hendrie Avenue are known municipally as 904 Easterbrook Avenue.

The City of Burlington Official Plan, 1997 describes the City structure as being comprised mainly of *residential neighbourhoods*, defined as a residential area sharing similar characteristics, which is defined by identifiable boundaries, such as arterial or collector roads, hydro corridors, creeks or an area of non-residential uses. While new residential development is required to be compatible with “surrounding properties”, many of the Official Plan’s development and intensification policies reference the “*residential neighbourhood*” or “neighbourhood” as an important lens for assessing the compatibility of a development proposal. The property is in a *residential neighbourhood* bounded by North Shore Blvd West to the south and west, Plains Road West to the north and Lasalle Park Road to the east. A mix of low, medium and high residential densities are permitted in the neighbourhood, and the subject property is located in a Low Density Residential (R2.1) zone, which permits detached dwellings and additional residential units. Adjacent and surrounding land uses consist predominantly of one-storey detached dwellings. The location of dwellings along the southwest side of Easterbrook Avenue, between Hendrie Avenue and North Shore Blvd West creates a consistent alignment of built form along the street.

Existing land uses on the property consist of a detached dwelling with an attached garage. Access to the property is via a driveway from Easterbrook Avenue. A site plan (dated November 29, 2024) and elevation plans (dated, December 3, 2024) were submitted with the application and illustrate the location and extent of existing and proposed development. A site visit was conducted on January 13, 2025, and existing on-site conditions are summarized in site photos included as Attachment No. 1 (Site Photos).

The proposed development includes the construction of a two-storey detached dwelling with a gross floor area of 301.8 m². The height of the proposed dwelling complies with

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the regulations of the Zoning By-law and is to measure 8.72 m (from fixed grade to the peak of the roof).

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2009)

The subject lands are located within the Urban Area (Map 1) and within the Built Boundary (Map 1h) of the Regional Official Plan (ROP). The Urban Area (Section 72) policies of the ROP identify that the goal of the Urban Area and the Regional Urban Structure is to manage growth in a manner that fosters complete communities, enhances mobility across Halton, addresses climate change, and improves housing affordability, sustainability and economic prosperity. Section 76 of the ROP indicates that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. Given that detached dwellings are a use permitted by the City's Official Plan and Zoning By-law, staff are of the opinion that the requested variance is within the intent of the ROP.

City of Burlington Official Plan (1997 & 2020)

On April 2, 2024 the Ontario Land Tribunal issued a decision granting the City's motion for partial approval of the Burlington Official Plan, 2020 (BOP, 2020). This decision brought the "Residential Neighbourhood Areas" policies under "Chapter 8- Land use policies" into force. These policies supersede the "Residential Areas" policies of the Burlington Official Plan, 1997 (BOP, 1997). However, other chapters of BOP, 2020 relevant to the application, such as Chapter 7- Design Excellence, remain under appeal so the application has been reviewed against a combination of in-force policies under both Official Plans.

The subject lands are designated 'Residential – Low Density' according to Schedule 'C' (Land Use - Urban Area) of the BOP, 2020, as amended.

Section 8.3.3 (1) (Residential Neighbourhood Area Policies) of the BOP, 2020, states that among the permitted uses within the 'Residential Low Density' designation are single detached housing units (with a maximum permitted residential density of 25 units per hectare). Detached dwelling are a permitted use and the proposal does not impact the density.

The general intent and purpose of the BOP, 2020 is to encourage new residential development, including new structures, in residential neighbourhood areas while

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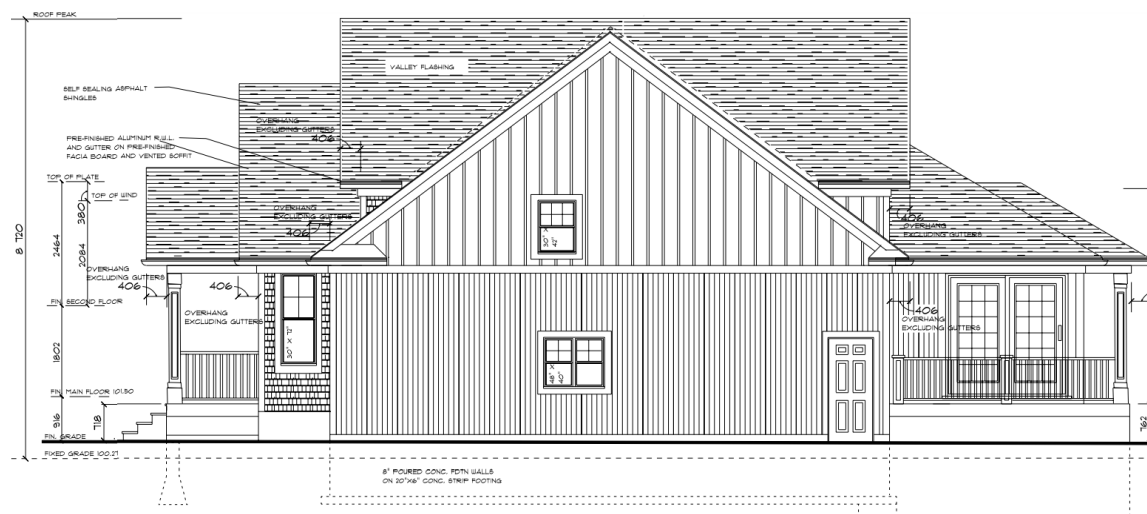
FEBRUARY 5, 2025

recognizing that the form of development must be balanced with other considerations like compatibility and integration within existing residential neighbourhoods.

Part II, Section 6.5 (Design Guideline Policies) of the OP, 1997 lists aspects of new development that should be compatible and integrate well with the surrounding area including “the density, form, bulk, height, setbacks, spacing and materials...”

Compatible(ity) is defined in the OP, 1997 as: “development or redevelopment that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health. Compatibility should be evaluated in accordance with measurable/objective standards where they exist, based on criteria such as aesthetics, noise, vibration, dust, odours, traffic, safety and sun-shadowing, and the potential for serious adverse health impacts on humans or animals.”

Staff have reviewed the proposal in the context of the surrounding residential neighbourhood, adjacent properties, and in accordance with the policies of the Official Plan. The applicant is seeking relief for front yard setback to the dwelling and porch. Approval of the minor variance for the dwelling location would allow for the construction of a new detached dwelling with the same front yard setback as the existing dwelling. Although the height of the proposed dwelling complies with the requirements of the Zoning By-law at 8.72 m from fixed grade, the height of the proposed dwelling is higher than the existing dwelling’s height of 5.26 m, therefore the proposed dwelling will introduce some additional mass to the streetscape. In the opinion of staff, the additional impacts of mass are mitigated due to the design of the roof which incorporates gables dormers over the porch, entrance and second storey windows which have the effect of stepping the mass back from the street.



Proposed right elevation shows building mass that is stepped back from the street.

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Staff are satisfied that both the setbacks of the proposed dwelling and porch are sufficient to provide adequate separation and transition between dwellings and are of the opinion that the proposed dwelling and porch would not result in significant massing impacts to the streetscape or neighbouring properties. Staff are of the opinion that the requested minor variances for front yard setback for the dwelling and porch are within the general intent and purpose of the Official Plan, given that the variances would facilitate a dwelling that is compatible with the surrounding area in terms of siting and massing.

2) City of Burlington Zoning By-law 2020:**Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?**

The subject property is zoned Low Density Residential (R2.1) Zone to Map No. 1 of the City of Burlington Zoning By-Law 2020, as amended. Detached dwellings are a permitted use and are subject to a front yard setback of 11 m, rear yard setback of 10 m and a 1.8 m side yard setback for two-storey dwellings with an attached garage.

Yes - Variances 1 & 2 (Reduced Front Yard Setback to Dwelling & Porch)

The application requests a variance to permit a front yard of 9.2 m instead of the minimum required 11 m for a proposed two-storey dwelling with attached garage. The application also requests a variance to permit a front yard of 6.1 m instead of the minimum required 10.35 m (11 – 0.65 m encroachment) for a proposed roofed-over one-storey porch including steps and roof overhang excluding eaves and gutter. The intent of minimum front yard setbacks is to ensure the appropriate siting and massing of development in the front yard and to ensure adequate space is maintained in the front yard to provide for an attractive streetscape as well as site requirements such as landscaping, driveways and amenity area.

The existing streetscape on the southwest side of Easterbrook Avenue, between Hendrie Avenue and Northshore Boulevard West is consistent and displays little variation. The front yard setbacks range from 8.3 m to 10.7 m. Approval of the minor variance for the dwelling location would facilitate the construction of a new detached dwelling with the same front yard setback as the existing dwelling. In the opinion of staff, the spacing of the proposed dwelling from its neighbours provides a sufficient buffer to mitigate impacts of massing on the streetscape and to surrounding dwellings. Staff is of the opinion that the variance can be considered within the intent of the Zoning By-law, as an attractive streetscape will be maintained and sufficient space will remain for functional elements such as landscaping, driveways and amenity area.

With respect to the reduced setback of the porch, the proposed design of the porch includes a roof with columns and would provide a covered entryway over the front door. Staff is of the opinion that the variance can be considered within the intent of the Zoning

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By-law, given that the porch will not add significant additional massing to the front of the dwelling or impede on the provision of functional elements of the front yard such as landscaping, driveways and amenity area.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

Staff are of the opinion that the requested variances are desirable, given that they will result in a new dwelling that maintains compatibility with surrounding neighbourhood.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed development is intended to continue the use of the property for residential purposes with minimal land use impacts anticipated. Staff is of the opinion that the requested variances establish a setback and massing effect that is compatible with the area. Impacts to the site and the surrounding area will be minimal. Therefore, it is staff's opinion that the requested variances can be considered minor.

Cumulative Effects of Multiple Variances and Other Planning Matters:

The applicant requests approval from the Committee of Adjustment to permit a reduced front yard setback to a new two-storey dwelling and porch. The variances would allow the proposed dwelling and porch to be built closer to the street than is permitted by the Zoning By-law. Staff are of the opinion that in this case, there are no negative cumulative impact of the variances and that reviewed and considered individually or collectively, the proposed minor variances are within the scope of a Minor Variance Application.

Recommendation:

Staff has reviewed the subject application in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection to the requested variances.

Date: January 14, 2025

Prepared By: Melissa Dalrymple, MCIP, RPP

COMMITTEE OF ADJUSTMENT

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Report Schedules & Attachments:

Attachment No. 1 (Site Photos – January 12, 2025)



View of subject lands from Easterbrook Avenue.



View of streetscape northwest of subject lands.

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View of streetscape southwest of subject lands.



View of streetscape northeast of subject lands.

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Development Engineering

Development Engineering has reviewed the proposed minor variances and has no objections. Changes to the plans may be required through the Grading and Drainage Clearance Certificate review process.

Date: December 20, 2024Prepared By: D. Savelli**Forestry**

Forestry has reviewed the proposed minor variance(s) and have no objections.

Date: Dec 18, 2024Prepared By: J. Lee**Building**

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2012.

Date: Jan 2, 2025Prepared By: T. Le**Transportation Planning**Deemed Road Width Analysis

Easterbrook Avenue is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: September 3rd 2024Prepared By: Taylor Kirchknopf

Transportation Planning have review the proposed minor variance application and has no concerns.

Date: January 6 2025Prepared By: Taylor Kirchknopf

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Finance**Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: December 16, 2024Prepared By: L. Bray**Halton Region**

Regional Staff have reviewed the Minor Variance application for 904 Easterbrook Avenue where the application is proposing the construction of a of a two-storey detached dwelling with an attached garage and Additional Residential Unit in the basement. Variances to front yard setbacks are required.

1. Due to recent Provincial legislation, as of July 1, 2024, the Region is no longer be responsible for the Regional Official Plan – as this has become the responsibility of Halton’s four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities is being prepared that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters. Going forward, comments offered through minor variance applications will be reflective of this changing role.
2. Regional Staff have no objections to the Minor Variance application.

Date: January 8, 2025Prepared By: Andrew Morgan**Burlington Hydro Inc.****Notes:**

- Before starting any construction, please reach out to Burlington Hydro Inc. (BHI) via email at engineering@burlingtonhydro.com to coordinate the disconnection of the overhead secondary service wire.

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Please see attached Comments Package from Burlington Hydro at the end of this report for additional information.

Date: December 23, 2024

Prepared By: C. Kabel



Burlington **hydro** inc.

December 23, 2024

Applicant: Jason Rutledge and Emily Victory

Subject: Minor Variance.

File NO: 540-02-A-065/24

Location: 904 Easterbrook Ave, Burlington, ON.

In response to your correspondence(s), a member of our Engineering Department has reviewed the information and has the following comments.

We have no objections to the proposed construction of a two-storey detached dwelling with an attached garage and additional residential unit in the basement.

Note: Before starting construction, please reach out to Burlington Hydro Inc. (BHI) via email at Engineering@burlingtonhydro.com to coordinate the disconnection of the overhead secondary service wire.

However, the customer's requirements are not limited to the following items. Burlington Hydro will provide all applicable standards, guidelines, and specifications in the Offer to Connect package that will be provided by Burlington Hydro, following the customer's formal request for hydro service and submission of approved site plan drawings to Burlington Hydro.

1. Additional information is needed from the customer for the proposed residential building, including details on service size, whether the service will be overhead or underground, as well as the site plan and elevation plan.
2. Meter installations shall be installed in locations that are in accordance with the BHI Metering Standard and in addition to the requirements of the OESC
3. Only one residential service will be allowed per municipal address.
4. Temporary service is available upon the customer's request. The temporary service may be supplied overhead or underground, at BHI's discretion. Early consultation should be made with the BHI Engineering Department to confirm the availability of supply arrangements. The Customer will be responsible for all associated costs for the installation and removal of connection assets required for temporary service to BHI's distribution system. Payment for these costs shall be made in advance.
5. A building, permanent structure or building apparatus shall maintain minimum horizontal clearance from existing power lines (Refer to Burlington Hydro brochure, notice that the clearances shown on the standard are minimum, additional clearances are required to allow conductor swing, scaffold installation and future building maintenance). Please arrange for a site meeting with BHI representative, calling Eng. Desk at 905 332-2250, to validate the required minimum clearances to existing power lines, obtain approved hydro service layout/consent and avoid any possible safety issues.



In addition, we want to stipulate the following:

Customers and their agents planning and designing for electricity service must refer to all applicable Provincial and Canadian electrical codes, all applicable federal, provincial, municipal laws, regulations, codes, and by-laws to ensure compliance. All work, on the BHI distribution system, shall be conducted in accordance with the latest edition of the Ontario Occupational Health and Safety Act (OSHA), the Regulations for Construction Projects, the Regulations for Industrial Establishments and the Electrical Utility safety Rules published by the Infrastructure Health and Safety Association (IHSA).

- Service is available under BHI's latest Standard Service Conditions:**
 - <https://www.burlingtonhydro.com/about/regulatory-affairs/conditions-of-service.html>
 - Relocation, modification, or removal of existing hydro facilities, if required, shall be at the customer's expense. BHI will refer to the latest Standards and Regulations if possible issues with the clearances arise between existing BHI facilities and existing/proposed building structures.**
 - BHI easement (if any) is to remain clear of heavy vehicle traffic and the customer is responsible for keeping the easement lands free and clear of any trees, fences, buildings, structures, or obstructions unless any of forgoing is approved in writing by Burlington Hydro Inc. Further, the Customer shall remove the same upon the request of Burlington Hydro Inc.
6. The customer is to ensure that **Burlington Hydro Inc (BHI)** has access to the hydro facilities.
- The customer is to acquire any easements for BHI if required.
 - The project must meet City of Burlington Standards.
 - Machine excavation within one meter of the underground plant is not permitted.
 - Do not excavate within two meters of BHI's transformer, poles and anchors.
 - Please arrange for underground hydro cable locate(s), prior to beginning construction, by contacting Ontario One Call @ (800) 400-2255.
 - Please refer to the latest edition of the Occupational Health and Safety Act ("OHSA") and Regulations for Construction Projects when work is planned to be performed in proximity of the hydro distribution system.**
 - Arrange for disconnect and isolation of the power supply if a person or equipment is to encroach on the minimum distance permitted under the OHSA and OESC.



Burlington **hydro** inc.

- ☑ Please arrange for a site meeting with a BHI representative, by sending an email to Eng. Desk Engineering@burlingtonhydro.com, prior to beginning any construction/demolition near existing overhead or underground hydro facilities to get approved BHI service layout/consent and avoid any possible service complications or safety issues.

Regards,
Zakariya Al-Doori
Engineering Services Technician

Cc: Rosso Parra, P. Eng ^{RP}
Engineering Manager, Customer Connections
& Key Accounts

DEC. 23/
2024

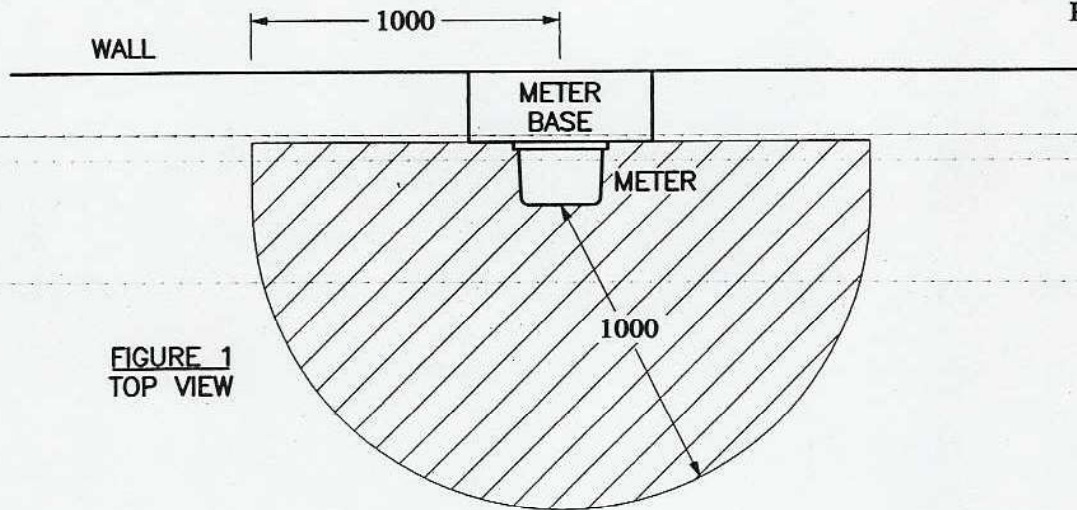


FIGURE 1
TOP VIEW

NOTES

1. HATCHED AREA TO BE KEPT CLEAR OF ANY OBSTRUCTION TO ALLOW FOR SAFE WORKING CLEARANCE.
2. WHERE MULTIPLE METERS ARE INSTALLED, CLEARANCES ARE REQUIRED AROUND EACH METER.
3. WHERE METERS ARE INSTALLED IN CABINETS, ALL DOORS MUST BE ABLE TO BE OPENED 100 DEGREES.

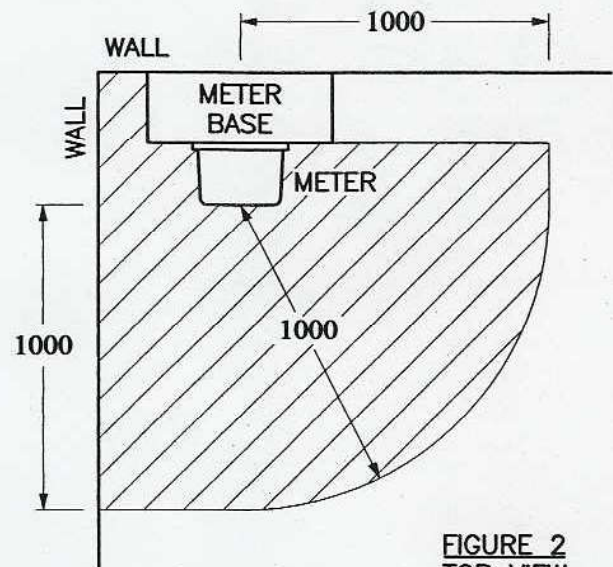


FIGURE 2
TOP VIEW

REQUIRED WORKING CLEARANCE AROUND METERS

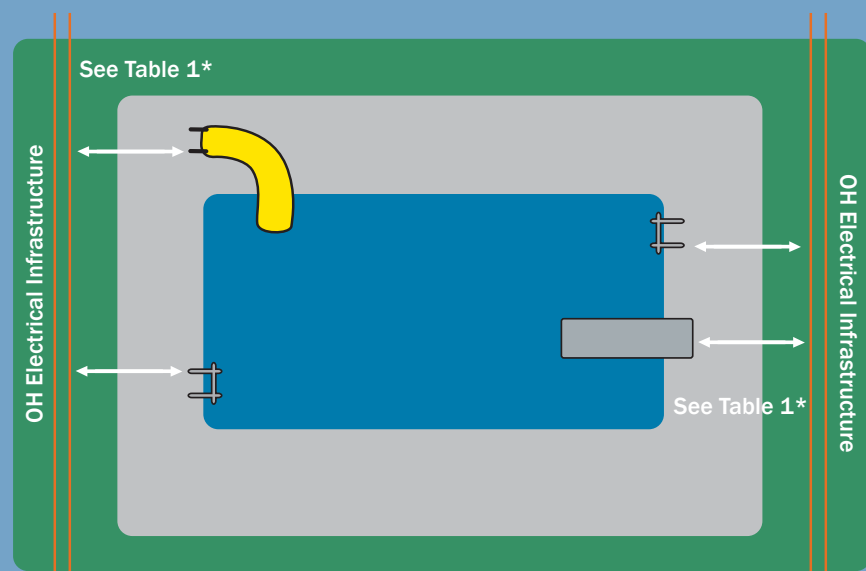
Clearances for Swimming Pools

Electrical safety around swimming pools, hot tubs, and water features is critical, as the combination of water and electricity can create dangerous and unintended paths of electric current. Installations of in-ground and above ground swimming pools typically require a permit from the city. The city permitting department, pool and spa contractors, and property owners must be informed and work together to ensure all laws, regulations and local requirements are met.

The clearance requirements specified in the Ontario Electrical Safety Code (OESC) Section 68, Pools, tubs, and spas are harmonized with Canadian Standards Association (CSA) Standard C22.3 No. 1 Overhead systems and CSA Standard C22.3 No. 7 Underground systems. Burlington Hydro Inc. references these CSA Standards as part of their electrical safety distribution regulation.



Figure 1: Pool Top View



*From closest point from the electrical equipment to the edge of the pool and pool accessories or unfixed equipment, e.g. diving board, hand rail, slide

Overhead

Swimming pools, hot tubs, and water features shall not be located under or adjacent to overhead electrical infrastructure, or within 5 m (16 ft) horizontal distance of the pool area. It is important to factor in not only the pool, but any pool accessories (see Figures 1 & 2 and Table 1) and includes:

- Un-fixed equipment such as hand-held vacuums and pole skimmers, removable ladders
- Fixed equipment such as slides, diving boards, swings, lights, or platforms
- Structures such as shed, decks, or fences.

Underground

Electrical infrastructure and other utilities that are underground pose a risk of tingling or shock or to bathers. Burlington Hydro Inc. should be contacted to ensure the required clearances are met based on the type of buried infrastructure, see Figure 2 and Table 2.

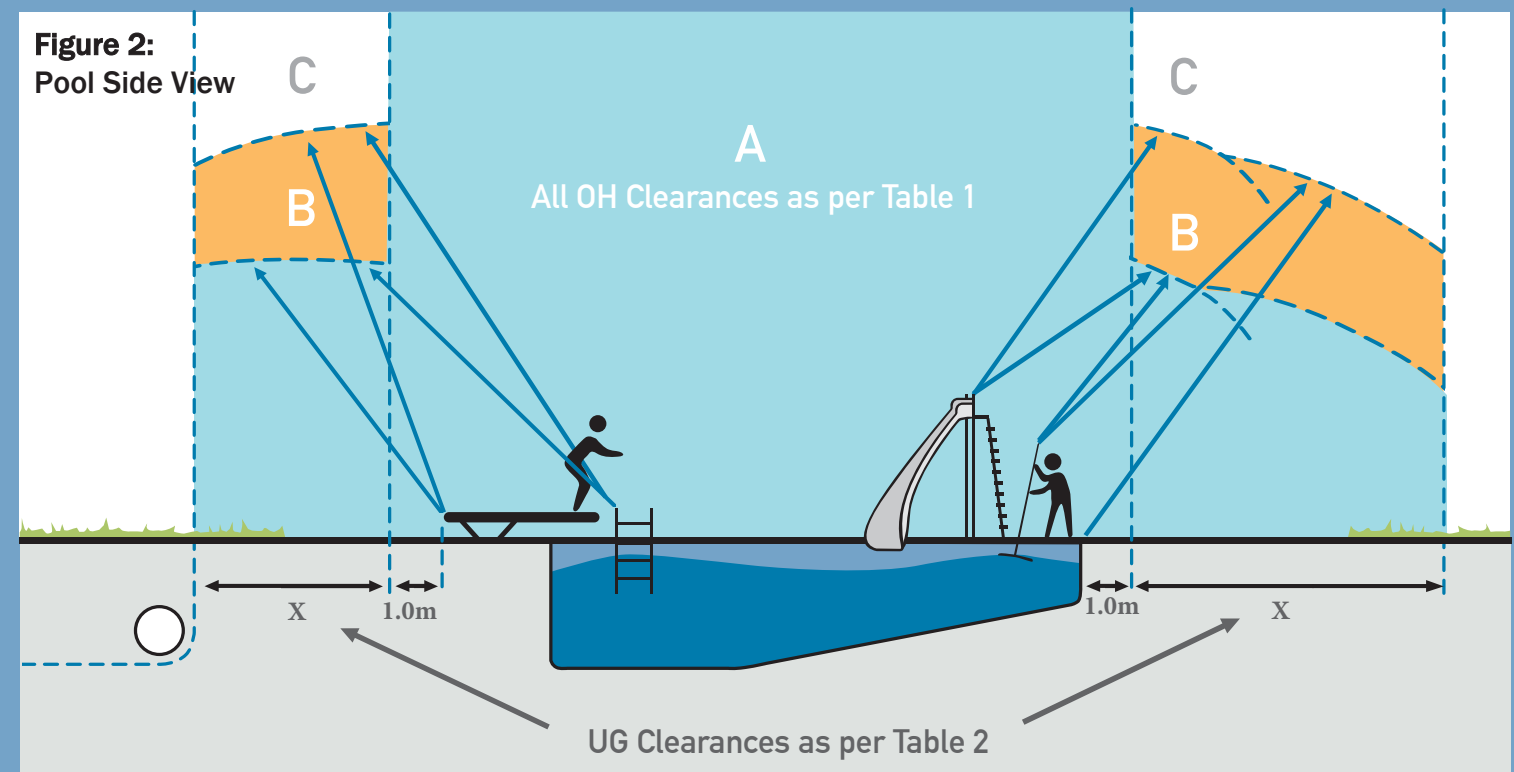
Table 1: OVERHEAD CLEARANCES

Electrical Infrastructure Voltage Level	Minimum Clearances from Inside Walls of Pool and the Outer Edge of Pool Accessories
A	NOT PERMITTED
B 0 - 750V	5 m (16 ft)
C 750V - 46kV	7.5 m (25 ft)

Table 2: UNDERGROUND CLEARANCES

Electrical Infrastructure Voltage Level	Minimum Separation Direct Buried Duct	Minimum Separation Concrete Encased
A	NOT PERMITTED	NOT PERMITTED
0 - 750V	1.5 m (5 ft)	1.0 m (~3 ft)
750V - 15kV	3 m (10 ft)	1.5 m (5 ft)
15kV - 28kV	4 m (13 ft)	2 m (6.5 ft)
27.6kV - 44kV	5 m (~16 ft)	2.5 m (~8 ft)

Figure 2: Pool Side View



Clearances to Overhead Electrical Infrastructure

Communication between all parties involved in the design, construction, renovation, for the use and maintenance of buildings near overhead (OH) electrical infrastructure is key. Planners, architects, developers / contractors, and property owners must be informed and work together to ensure all laws, regulations and local requirements are met for the safety of workers and occupants.

New Buildings or Additions to Buildings

It is essential that Burlington Hydro Inc. is notified on proposed projects early in the design phase to review and provide feedback. Site plan applications should be provided, including the drawings, to capture any conflicts before any permit is issued by the municipality. Ideally, Burlington Hydro Inc. will be asked to provide pre-design input.

For any new building or additions to existing buildings, there are a number of codes and regulations that govern the proximity to overhead electrical infrastructure that must be adhered to by all stakeholders. The Ontario Building Code (OBC), Ontario Electrical Safety Code (OESC), Ontario Occupational Health and Safety Act (OHSA), and Ontario Regulation 22/04 all have the same requirements regarding clearances. **These clearances take into account the conductor swing as per the OBC and apply to the outermost part of the building, which includes the balconies, fire escapes, flat roofs, or other projections beyond the face of the building as shown in Figure 1.**

The OBC regulates the design and construction of all new buildings and for additions, alterations and change of use of existing buildings. Applying Article 3.1.19.1, Above Ground Electrical Conductors; Clearances to Buildings, **minimum horizontal clearances to OH electrical infrastructure are as follows:**

Clearance from the OH Power Line	<750V	>750V
Radial to conductor	3 m (10 ft)	5 m (16.5 ft)
Along the OH pole line (from a vertical line drawn from power line to ground level)	2 m (6.5 ft)	5 m (16.5 ft)

All stakeholders should contact Burlington Hydro Inc. to determine the requirements for the specific design scenario.

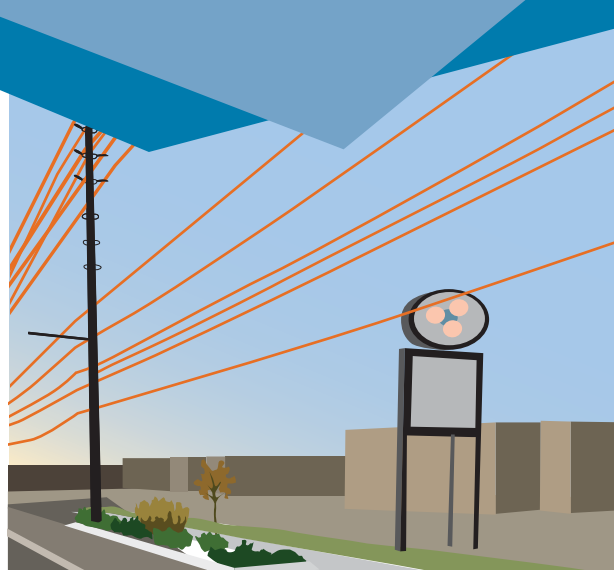
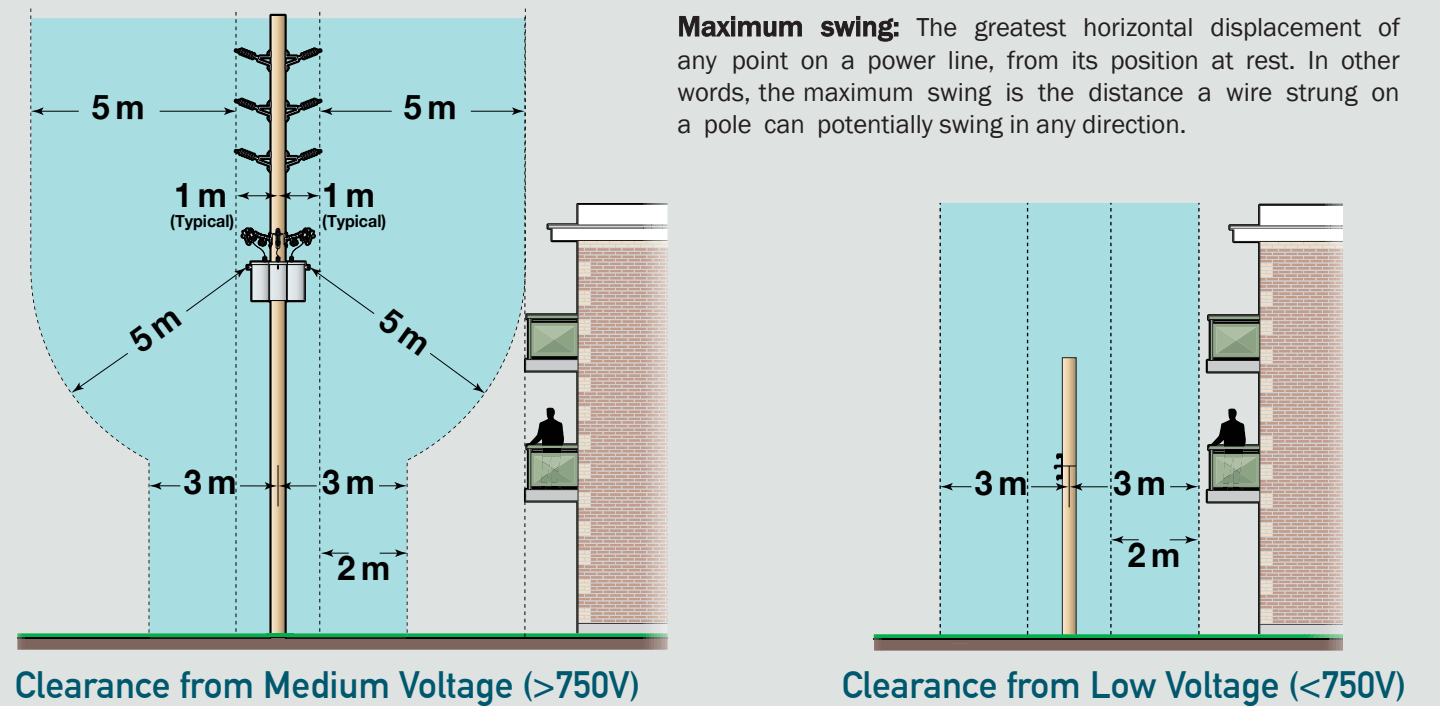
According to CSA C22.3 No. 1, permanent or temporary structures / buildings or their extensions, should not be over or underneath overhead electrical infrastructure.

Examples of instances when these clearances become necessary for workers and occupants:

- **Workers** – using scaffolding during construction, putting up signs and lighting, or other equipment to maintain the building, i.e. resurfacing, window washing or use of cranes.
- **Occupants** – using clothes lines, business signs, flags, or general reach from a balcony

Burlington Hydro Inc. should be contacted prior to any activity within 3 m of the OH electrical infrastructure, such as tree trimming or working on the sides of a building. According to the Ministry of Labour's Occupational Health and Safety Act and the Electrical Safety Code, only Burlington Hydro's employees or approved contractors can work in proximity to these lines.

Figure 1: Ontario Building Code Clearance Requirements



Clearances to Underground Electrical Infrastructure

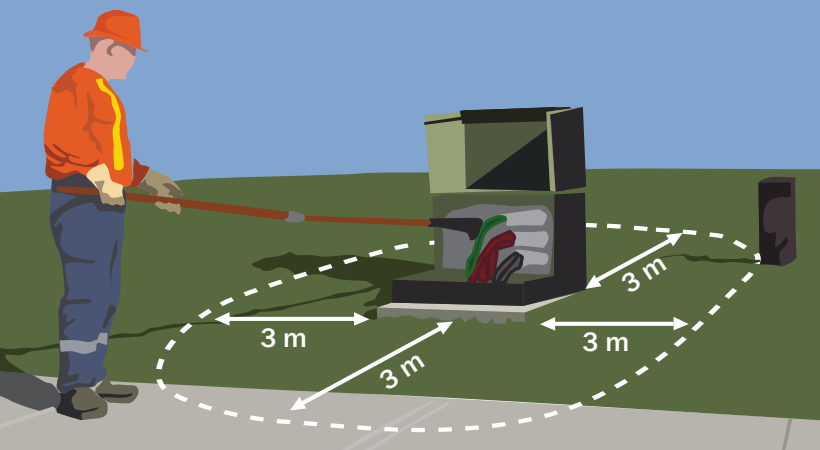
Clearances around underground (UG) electrical infrastructure as per Burlington Hydro's specifications and standards must be met by planners, architects, developers / contractors, municipalities, and property owners.

Electrical workers must be able to safely access equipment to operate, maintain or replace it, see **Figure 1**. The property owner will be responsible for any costs related to removing an obstruction, or if power restoration is delayed due to the obstruction.



Figure 2: Pad Mount Clearance Concerns

Figure 1: Clearances to Pad Mounted Equipment



The following clearances around pad mounted electrical equipment mitigate all risks associated with working space and hazards related to the ground grid. This area must remain free of any structures, obstructions, or plantings:

3 m (10 ft) on all sides

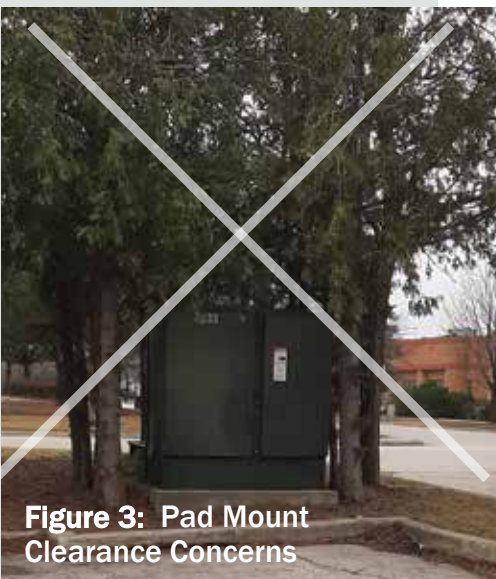


Figure 3: Pad Mount Clearance Concerns

Other UG Utilities

Burlington Hydro Inc. and all other UG utility stakeholder infrastructure including communications, water, wastewater, and gas facilities must **meet the clearances to UG electrical infrastructure as per CSA C22.3 No.7 Underground Systems**.

In order to meet these requirements, coordination of all facilities within proximity of other UG equipment is essential.

Municipalities & Property Owners

Above ground obstructions or hiding the electrical equipment is not permitted, see **Figures 2 and 3**. Municipalities and property owners must be aware of the clearances for the safety of its assets in proximity to UG electrical infrastructure, including but not limited to:

Municipalities: bus shelters, traffic signs

Property Owners: decks or patio blocks, retaining walls, pool equipment, hot tubs, storage sheds, metallic objects like mail-boxes, flag posts, outdoor patio seating (temporary and permanent)

Locates

It is important to know where UG electrical infrastructure and other utilities are located before work begins, regardless of the project size. Examples include but are not limited to:

Contractors: excavating for an addition, new building, sidewalks, or repairing buried infrastructure

Property Owners: planting a tree, landscaping, installing a fence, deck, driveway, or repairing buried infrastructure (pools, heated driveways, irrigation and sprinkler systems)

To protect the project from unnecessary damage, injuries, and financial penalties, contractors and property owners involved in the above activities must contact Ontario One Call at:

Request a locate
Ontario One Call or 1-800-400-2255
www.ontarioonecall.ca

The various utilities will mark the location of buried UG infrastructure so the dig can be done safely.

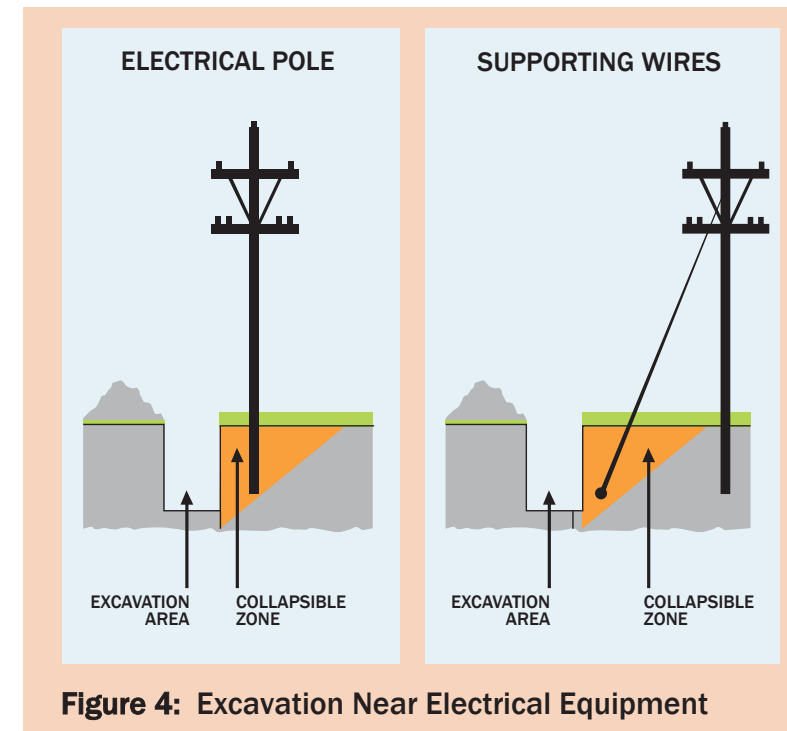


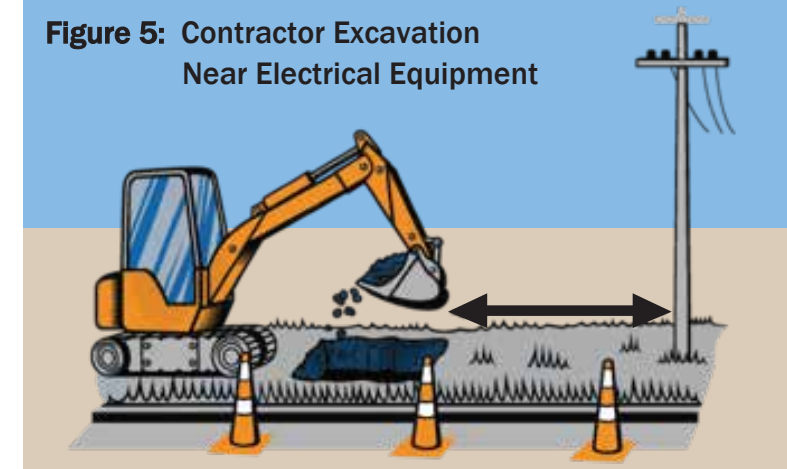
Figure 4: Excavation Near Electrical Equipment

Excavating & Digging

Extreme caution should be used when digging near the marked UG infrastructure or electrical pole (including guy wires, ground grid) see **Figures 4 and 5**. **Contact with a sharp shovel or excavation equipment could easily damage electrical infrastructure and could result in harmful electrical current.**

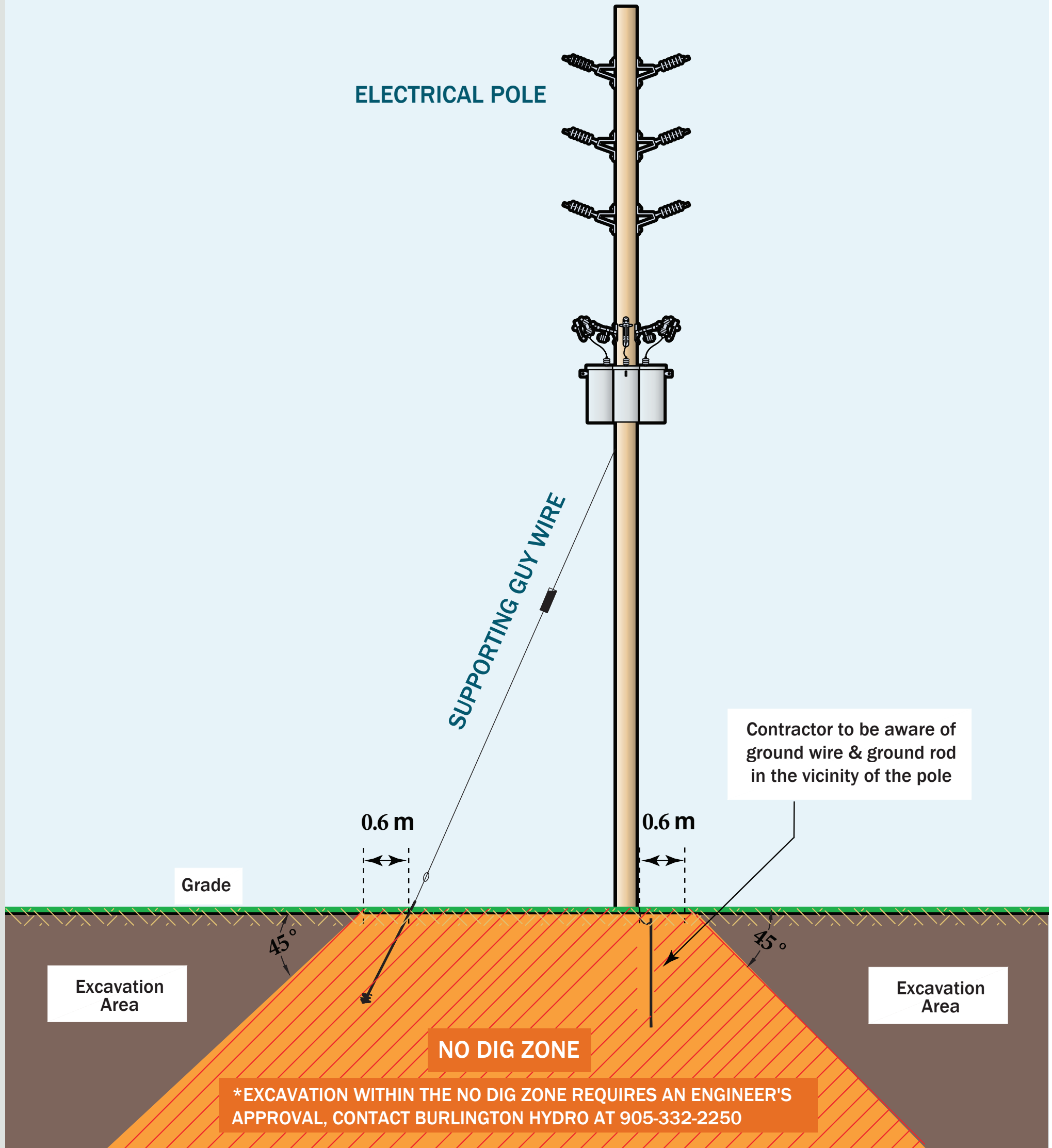
See ESA's "Guideline for Excavating in the Proximity of UG Distribution Lines" www.esasafe.com and contact Burlington Hydro Inc. for guidance before excavation in the proximity of electrical infrastructure.

Figure 5: Contractor Excavation Near Electrical Equipment



Excavation Around Pole, Anchor & Guy Wire Guideline

Minimum Distance from the Pole or Anchor = Depth of Excavation(m) + 0.6m



**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: _____

Name of Zoning Examiner: JENNIFER PARKER

PROPERTY INFORMATION

Municipal Address(es) of property:

904 EASTERBROOK AVE., BURLINGTON,

Legal Description of property:

LOT 14 REGISTERED PLAN 791 (PF) CITY OF BURLINGTON

Official Plan Designation: SINGLE FAMILY Current Zoning Designation R 2.1

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

JASON RUTLEDGE & EMILY VICTORY

Mailing Address: 904 EASTERBROOK AVE. City: BURLINGTON

Postal Code: _____ Home Phone: _____ Mobile Phone: 905-865-6811

Work Phone: _____ E-Mail: jason.rutledge@jmail.com

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name: KEVIN WEBSTER

Business Address: 68 NORTH VALLEY DR. City: WELLAND

Postal Code: L3C 7L6 Home Phone: _____ Mobile Phone: _____

Work Phone: 905-639-2009 E-Mail: Kevin@kwdesigns.ca

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

NEW GROUND FLOOR & SECOND FLOOR DWELLING, WITH
ATTACHED GARAGE, COVERED FRONT PORCH, & REAR
COVERED PORCH. REMOVE EXISTING SHED.

Variance(s) Requested	Zoning Bylaw Requirement
FRONT YARD SETBACK TO NEW COVERED PORCH 7.37 m (EXISTING) 6.13 m TO STEPS (EXISTING)	10.35 m TO STEPS & PORCH
REQUIRE 9.2 m TO NEW 2 STOREY DWELLING WITH ATTACHED GARAGE	11.00 m REQUIRED.
REAR SETBACK TO NEW COVERED PORCH 5.63 m	9.35 m TO PORCH
LOT COVERAGE ALLOWED 25% PROPOSED LOT COV. 29.7%	

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

1. Why is the variance(s) minor in nature? DUE TO THE EXISTING LOCATION OF THE DWELLING & FRONT PORCH WE FEEL THE NEW COVERED PORCH & FRONT WALL ARE MINOR DUE TO THE STRUCTURE IS ALREADY THERE.

2. Why are the variance(s) desirable for the appropriate use of the land? THE VARIANCE ARE DESIRABLE BECAUSE THE NEW CONSTRUCTION IS AT THE SIMILAR LOCATION & HEIGHT OF EXISTING

3. Do the variance(s) meet the intent and purpose of the Official Plan? WE FEEL THE VARIANCES MEET THE OFFICIAL PLAN BECAUSE THE HOUSE SUITS THE NEIGHBOURHOOD & IS KEEPING WITH A TRADITIONAL STREET SCAPE

4. Do the variance(s) meet the intent and purpose of the Zoning By-law? THEY MEET THE ZONING BYLAW INTENT BECAUSE THE NEW STRUCTURE IS IN THE SAME PLACE AS THE EXISTING STRUCTURE.

PROPERTY DETAILS (please complete all fields):

Date property purchased: <u>10/01/2022</u> mmm/dd/yyyy	Date property first built on: <u>1/1960</u> mmm/dd/yyyy	Date of proposed construction: <u>July/01/2024</u> mmm/dd/yyyy
--	---	--

Existing Use of the Subject Property (check one):

- Detached Dwelling
 Semi-Detached Dwelling
 Townhouse Dwelling
 Street Townhouse Dwelling
 Stacked Townhouse Dwelling
 Apartment
 Mixed Use
 Hi Rise
 Commercial
 Industrial
 Vacant
 Other _____

Length of time the existing uses of the subject property have continued:

SINCE BUILT

Proposed Use of the Land:

SINGLE FAMILY

Existing Uses of Abutting Properties (check all that apply)

- Residential
 Commercial
 Industrial
 Multi-Residential
 Vacant
 Hydro right-of-way
 Railway right-of-way
 Provincial Highway
 Park
 Other _____
 Conservation Halton Lands: Lake Ontario
 Creek
 Storm Water Management Pond/Channel
 Ravine

Additional Information

- Is liquor sold on site? Y or N
 Is the property on the heritage inventory list for the Heritage Burlington? Y N Unknown

Type of Access to the Subject Lands

- Provincial Highway
 Municipal Road
 Private Road
 Water
 Other(specify)

Municipal Services Provided

- Water If not available, by what means is it provided: _____
 Sanitary Sewers If not available, by what means is it provided: _____
 Storm Sewers If not available, by what means is it provided: _____

IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS:

- Official Plan Amendment
 Zoning By-law Amendment
 Building Permit
 Site Development Plan
 Plan of Subdivision
 Previous Minor Variance
 Consent

File Number and File Status: _____

FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Frontage	Depth	Area	Actual	Deemed	Required		
24.37	37.39	852.29 sq.m		20m	N/A	29.1%	

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Dwelling/Building)

PROPOSED (Dwelling/Building/Addition)

Ground Floor Area (incl. attached garage)	137.02	M ²	Ground Floor Area (incl. attached garage)	241.91	M ²
Gross Floor Area:	169.60	M ²	Gross Floor Area:	301.8	M ²
Number of Storeys:	2		Number of Storeys:	2	
Width:	11.15	M	Width:	16.40	M
Length:	17.34	M	Length:	18.26	M
Height:	5.26	M	Height:	8.72	M

Garage/Car Port

Garage/Car Port

Detached?		Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Detached?		Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Gross Floor Area:	29.08	M ²	Gross Floor Area:	48.0	M ²
Width:	4.47	M	Width:	5.69/3.66	M
Length:	6.50	M	Length:	10.77	M
Height:	2.40	M	Height:	2.44	M

To BE REMOVED
Accessory Structures (Shed, Gazebo, etc)

Accessory Structures

Gross Floor Area:	7.43	M ²	Gross Floor Area:	0	M ²
Width:	2.4	M	Width:	0	M
Length:	3.0	M	Length:	0	M
Height:	3.0	M	Height:	0	M

Other (pool, additional sheds, decks, driveways, etc.)

Other

Gross Floor Area:	N/A	M ²	Gross Floor Area:	N/A	M ²
Width:	N/A	M	Width:	N/A	M
Length:	N/A	M	Length:	N/A	M
Height:	N/A	M	Height:	N/A	M

LOCATION of all existing and proposed buildings and structures

EXISTING

PROPOSED

Front:	7.37m TO PORCH	9.22	M	Front:	7.37 TO COVERED PORCH	9.22	M
Rear:		16.89	M	Rear:	5.63 TO PORCH	11.61	M
Side/Street Side:		3.55	M	Side/Street Side:		3.22	M
Side/Other Side:		3.29	M	Side/Other Side:		2.77	M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

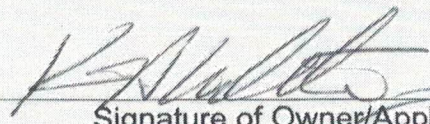
Thank you for your co-operation,

Catherine Susidko-Petriczko
Secretary-Treasurer
Committee of Adjustment

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name EMILY VICTORY
JASON RUTLEDGE

Property Address 904 EASTERBROOK AVE


Signature of Owner/Applicant

JAN 02 / 2024
Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized Agent

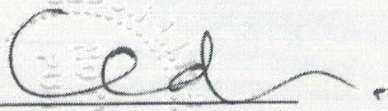
Agent: KEVIN WEBSTER

I, KEVIN WEBSTER of the CITY of WELLAND in the Region of Halton
(print name) (Region/City/County) (City/Town/Township)

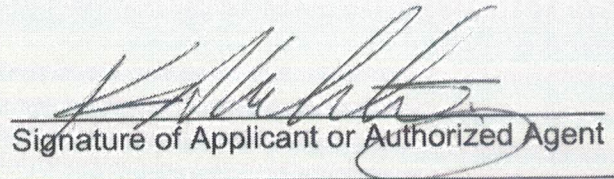
of NIAGARA solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the City of Burlington in the Region of Halton
(Region/City/County) (City/Town/Township)

this 29th day of January 2024.



Signature of Commissioner, etc.
Eldon E. Hunt, B.A., LLB
Barrister & Solicitor
562 Market Avenue
Burlington
L7R 4K1



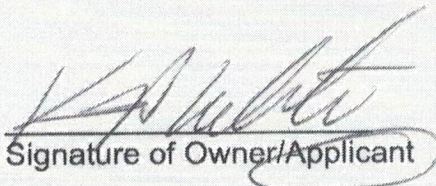
Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 904 EASTERBROOK AVE.

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.



Signature of Owner/Applicant

EMILY VICTORY
JASON RUTLEDGE
KEVIN WEBSTER

Print Name

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, EMILY VICTORY
JASON RUTLEDGE being the registered owner of the subject lands, hereby
(print name)

Authorize KEVIN WEBSTER to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.


J. Victory
Signature of Owner
Emily Victory

Jan. 2 / 2024
Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select
NEW LEGAL SURVEY (Mandatory for ALL new development and substantial replacements on a property; must be prepared and stamped by an Ontario Land Surveyor (OLS) or Professional Engineer (P.Eng))	
OR	
EXISTING LEGAL SURVEY (must be prepared and stamped by an OLS or P.Eng)	
OR	
DETAILED SITE PLAN and ELEVATIONS (must be prepared and stamped by an OLS or P.Eng) see below for minimum requirements	
PLAN DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	
SITE PLAN <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Metric Scale <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Frontage <input checked="" type="checkbox"/> Depth <input checked="" type="checkbox"/> Lot Area <input checked="" type="checkbox"/> Lot Coverage <input checked="" type="checkbox"/> Deemed Street Line <input checked="" type="checkbox"/> Existing Front Yard Setbacks <input checked="" type="checkbox"/> Existing Rear Yard Setbacks <input checked="" type="checkbox"/> Existing Side Yard Setbacks <input checked="" type="checkbox"/> Existing Street Side Yard Setbacks <input checked="" type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Proposed Front Yard Setbacks <input checked="" type="checkbox"/> Proposed Rear Yard Setbacks <input checked="" type="checkbox"/> Proposed Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Street Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Streets (Public and Private) <input checked="" type="checkbox"/> Street Names <input checked="" type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input checked="" type="checkbox"/> Railways (Location of them and setbacks to structures) <input checked="" type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.
Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- Setbacks
- Height
- Area
- Length
- Width

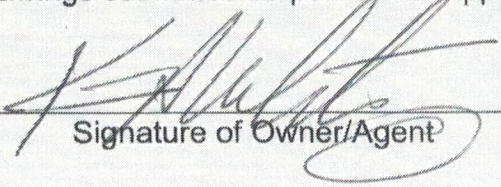
ELEVATIONS

- Metric
- Front
- Rear
- Side 1
- Side 2

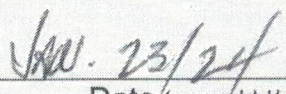
FLOOR PLANS

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Finished Floor Calculation
- Floor Space Index (where applicable)
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.



Signature of Owner/Agent



Date (mmm/dd/yyyy)

NOTICE OF PUBLIC HEARING

Jason Rutledge and Emily Victory, the owners of 904 Easterbrook Ave. Burlington, have applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **904 Easterbrook Ave. Burlington** (see map).

The applicant is proposing the construction of a two-storey detached dwelling with an attached garage and Additional Residential Unit in the basement. This proposal results in the following variances:

1. To permit a front yard of 9.2 m instead of the minimum required 11 m for a proposed two storey dwelling with attached garage.
2. To permit a front yard of 6.1 m instead of the minimum required 10.35 m (11 – 0.65 m encroachment) for a proposed roofed-over 1-storey porch including steps and roof overhang excluding eaves and gutter.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **January 20th, 2025**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 5, 2025,

This application is scheduled to be heard at or after 5:30 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

City of Burlington Committee of Adjustment - Community Planning
426 Brant Street P.O. Box 5013 Burlington, Ontario, L7R 3Z6
committeeofadjustment@burlington.ca

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **4:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Erin Shacklette at committeeofadjustment@burlington.ca

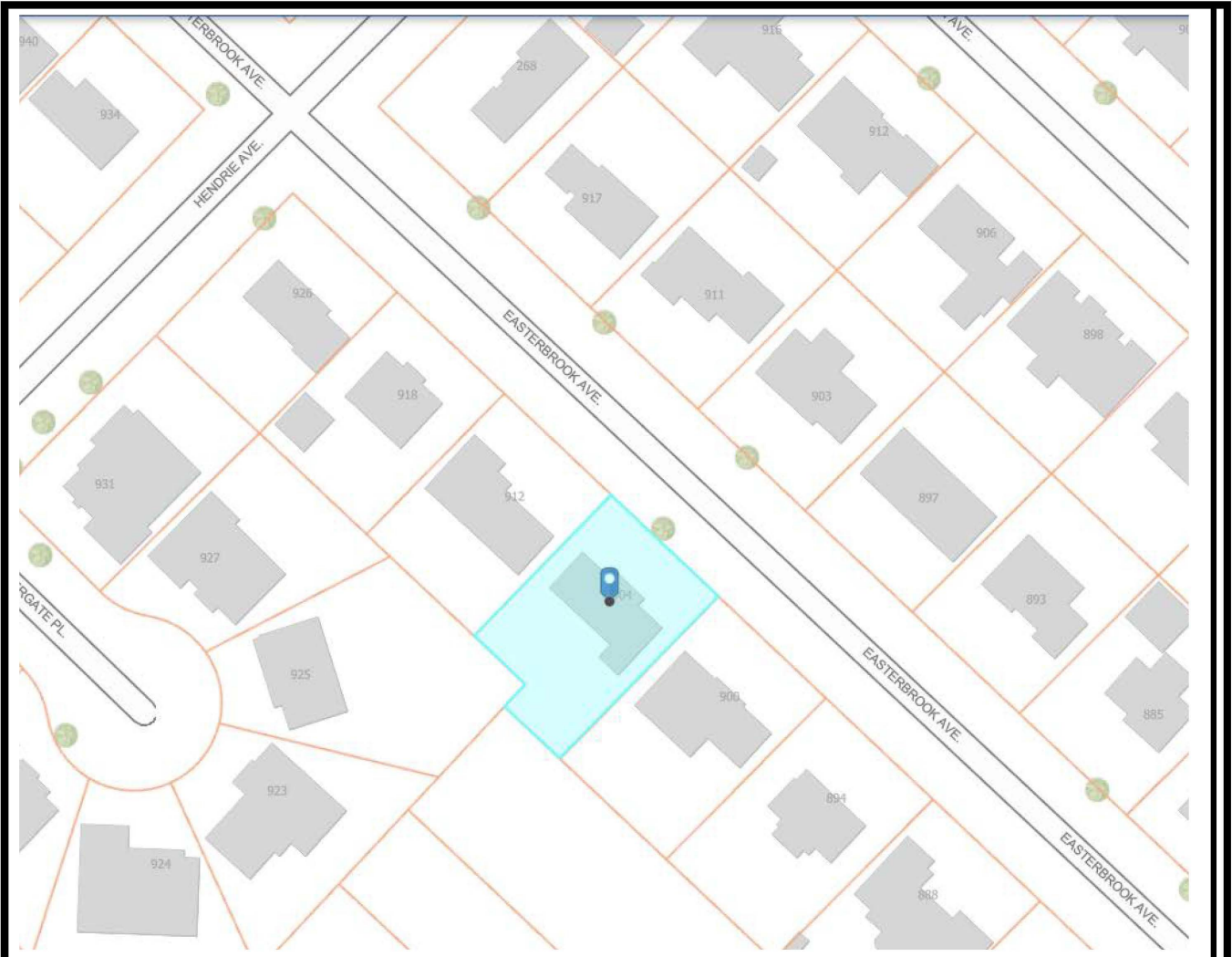
Yours truly,



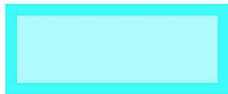
Erin Shacklette
Secretary-Treasurer
Committee of Adjustment

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Key Map



Key Map



904 Easterbrook Ave



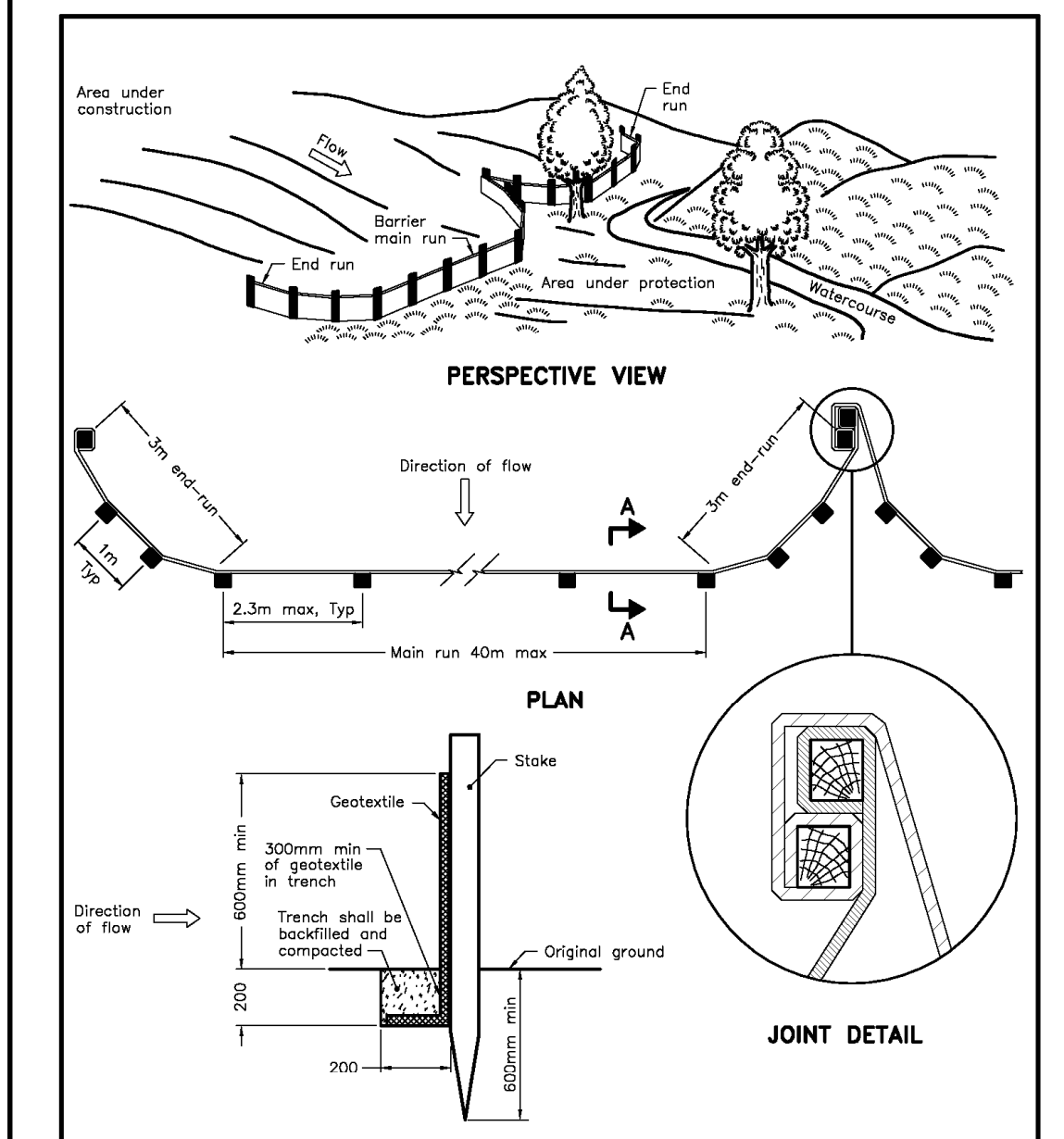
Committee of Adjustment Community
Planning Department - Planning
Implementation

CITY OF BURLINGTON ZONING BY-LAW 2020
ZONING REGULATION - R2.1 DESIGNATED AREA

ZONE	REQUIRED	PROVIDED
LOT WIDTH (@ 9.1m)	18.0m (min)	24.37m
LOT AREA	700.0 sq.m. (min)	852.29sq.m.
FRONT YARD	11.0m (min)	9.22m*
	10.35m (min) TO PORCH	6.13m* TO FRONT STEPS 7.37m* TO FRONT PORCH
REAR YARD	10.0m (min)	10.57m
		5.63m TO REAR DECK
SIDE YARD	10% OF ACTUAL LOT WIDTH	2.71m SOUTHEAST 2.44m NORTHWEST
STREET SIDE YARD	4.5m (min)	N/A
BUILDING AREA	243.95 sq.m. (PROPOSED DWELLING)	243.95 sq.m. (TOTAL AREA)
LOT COVERAGE	25% (max)	28.6%*
BUILDING HEIGHT	10.0m (max)	8.72m
FLOOR AREA RATIO	0.45:1 (max)	0.35:1
DWELLING DEPTH	18.00 (max)	16.49m
DEEMED STREET WIDTH	N/A	
LANDSCAPED AREA		359.05sq.m. 42.1% HARDESCAPED 493.24sq.m. 57.9% LANDSCAPED

PROPOSED DWELLING = 2 STORES

* = VARIANCE REQUIRED
 LOT COVERAGE OF 29.7%
 FRONT YARD 9.2m
 FRONT YARD OF 6.1m TO FRONT STEPS



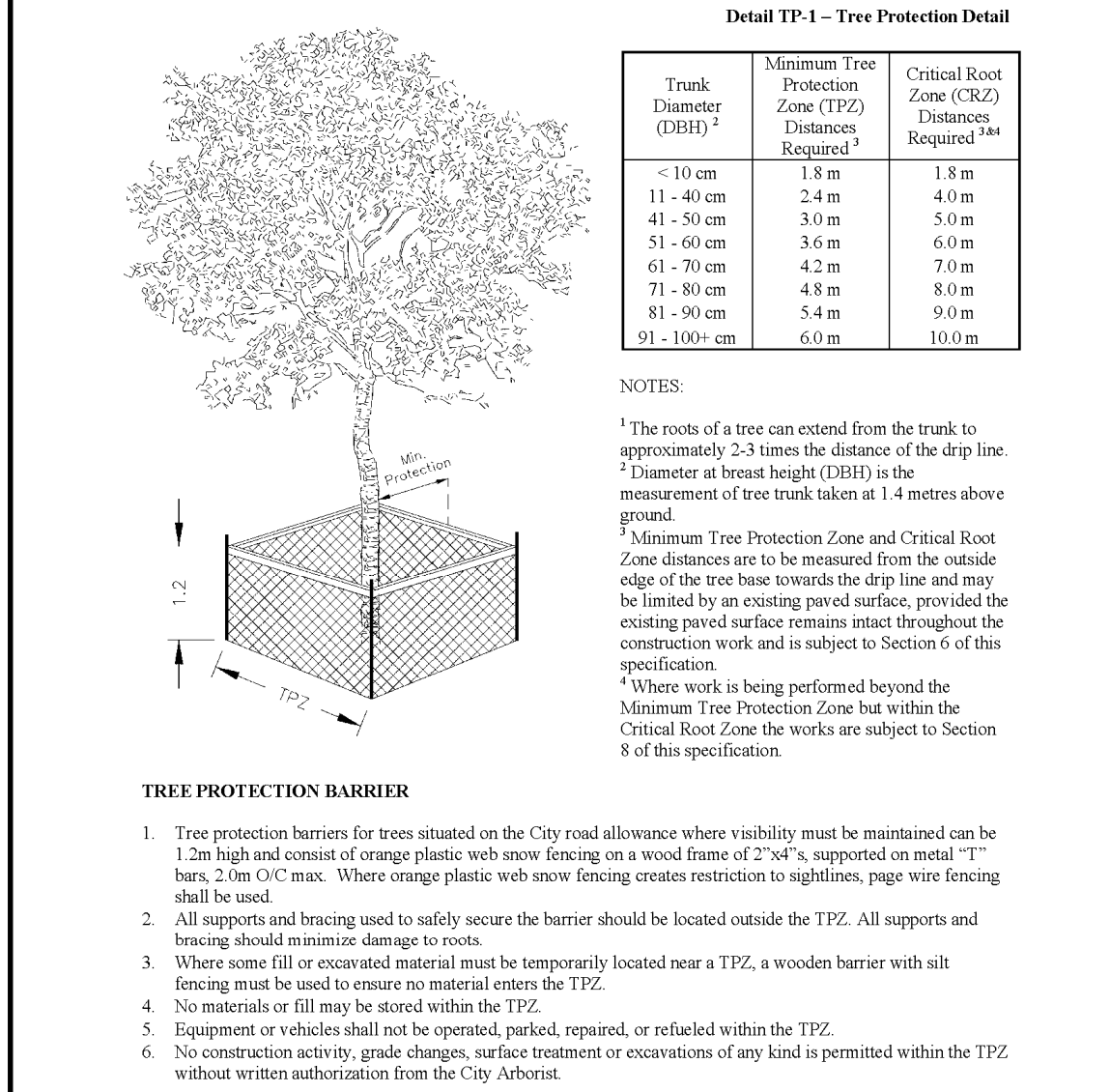
NOTE:
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2

LIGHT-DUTY SILT FENCE BARRIER

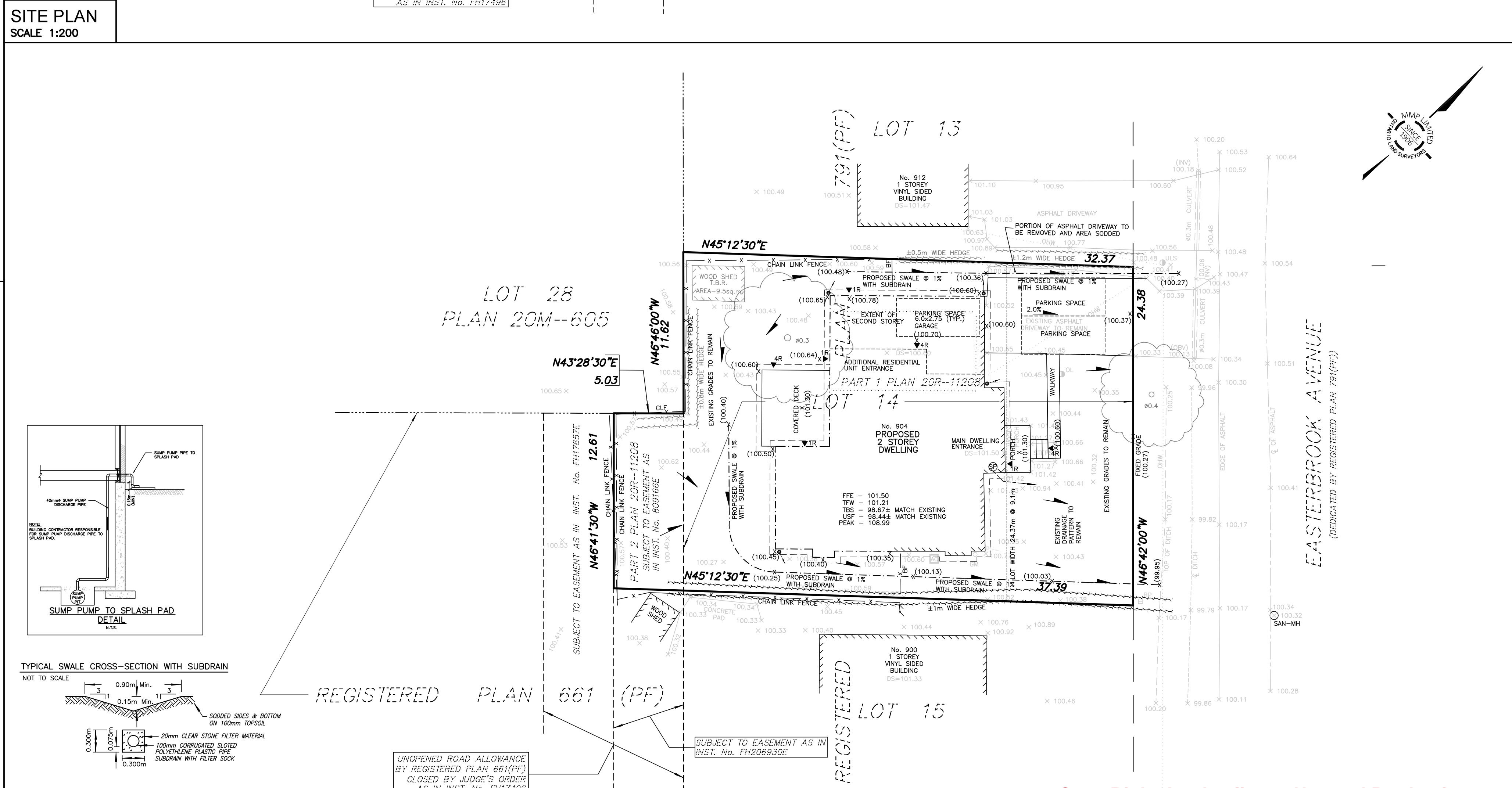
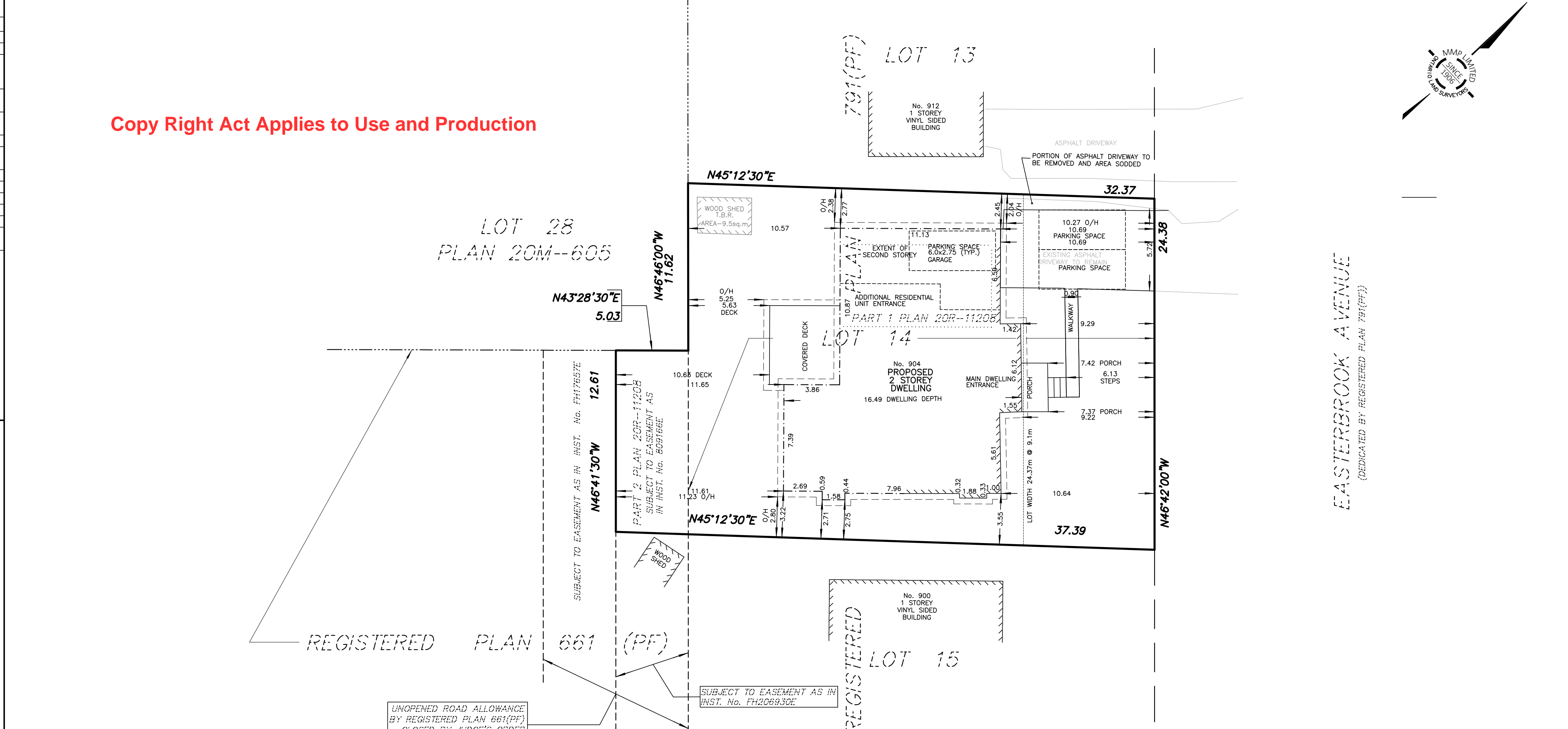
OPSD 219.110

Tree Protection and Preservation
Specification No.: SS12



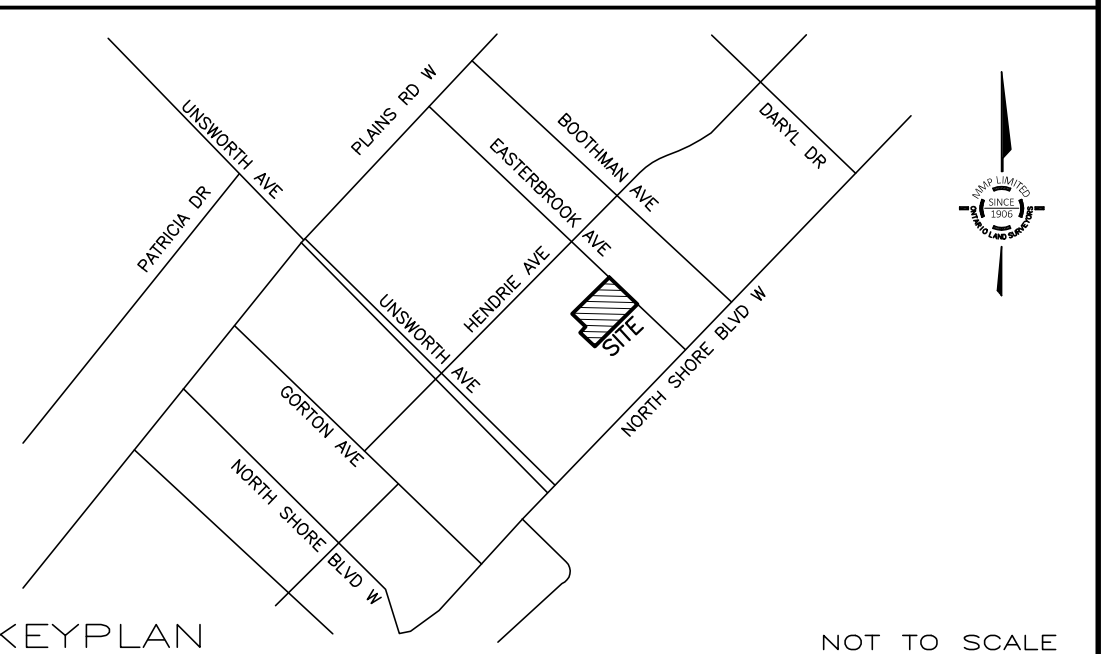
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SITE PLAN
SCALE 1:200



GRADING PLAN
SCALE 1:200

904 EASTERBROOK AVENUE
SITE & GRADING PLAN FOR BUILDING PERMIT



KEYPLAN NOT TO SCALE

GEOGRAPHIC LOCATION NOTE

LOT 14
REGISTERED PLAN 791 (PF)
AND PART OF
ROAD ALLOWANCE
REGISTERED PLAN 661 (PF)
IN THE
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON
SCALE 1 : 200

MacKAY, MacKAY & PETERS LIMITED-ONTARIO LAND SURVEYORS
© 2023

METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048 COLOUR

BENCHMARK NOTE
CITY OF BURLINGTON BENCHMARK No. 1073
ELEVATION = 98.573 METRES (CGVD28:78 ADJUSTMENT)
BRASS CAP SET VERTICALLY IN CONCRETE CYLINDER ON SOUTH SIDE OF NORTHSHORE BOULEVARD OPPOSITE BOTHMAN AVENUE EAST OF DRIVEWAY No. 254

LEGEND

FFE DENOTES FINISHED FLOOR ELEVATION	O/H DENOTES OVERHANG
FTW DENOTES TOP OF FOUNDATION WALL	OL DENOTES ORNAMENTAL LIGHT
TBS DENOTES TOP OF BASEMENT SLAB	OHV DENOTES OVERHEAD WIRES
USF DENOTES UNDERSIDE OF FOOTING	BF DENOTES BOARD FENCE
SP DENOTES SUMP PUMP	CLF DENOTES CHAIN LINK FENCE
R DENOTES RISER	C DENOTES CENTRE LINE
• DENOTES DOWNSPOUT	OBV DENOTES OBVERT
→ DENOTES DIRECTION OF DRAINAGE	TPZ DENOTES TREE PROTECTION ZONE
XXXX DENOTES EXISTING ELEVATIONS	TPB DENOTES TREE PROTECTING BARRIER
(XXX.X) DENOTES PROPOSED ELEVATIONS	--- DENOTES SILT FENCE
SAN MH DENOTES STORM MANHOLE	--- DENOTES TREE PROTECTION BARRIER
ULS DENOTES UTILITY LIGHT STANDARD	--- DENOTES TREE PROTECTION ZONE
BP DENOTES BELL PEDESTAL	AC DENOTES AIR CONDITIONER
GM DENOTES GAS METER	T.B.R. DENOTES TO BE REMOVED

○ DENOTES DECIDUOUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES
 ○ DENOTES CONIFEROUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES

NOTES

- PROPOSED TIES SHOWN HEREON ARE TO FOUNDATION ONLY
- BUILDING DIMENSIONS WERE TAKEN FROM PLANS SUPPLIED BY THE CLIENT
- EXISTING ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE VERTICAL BENCHMARK NOTED ABOVE
- LOT GRADING SHALL MATCH WITH THE EXISTING DRAINAGE PATTERNS
- BUILDER TO VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION INCLUDING ROAD AND LOT LINE GRADES
- SUMP PUMP AND DOWNSPOUTS TO DRAIN TO PERMEABLE SURFACE VIA SPLASH PADS
- ALL UNDERGROUND SERVICES MUST BE LOCATED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION
- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK
- LOT DIMENSIONS ARE AS SHOWN ON SURVEYOR'S REAL PROPERTY REPORT BY MMP LIMITED, DATED FEBRUARY 1, 2023 (22-292)
- PROPOSED BUILDING IS POSITIONED BY CALCULATION, NOT BY AN ACTUAL SURVEY
- THIS PROPOSED PLAN IS PRELIMINARY UNTIL THE APPROPRIATE BUILDING DEPARTMENT'S SIGNED APPROVAL HAS BEEN OBTAINED
- ANY AMENDMENT OR ALTERATION OF THIS PLAN MUST BE REPORTED TO MMP LIMITED PRIOR TO LAYOUT OF BUILDING IN THE FIELD
- UTILITIES AND SERVICES SHOWN ON THIS SKETCH ARE APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION
- ALL UTILITIES TO BE COORDINATED ON SITE DURING CONSTRUCTION. THE INSTALLATION OF UTILITIES SHALL NOT DISRUPT TREE PROTECTION ZONES. THE BUILDER SHALL COORDINATE INSTALLATION WITH INDIVIDUAL UTILITY PROVIDERS ACCORDINGLY
- THERE ARE NO CHANGES TO THE UNDERGROUND SERVICES OR UTILITIES

CAUTION

- THIS IS NOT AN ORIGINAL COPY UNLESS EMBOSSED
- THIS PRODUCT SHALL NOT BE USED EXCEPT FOR THE PURPOSES INDICATED IN THE TITLE BLOCK
- THIS PRODUCT IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES
- THIS PLAN IS PROTECTED BY COPYRIGHT INCLUDING ALL RELATED DIGITAL PRODUCTS

CERTIFICATION NOTE
BOUNDARY DIMENSIONS SHOWN HEREON ARE DERIVED FROM LAND REGISTRY OFFICE RECORDS AND SURVEY RECORDS OF MMP LIMITED
WE HAVE REVIEWED THE PLANS FOR CONSTRUCTION OF A 2 STOREY DWELLING LOCATED AT 904 EASTERBROOK AVENUE AND CERTIFY THAT THE GRADING SHOWN HEREON IS COMPATIBLE WITH THE ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES
PROPOSED BUILDING SETBACKS AS SHOWN
PROPOSED BUILDING HEIGHT AS SHOWN
PROPOSED LOT COVERAGE AS SHOWN
PROPOSED BUILDING SITE STATISTICS AS SHOWN

DECEMBER 3, 2024
DATE

ASAR BHERI
ONTARIO LAND SURVEYOR
FOR: MACKAY, MACKAY & PETERS LIMITED

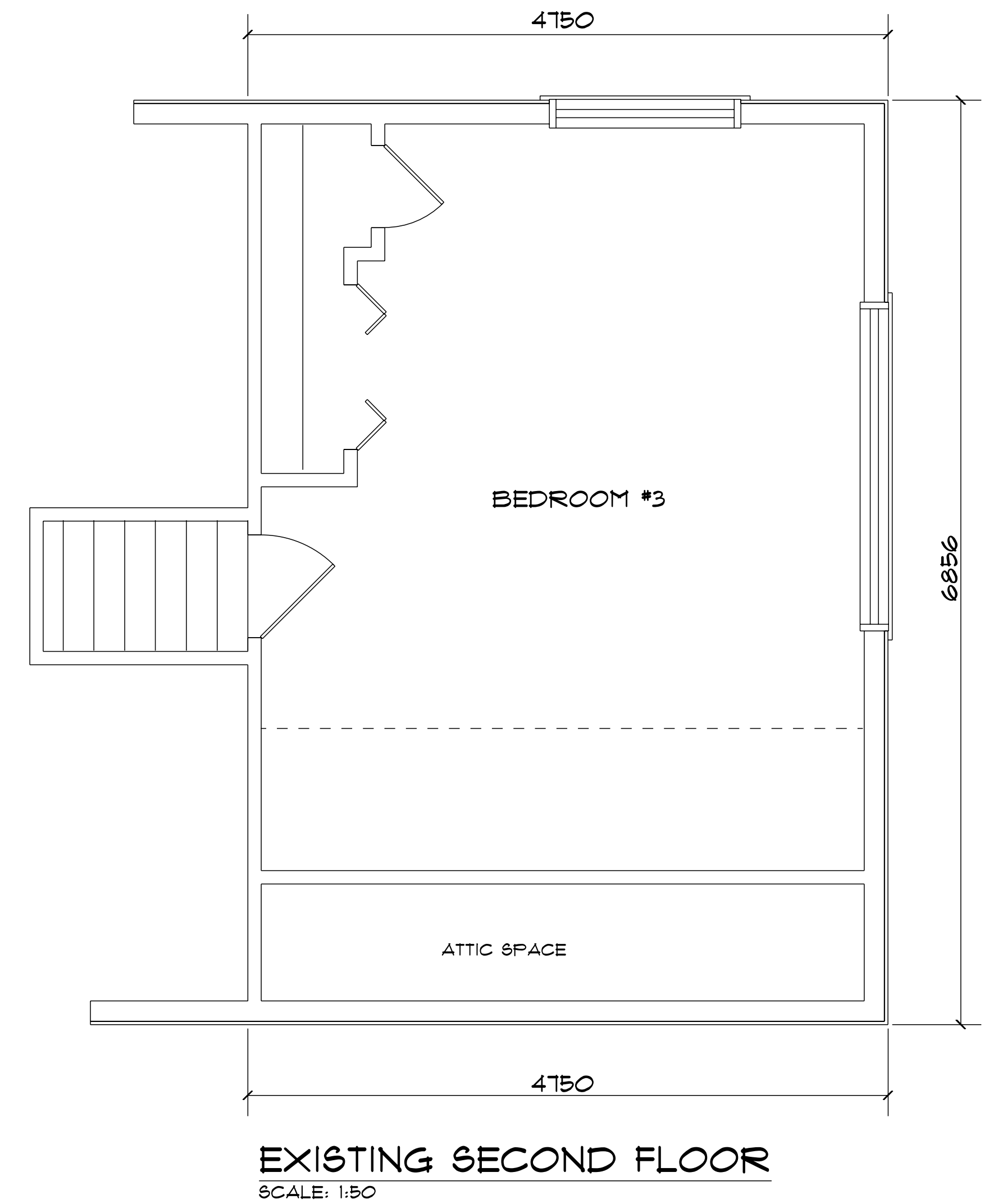
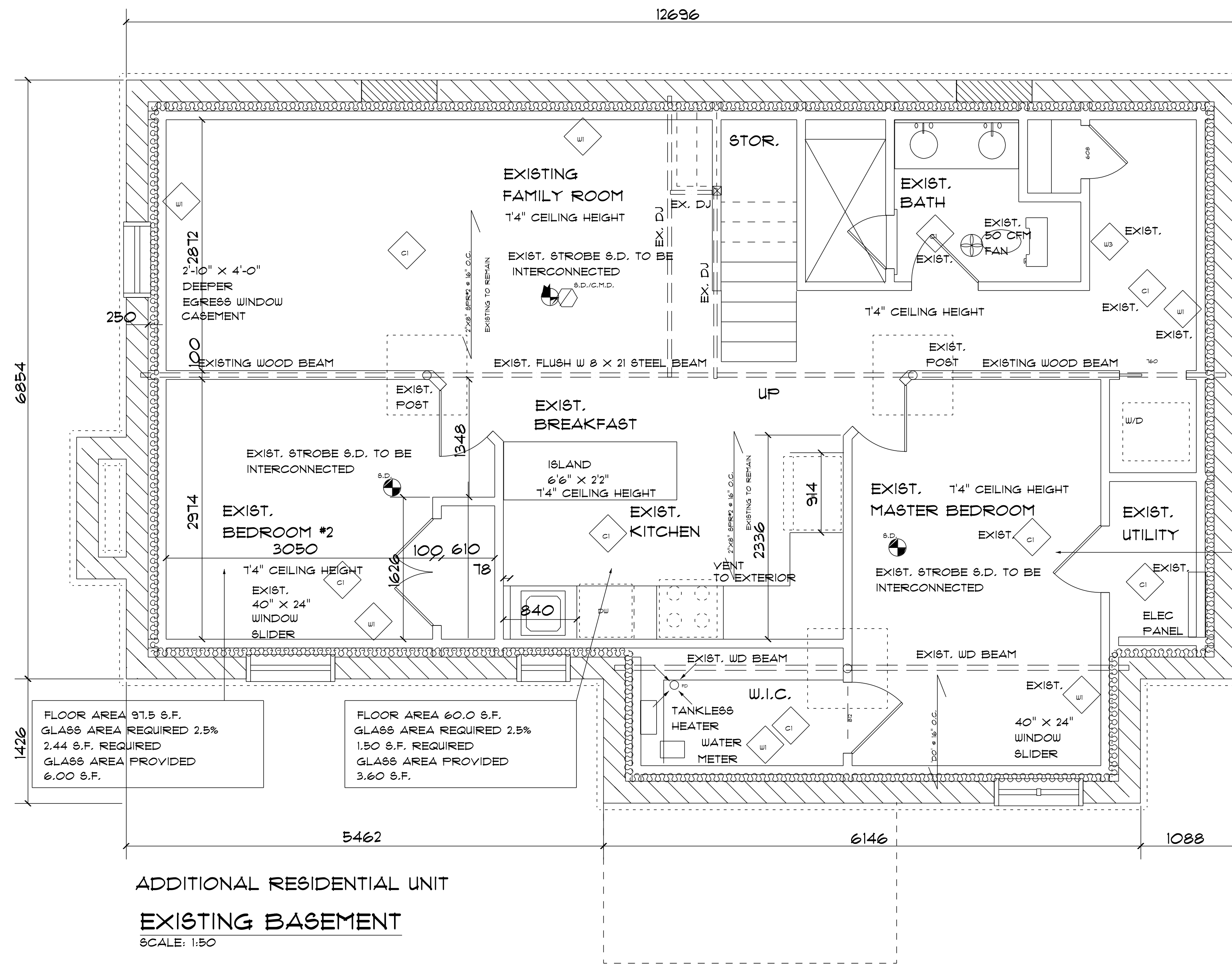
No.	DATE	REVISIONS
3	NOVEMBER 29, 2024	REVISED PER CITY COMMENTS
2	NOVEMBER 18, 2024	REVISED PER CITY COMMENTS
1	OCTOBER 26, 2023	SITE PLAN COMPLETED

MMP
MacKAY, MacKAY & Peters Limited
LAND SURVEYORS & MAPPERS
SINCE 1906

3380 South Service Road
Unit 101
Burlington, ON
L7N 3J5
(905) 639-1375
halton@mmplimited.com
mmplimited.com

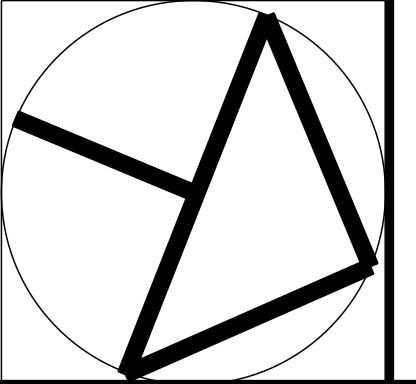
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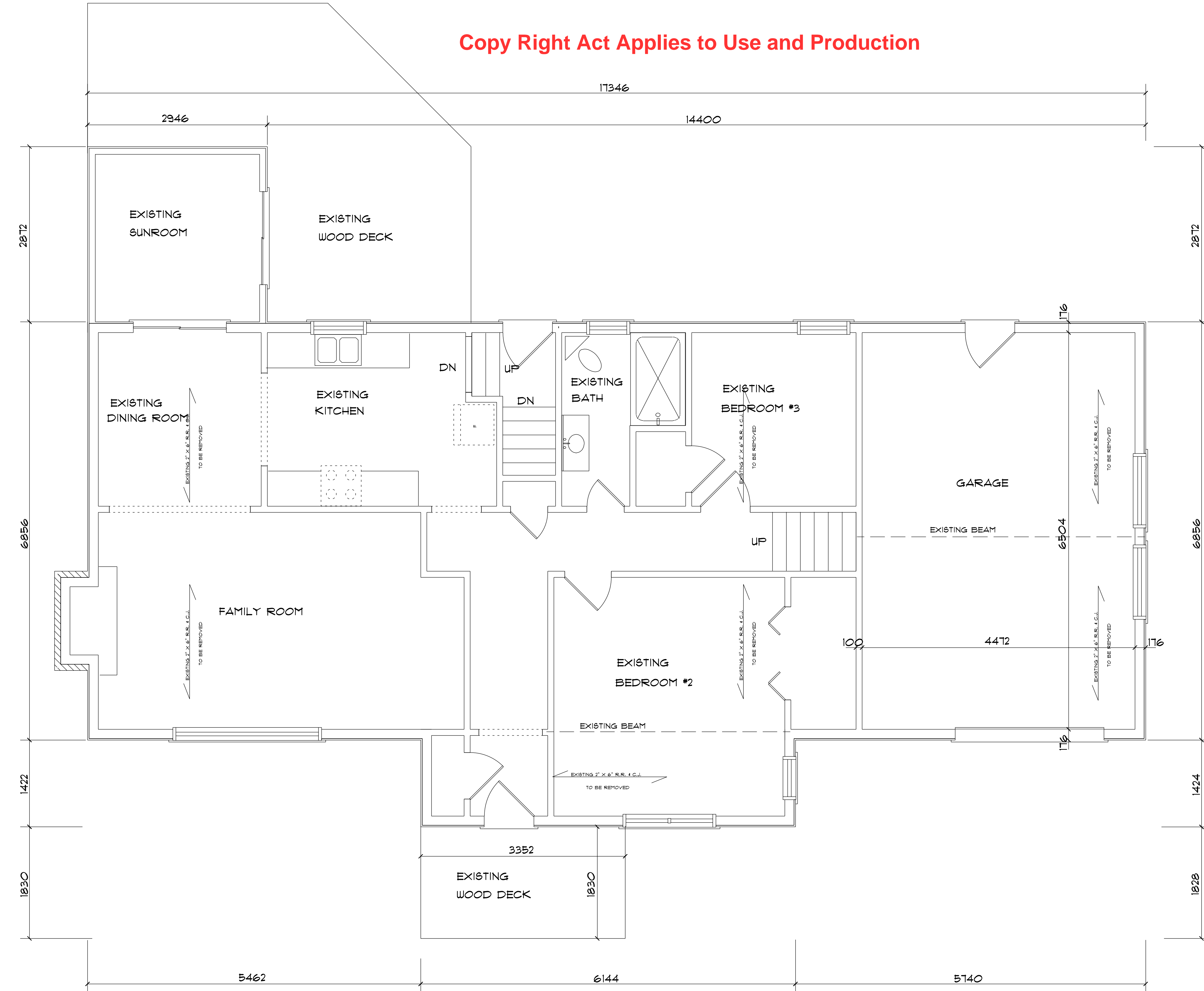


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	Kevin Webster Designs Inc. 68 North Valley Dr. Welland, Ont. L3C 7L6 kevin@kwdesigns.ca 905-639-2009	DRAWN BY: DATE: December 3, 2024	CHECKED BY:

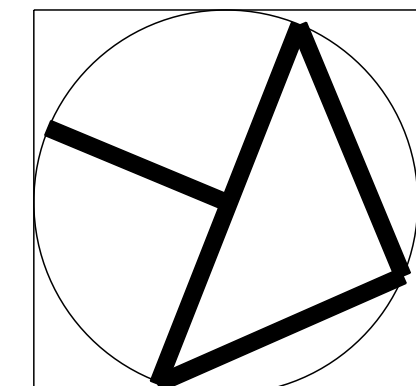


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EXISTING GROUND FLOOR
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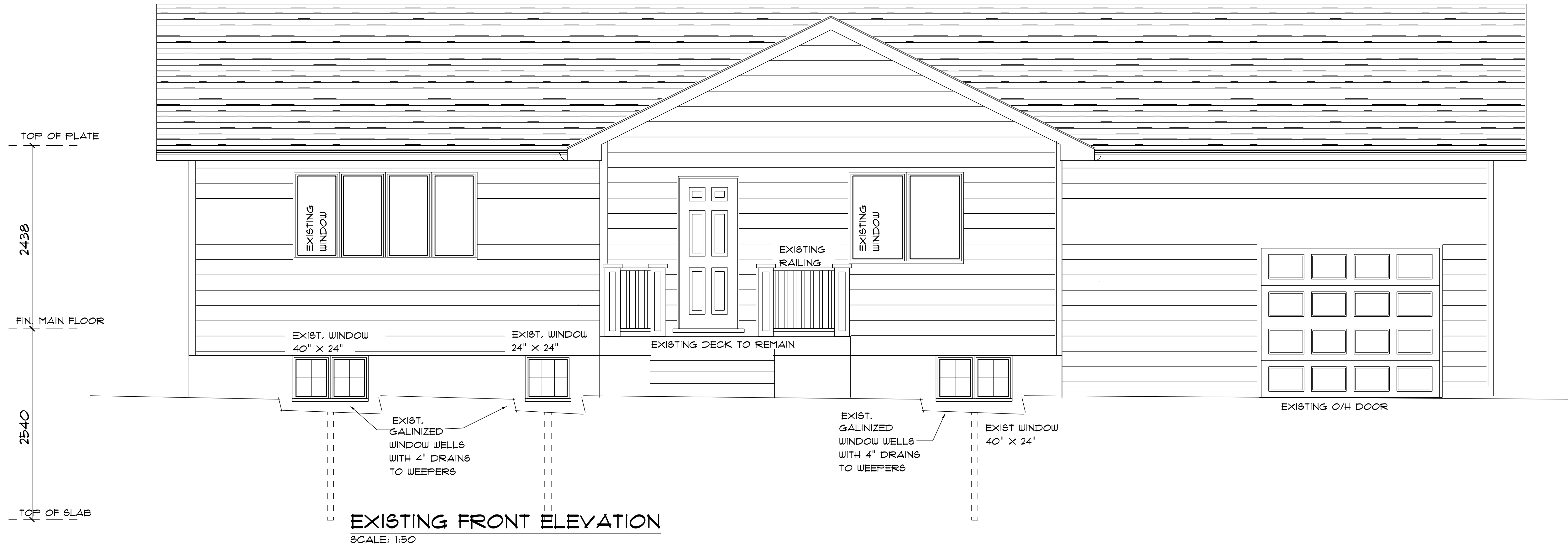
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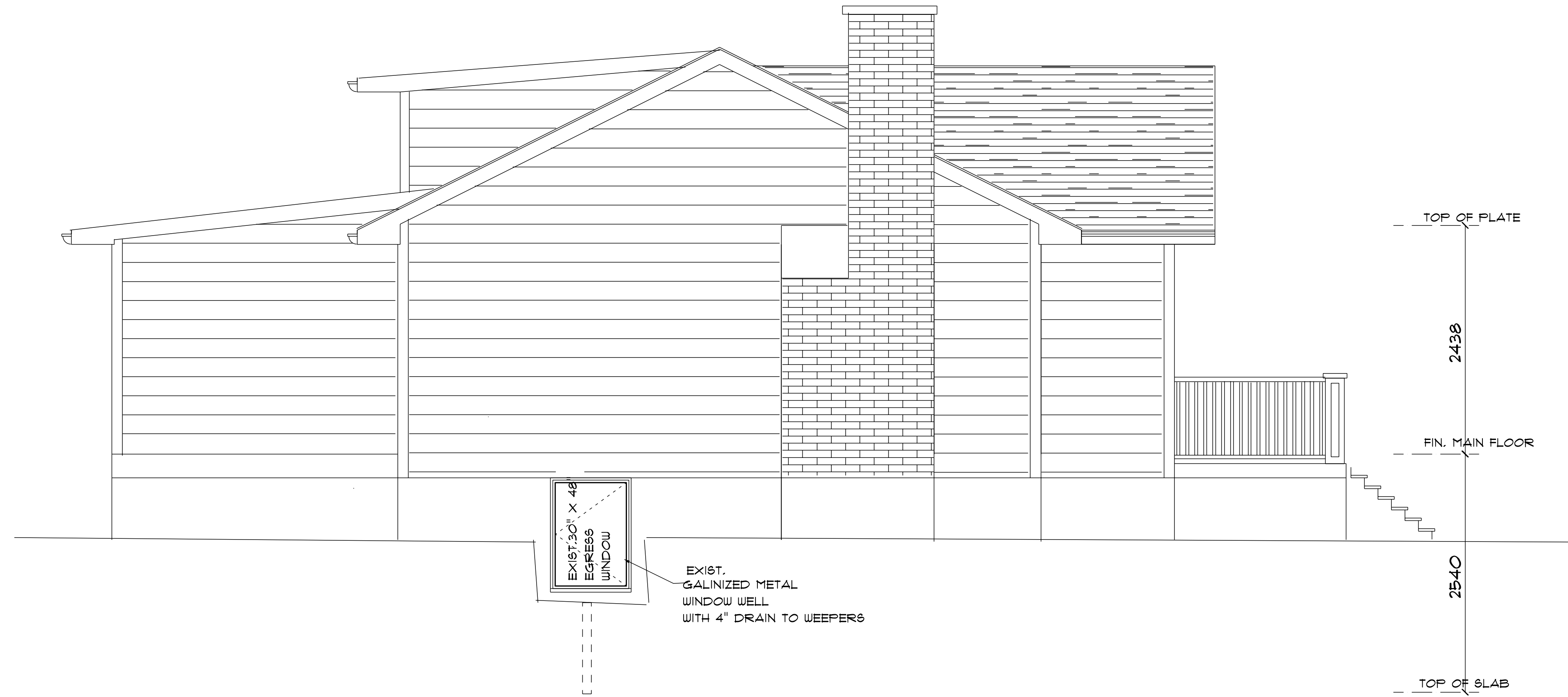


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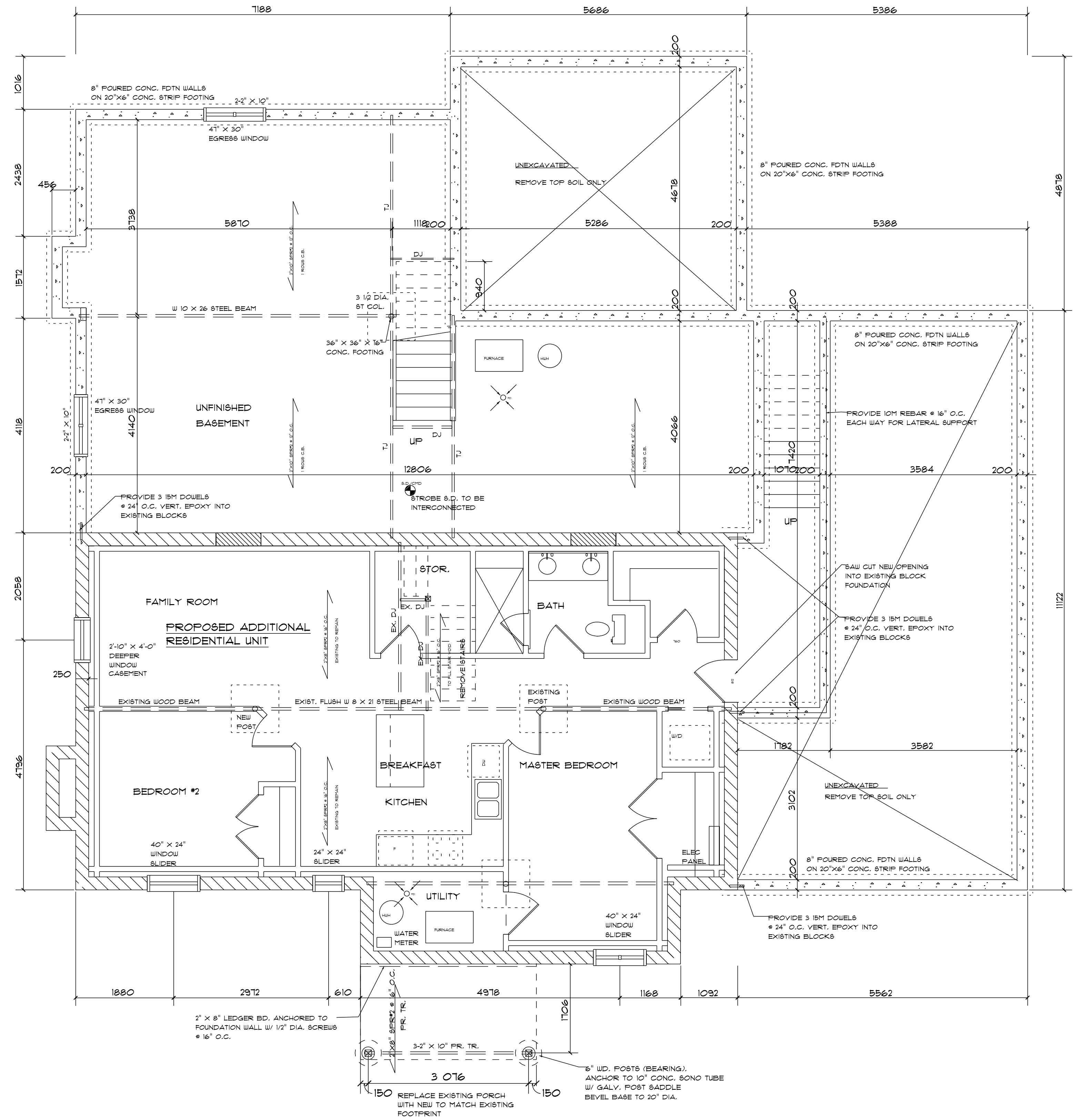
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904 EASTERBROOK AVE.
BURLINGTON, ONT.

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KEVIN WEBSTER DESIGNS, INC.
34740
BCIN

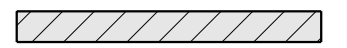

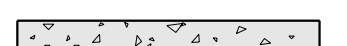
Kevin Webster Designs Inc.
68 North Valley Dr.
Welland, Ont. L3C 7L6
kevin@kwdesigns.ca 905-639-2009

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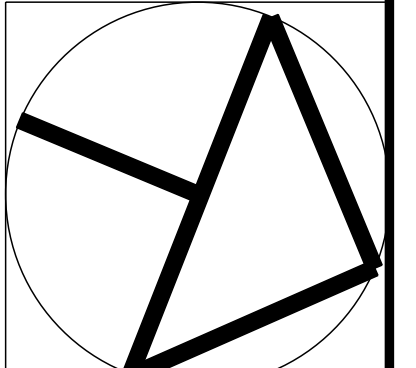
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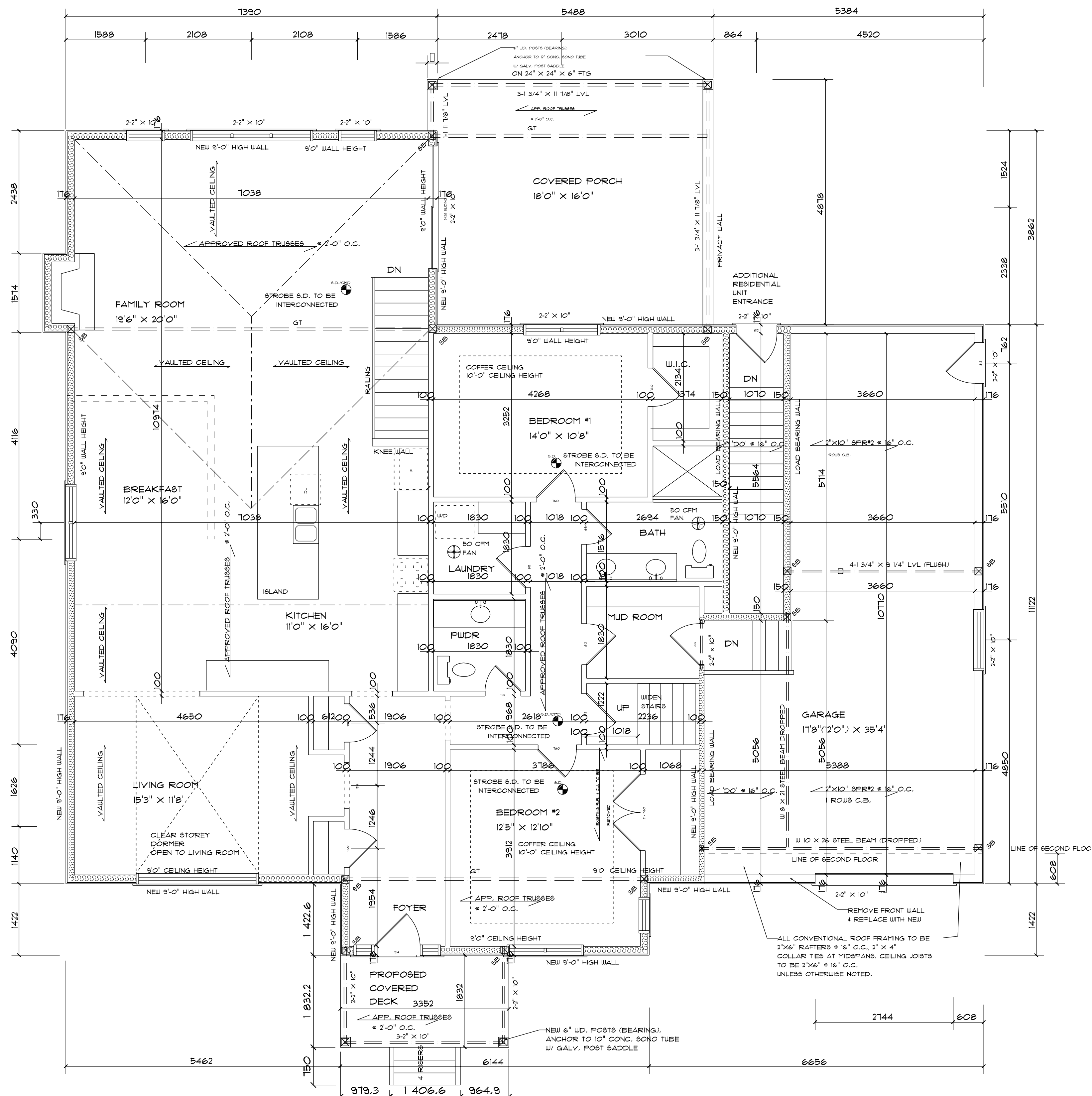
-  EXISTING BLOCK FOUNDATION TO REMAIN
-  EXISTING STUD WALL TO REMAIN
-  PROPOSED CONCRETE FOUNDATION

PROPOSED BASEMENT
SCALE: 1:50



<p>Project: JASON RUTLEDGE 904 EASTERBROOK AVE. BURLINGTON, ONT.</p>	<p>Kevin Webster Designs Inc. 68 North Valley Dr. Welland, Ont. L3C 7L6 kevin@kwdesigns.ca 905-639-2009</p>	<p>SCALE: As Noted</p> <p>DRAWN BY:</p> <p>DATE: December 3, 2024</p>	<p>APPROVED:</p> <p>PAGE: 5</p> <p>CHECKED BY:</p>
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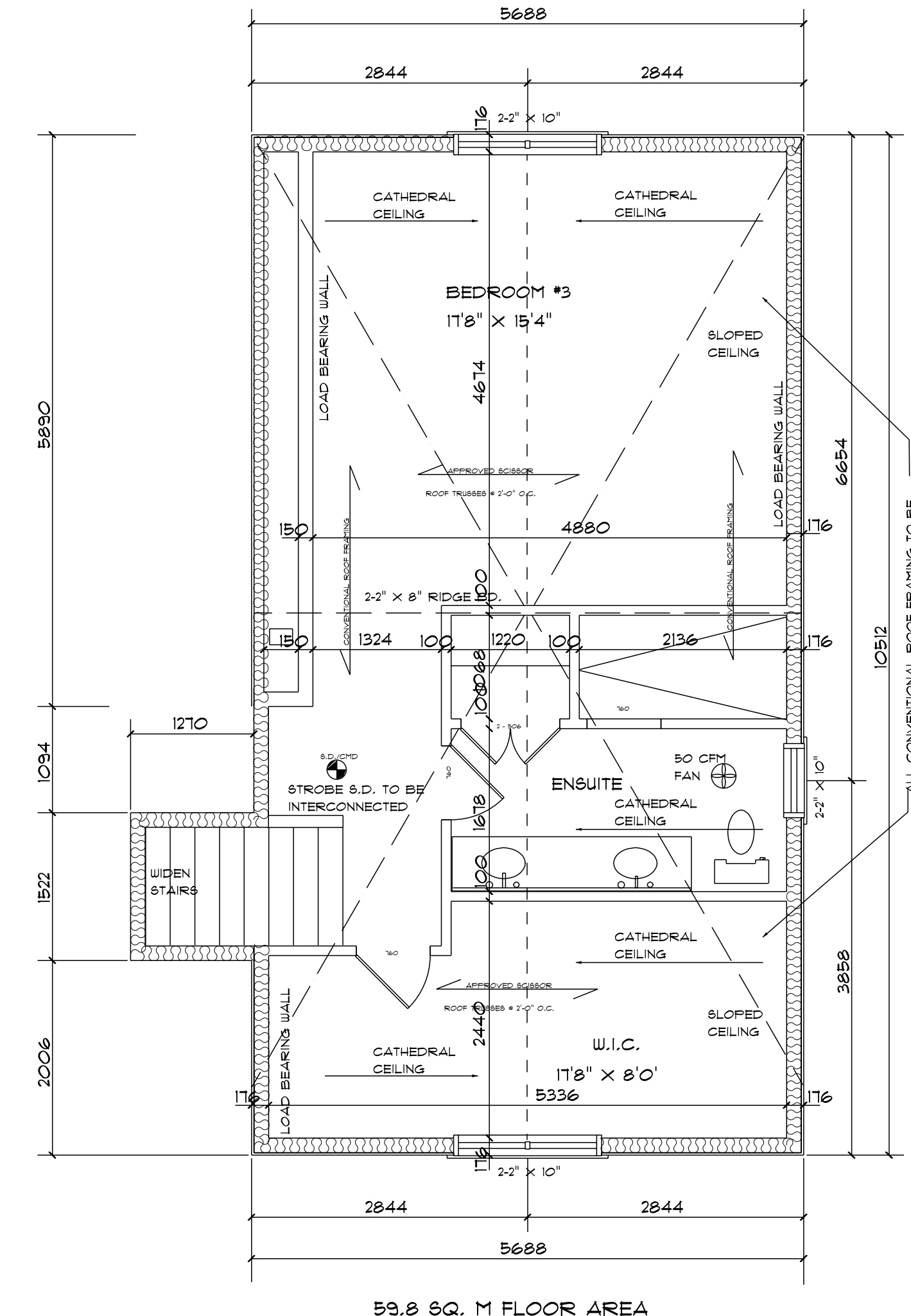
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REQUIRED UNDER QUADRA'S COMPACT UNDER 23.2.1 OF THE 2006 O.B.C.
KEVIN WEBSTER
22620
2024
KEVIN WEBSTER
KEVIN WEBSTER
22620
2024
KEVIN WEBSTER
22620
2024



GROUND FLOOR AREA: 242.0 SQ. M INCLUDES GARAGE (COVERAGE)
 SECOND FLOOR AREA: 59.8 SQ. M
 GROSS FLOOR AREA: 301.8 SQ. M INCLUDES GARAGE
 GROUND FLOOR LIVING AREA: 183.2 SQ. M
 FLOOR AREA RATIO: 35.41% (LOT AREA: 852.29 SQ. M)

- WALL LEGEND:**
- PROPOSED EXTERIOR STUD WALL WITH SIDING
 - PROPOSED EXTERIOR STUD WALL WITH SIDING & R22 BATT INSULATION
 - PROPOSED INTERIOR STUD WALL WITH DRYWALL EACH SIDE
 - PROPOSED EXTERIOR STUD WALL WITH DRYWALL EACH SIDE

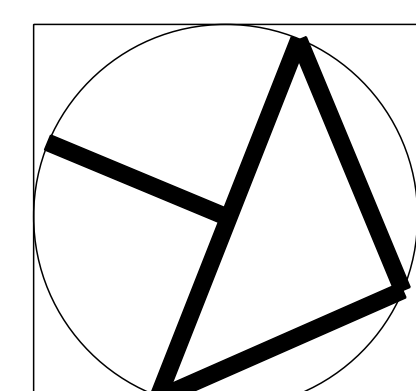
PROPOSED GROUND
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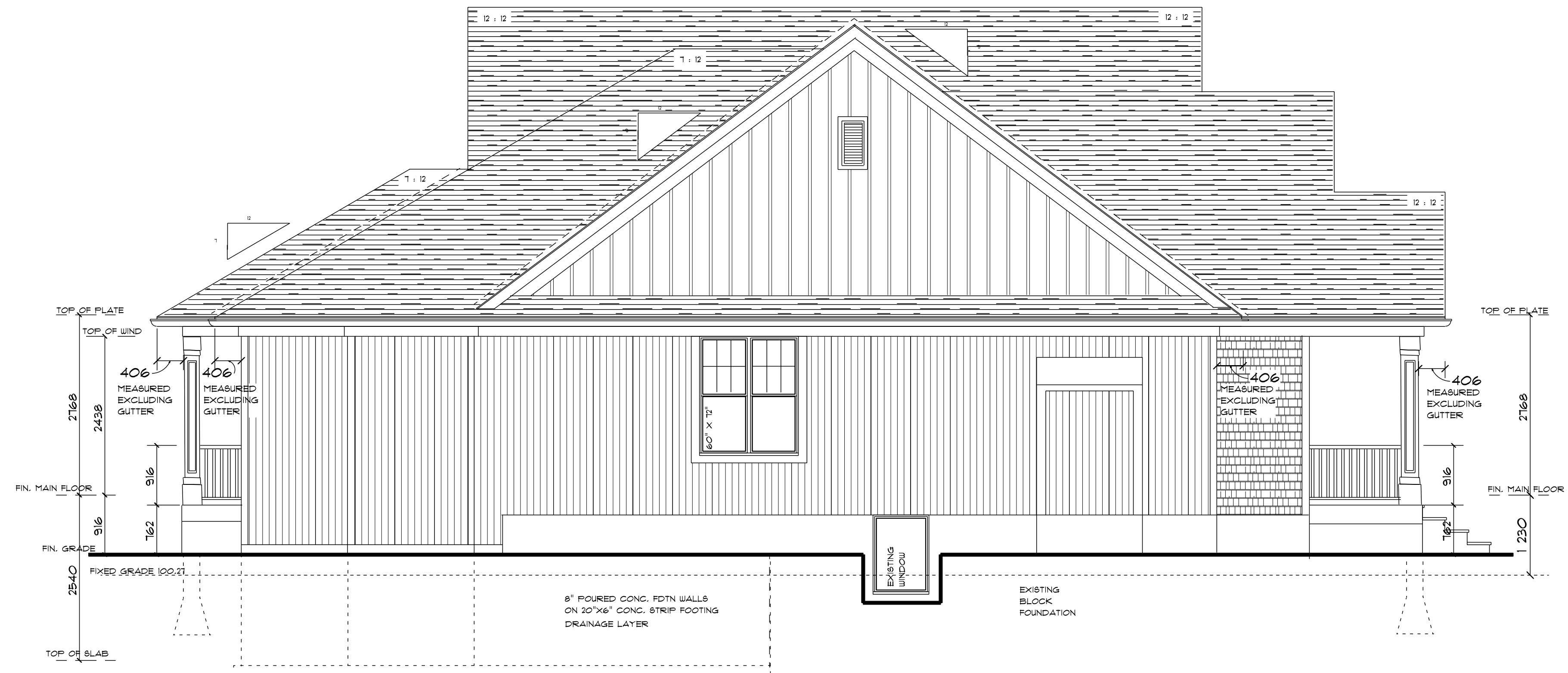
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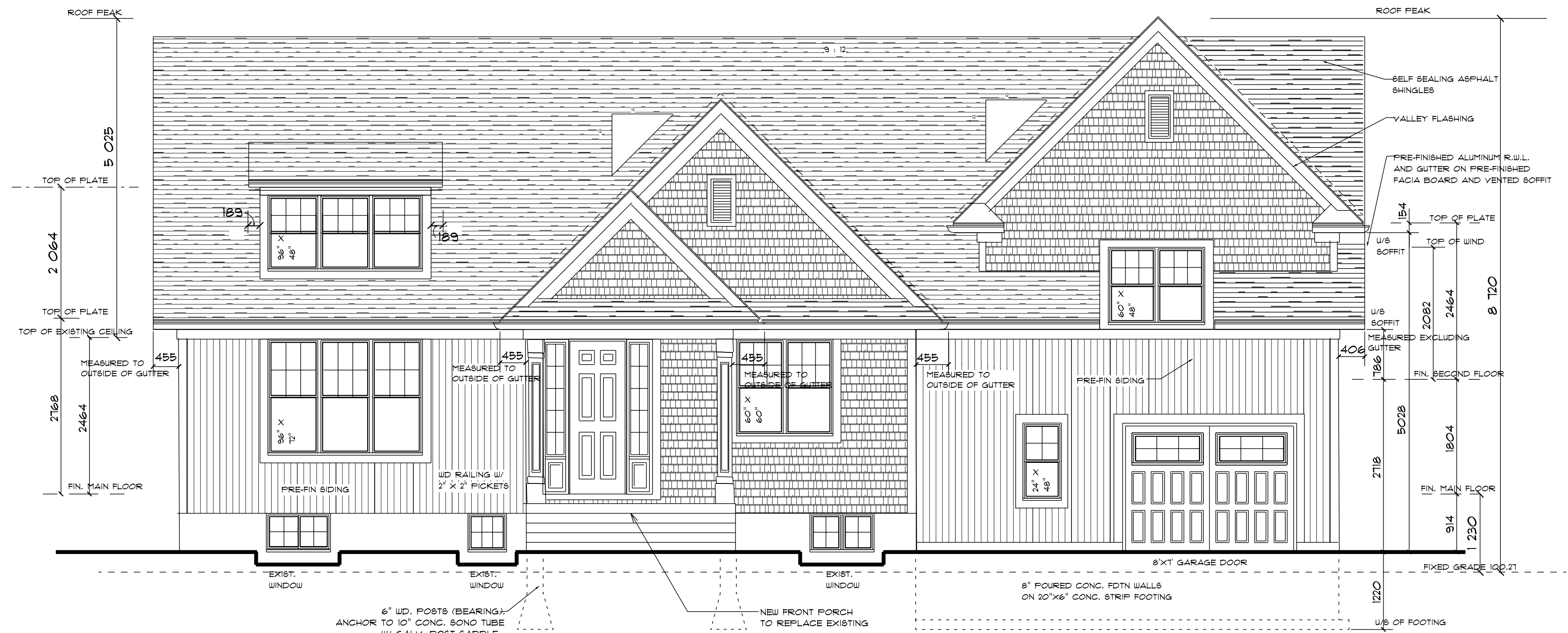
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PROPOSED LEFT ELEVATION
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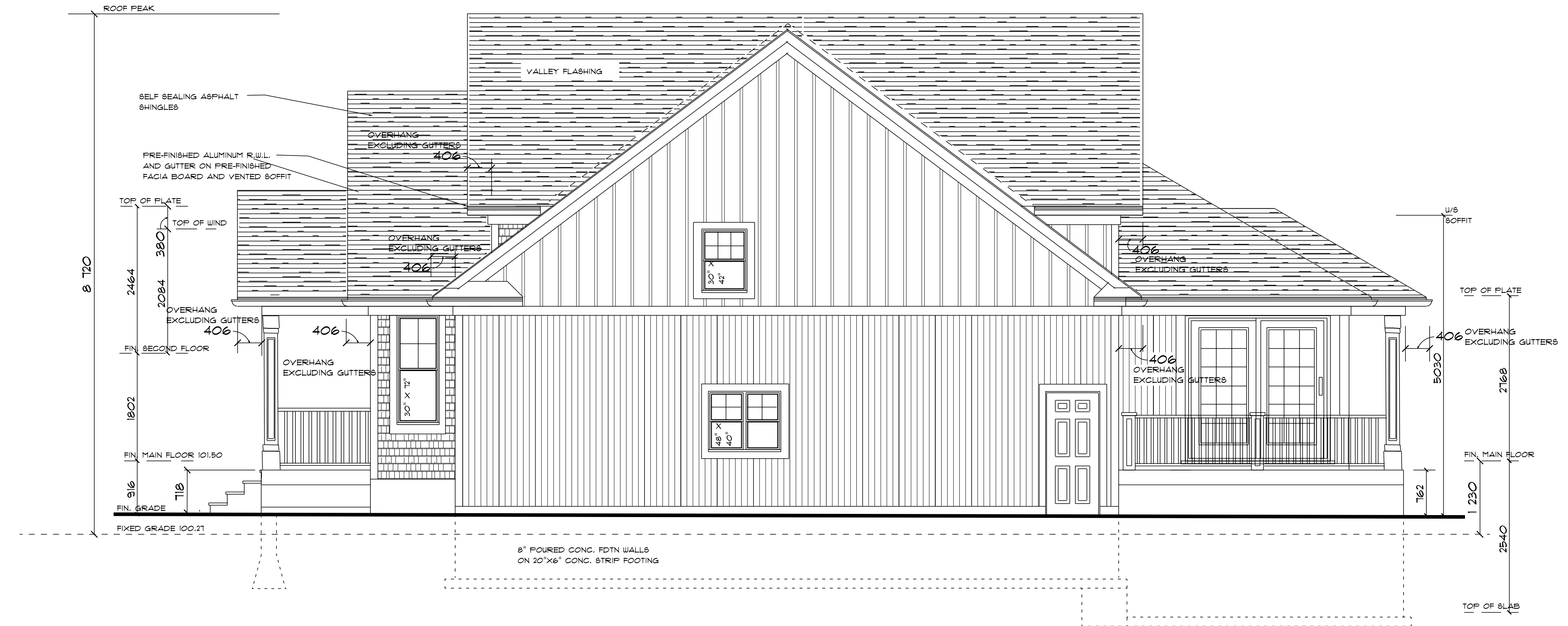


PROPOSED FRONT ELEVATION
SCALE: 1:50

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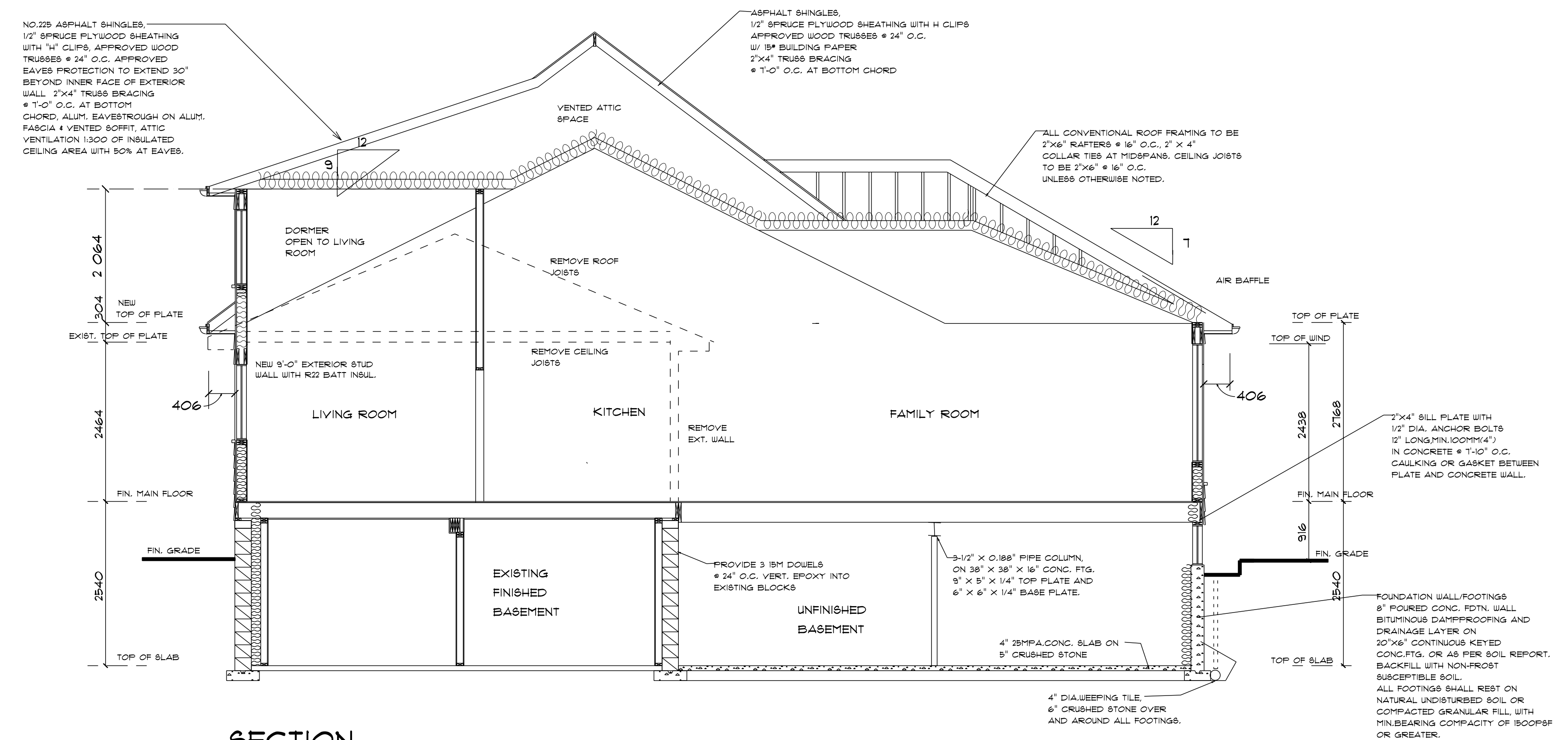


PROPOSED REAR ELEVATION
SCALE: 1:50

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Project:	JASON RUTLEDGE 904 EASTERBROOK AVE. BURLINGTON, ONT.
BCIN Stamp	<p>THE UNDERSIGNED HAS REVIEWED AND APPROVED THE PROPOSED PLAN AND SPECIFICATIONS FOR THE PROPOSED CONSTRUCTION OF THE ABOVE DESCRIBED WORK AND IS OF THE OPINION THAT THE SAME COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE TO BE A RESIDENTIAL BUILDING.</p> <p>KEVIN WEBSTER KEVIN WEBSTER DESIGN INC. 22620 1000 2024</p> <p>REQUIRED UNLESS OTHERWISE SPECIFIED UNDER 3.2.2.1 OF THE CODE REQUIRED UNLESS OTHERWISE SPECIFIED UNDER 3.2.2.1 OF THE CODE FROM NAME 34240 BCIN</p>
Kevin Webster Designs Inc.	<p>68 North Valley Dr. Welland, Ont. L3C 7L6 kevin@kwdesigns.ca 905-639-2009</p>
APPROVED:	SCALE: 1:50
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SECTION
SCALE: 1:50

Project: JASON RUTLEDGE 904 EASTERBROOK AVE. BURLINGTON, ONT.	APPROVED:	SCALE: 1:50	PAGE: 9
	DRAWN BY:	DATE: December 3, 2024	CHECKED BY:
Kevin Webster Designs Inc. 68 North Valley Dr. Welland, Ont. L3C 7L6 kevin@kwdesigns.ca 905-639-2009	BCIN Stamp KEVIN WEBSTER 25262 2024		

ARBORIST REPORT AND TREE PRESERVATION PLAN

Subject Site

**904 Easterbrook Avenue
Burlington, Ontario
L7T 1P8**

Prepared For

**Kevin Webster Designs Inc.
68 North Valley Drive
Welland, Ontario
L3C 7L6**

Prepared By



**1220 HERITAGE RD
BURLINGTON
ONTARIO, CANADA
L7L 4X9**

**905-824-2100
contactus@maplehilltree.com
www.maplehilltree.com**

Prepared On

NOVEMBER 21, 2023



TABLE OF CONTENTS

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Post Construction Maintenance	4
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LIST OF APPENDICES

Appendix A: Tree Inventory
Appendix B: Pictures

ASSOCIATED DRAWINGS

PP-1: Tree Preservation Plan



INTRODUCTION

Maple Hill Tree Services (MHTS) was retained by Kevin Webster Designs Inc. (the Client) to complete an Arborist Report and Tree Preservation Plan for the property located at 904 Easterbrook Avenue in the City of Burlington, Ontario. This report outlines specific trees to preserve, trees to remove, any maintenance work required for safety, as well as ongoing tree monitoring recommendations.

This report is written in accordance with the City of Burlington's Private Tree By-law (By-law 40-2022), Public Tree By-law (By-law 68-2013), and the City's Guide to Tree Protection document. The primary purpose of this report is to develop a strategic Tree Preservation Plan for the subject site. This report addresses the present condition of all trees that could potentially be impacted by the proposed construction, and the possible mitigation options available.

SUMMARY

This report addresses the four (4) trees that will, or have the potential to be, impacted by the site development and provides recommendations for preservation of these trees. It also contains recommendations for tree care and hoarding distances for the Tree Protection Zones.

The subject site contains four (4) trees relevant to the development project that prompted this report. Two (2) of these trees are growing on neighbouring private property (925 Aldergate Place) and two (2) of these trees are City-owned; the subject property does not contain any by-law recognized trees.

Based on the currently proposed site plan, all four (4) trees are recommended for preservation.

OBSERVATIONS

The site visit took place on 01 November 2023 by Kyle Buckley, R.P.F. The subject site is currently occupied by a 1 storey frame dwelling with attached garage, associated asphalt driveway, and front yard concrete walkway. Trees were located using a topographic survey of the subject site supplied by the Client, as well as through estimations made while on site.

All trees on or within 6 m of the subject property with diameters measuring greater than or equal to 10 cm at 1.4 m above ground were included in the tree inventory. Each tree was measured for its diameter and canopy spread. Tree health and structural condition were evaluated, and recommendations were made considering their present condition, future safety, and preservation potential given the proximity of proposed development. Trees were not tagged for this project but were nonetheless assigned numeric identifiers (1-2) that are consistent across all project materials. Trees growing on neighbouring property were assigned the alphabetical identifiers A-B.

Refer to Appendix A for full tree inventory information, Appendix B for pictures of the trees, and the Tree Preservation Plan (PP-1) for tree locations and existing site conditions.



PROPOSED CONSTRUCTION

The proposed development involves the construction of a one storey addition to the rear of the dwelling, with a second storey addition proposed above the existing garage. A covered porch is also proposed at the rear of the dwelling, and the existing asphalt driveway will remain unchanged.

Refer to PP-1 for the proposed site plan.

TREES TO PRESERVE

All four (4) of the inventoried trees are recommended for preservation.

Trees 1-2 are City-owned boulevard trees whose locations should not result in any conflicts with the proposed work. Tree protection fencing is nonetheless prescribed at locations presented on the Tree Preservation Plan (PP-1). If Tree Protection Zones are respected throughout the construction process, no adverse impacts are anticipated for these trees.

Trees A-B are not near any of the proposed work and the existence of a wood shed in the western corner of the property effectively protects their Tree Protection Zones by prohibiting access. No adverse impacts are anticipated for these trees.

There should be an on-site meeting with the Consulting Certified Arborist, the property owner, and any Architects, Landscape Architects, Engineers, contractor and or subcontractors involved with the project to discuss the Tree Preservation Plan and scope of work prior to any work commencing.

TREES TO REMOVE

No trees are recommended for removal.

MITIGATION

TREE PROTECTION ZONES

All Tree Protection Zones (TPZ's) should be delineated through the installation of barriers (hoarding) prior to any construction activity. The purpose of the hoarding is to demarcate the Tree Protection Zone, which is to be protected from any activity throughout the construction and landscaping phases.

The hoarding around the TPZ shall be constructed of 1.2 m (4 ft) orange plastic web snow fencing mounted on 2"x4" wooden frames secured to the ground. Where sightlines may be restricted by snow fencing, page wire with reflective tape can be used. Tree protection signage must be mounted on the hoarding barrier in a visible location and be a minimum of 10" x 14" on corrugated plastic, white gator board, or laminated paper. See PP-1 for City of Burlington hoarding and signage details.



TPZ hoarding must remain fully intact throughout all stages of site development. No temporary storage of fill, topsoil, building materials, equipment, nor the washing of equipment, or dumping of any construction debris is permitted within the TPZ.

TREE PRESERVATION GUIDELINES

PRE-CONSTRUCTION PHASE

1. Implement the Tree Preservation Plan contained in this report.
2. Complete any required clearance pruning.
3. Install Hoarding and post TPZ signage.

CONSTRUCTION PHASE

1. The Tree Protection Zone must be respected throughout the construction. No materials shall be stored or dumped in this area.

POST CONSTRUCTION PHASE

1. Remove hoarding only after construction is complete.
2. Complete any final landscaping.
3. Follow-up inspection of all trees by the Consulting Certified Arborist.

POST CONSTRUCTION MAINTENANCE

Post construction maintenance is crucial because the negative impact that construction may have on trees could take several years to become apparent, at which time it may be too late, and the tree may die or become structurally unstable. The trees should be inspected by the Consulting Certified Arborist periodically to prescribe the appropriate Arboriculture practices.

Respectfully submitted,

Kyle Buckley, R.P.F.
ISA Certified Arborist ON-2744A
EMAIL: kyle@maplehilltree.com



ASSUMPTIONS AND LIMITING CONDITIONS

The observations documented are true for only the period that the Consulting Arborist was on site and therefore do not include any other activity that may have occurred on site or to the trees before or after that period.

If the health of the trees was assessed while they were dormant, there may be some inaccuracy in the assigned health rating of each tree.

All trees represent a certain inherent degree of risk and this evaluation does not preclude all risk of failure.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather conditions.

We accept no responsibility for materials and information submitted to us that are incorrect.

Any survey boundaries marked on plans or on the ground is not the responsibility of Maple Hill Tree Services.

This report shall be considered whole, no sections are severable, and the report shall be considered incomplete if any pages are missing.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

Possession of this report or copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

This report and any values expressed herein represent the opinion of the author and their fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

The details obtained from any photographs and outlined in the sketch plan are intended as visual aids and are not to scale. They should not be construed as engineering reports or surveys.



APPENDIX A: TREE INVENTORY

Tree ID	Common Name	Botanical Name	DBH (cm)	Dripline Radius (m)	Health	Structure	TPZ Radius (m)	TPZ Encroach (%)	CRZ Radius (m)	CRZ Encroach (%)	Owner	Comments	Action
1	Norway Maple	<i>Acer platanoides</i>	35	5	G	F	2.4	0	4.0	10	City	Codominant @ ~3.5 m, Pruning wounds (M), CRZ encroachment is only over existing driveway.	Preserve
2	Dogwood spp.	<i>Corylus spp.</i>	3	0.5	G	G	1.8	0	1.8	0	City	Recently planted	Preserve
A	Honey Locust	<i>Gleditsia tricanthos</i>	~60	8	F	F	3.6	0	6.0	0	Neighbour	Property of 925 Aldergate Pl, Deadwood (M)	Preserve
B	Norway Maple	<i>Acer platanoides</i>	~18	2	G	G	2.4	0	4.0	0	Neighbour	Property of 925 Aldergate Pl, Crowded by Tree A	Preserve

Rating Definition Key

Condition Rating	Health	Structure
Good	Vigour is normal for the species. No significant damage due to disease or pests. Any twig dieback, defoliation, or discoloration is normal.	Well-developed structure. Defects are minor and can be corrected.
Fair	Reduced vigour. Damage due to insects or disease may be significant but is not likely to be fatal. Twig dieback, defoliation, discoloration and/or dead branches comprise less than 50% of the crown.	A single significant defect or multiple moderate defects. Defects are not practical to correct.
Poor	Unhealthy and declining in appearance. Poor vigour. Low foliage density and poor foliar colour. Potentially fatal pest infestation. Extensive twig / branch dieback.	A single serious defect or multiple significant defects. Observed structural problems cannot be corrected. Failure may occur at any time.

APPENDIX B: PICTURES



Image 1. Tree 1.



Image 2. Tree 2.



Image 3. Trees A-B (right to left).

TREE PROTECTION ZONE (TPZ)

No equipment or vehicles shall be operated, parked, repaired or refueled within the Tree Protection Zone.

No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

No materials or fill may be stored within the Tree Protection Zone.

This tree protection barrier must not be removed prior to the completion of construction without written authorization from the City of Burlington, Urban Forestry Department.

For information, contact:
City of Burlington, Development and Infrastructure Division,
905-335-7642.



TREE PRESERVATION PLAN

904 Easterbrook Ave
Burlington, Ontario
L7T 1P8

Notes

- All base information has been supplied by the client.
- No tree removals will be required as part of this project.
- Refer to the Arborist Report prepared for this project for specific instructions regarding tree protection requirements.

LEGEND

- # (Green circle) TREE TO BE PRESERVED
- # (Red X) TREE TO BE REMOVED
- (Pink circle) TREE PROTECTION ZONE
- (Blue circle) CRITICAL ROOT ZONE
- (Pink line) TREE PROTECTION FENCING
- (Blue line) PROPERTY BOUNDARY

MAPLE HILL TREE SERVICES
1220 HERITAGE ROAD
BURLINGTON ONTARIO
L7L 4X9

P: 905-824-2100
W: www.maplehilltree.com
E: kyle@maplehilltree.com

Drawing By: Kyle Buckley
ISA Certified Arborist ON-2744A

Date: 21 November 2023

Scale: 1:100

Tree Protection and Preservation Specification No.: SS12A

Detail TP-1 - Tree Protection Detail.

Trunk Diameter (DBH) ²	Minimum Tree Protection Zone (MTPZ) Distances Required ³	Critical Root Zone (CRZ) Distances Required ⁴
< 10 cm	1.8 m	1.8 m
11 - 40 cm	2.4 m	4.0 m
41 - 50 cm	3.0 m	5.0 m
51 - 60 cm	3.6 m	6.0 m
61 - 70 cm	4.2 m	7.0 m
71 - 80 cm	4.8 m	8.0 m
81 - 90 cm	5.4 m	9.0 m
91 - 100+ cm	6.0 m	10.0 m

NOTES:

- The roots of a tree can extend from the trunk to approximately 2-3 times the distance of the drip line.
- Diameter at breast height (DBH) is the measurement of tree trunk taken at 1.4 metres above ground.
- Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree base towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work and is subject to Section 6 of this specification.
- Where work is being performed beyond the Minimum Tree Protection Zone but within the Critical Root Zone the works are subject to Section 8 of this specification.

TREE PROTECTION BARRIER

- The required barrier is a 1.2 metre (4 ft) high orange plastic web snow fencing on 2" x 4" frame. Where orange plastic web snow fencing creates a restriction to sightlines, page wire fencing with reflective tape can be used.
- Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place throughout the entire duration of the project. The barriers shall be maintained erect and in good repair throughout the duration of construction operations with breaks and unsupported sections repaired immediately. Tree protection may not be removed prior to the completion of construction without written authorization from the Manager of Urban Forestry or designate.
- All supports and bracing used to safely secure the barrier should be located outside the MTPZ. All supports and bracing should minimize damage to roots.
- Where some fill or excavated material must be temporarily located near a MTPZ, a wooden barrier with silt fencing must be used to ensure no material enters the MTPZ.
- No materials or fill may be stored within the MTPZ.
- Equipment or vehicles shall not be operated, parked, repaired, or refueled within the MTPZ.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the MTPZ without written authorization from the Manager of Urban Forestry or designate.
- A laminated Minimum Tree Protection Zone sign (See Detail TP-3 - Minimum Tree Protection Zone Sign) must be attached to the side of the Tree Protection where it will be visible by persons entering the site. Minimum size must be 10"x14".

Copy Right Act Applies to Use and Production

Tree Inventory

Tree ID	Common Name	Botanical Name	DBH (cm)	Drip-line Radius (m)	Health	Structure	TPZ Radius (m)	TPZ Encroach (%)	CRZ Radius (m)	CRZ Encroach (%)	Owner	Comments	Action
1	Norway Maple	<i>Acer platanoides</i>	35	5	G	F	2.4	0	4.0	10	City	Codominant @ ~3.5 m, Pruning wounds (M), CRZ encroachment is only over existing driveway.	Preserve
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A	Honey Locust	<i>Gleditsia tricanthos</i>	~60	8	F	F	3.6	0	6.0	0	Neighbour	Property of 925 Aldergate Pl, Deadwood (M)	Preserve
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COMMITTEE OF ADJUSTMENT

Meeting #02

AGENDA

FEBRUARY 5, 2025

HEARING NO. 4.2 - 5:30 P.M.

File
540-02-A-078/24

APPLICANT: Glenda Wood

PROPERTY: 1043 Maplehurst Avenue,
City of Burlington - Regional Municipality of Halton.

PROPOSAL: The applicant is proposing to legalize an existing accessory building in the rear yard which was not constructed in accordance with City approvals.

VARIANCE: 1. To permit a south-east side yard of 0.7 m instead of the minimum required 1.2 m for an existing 23.1 m² accessory building.

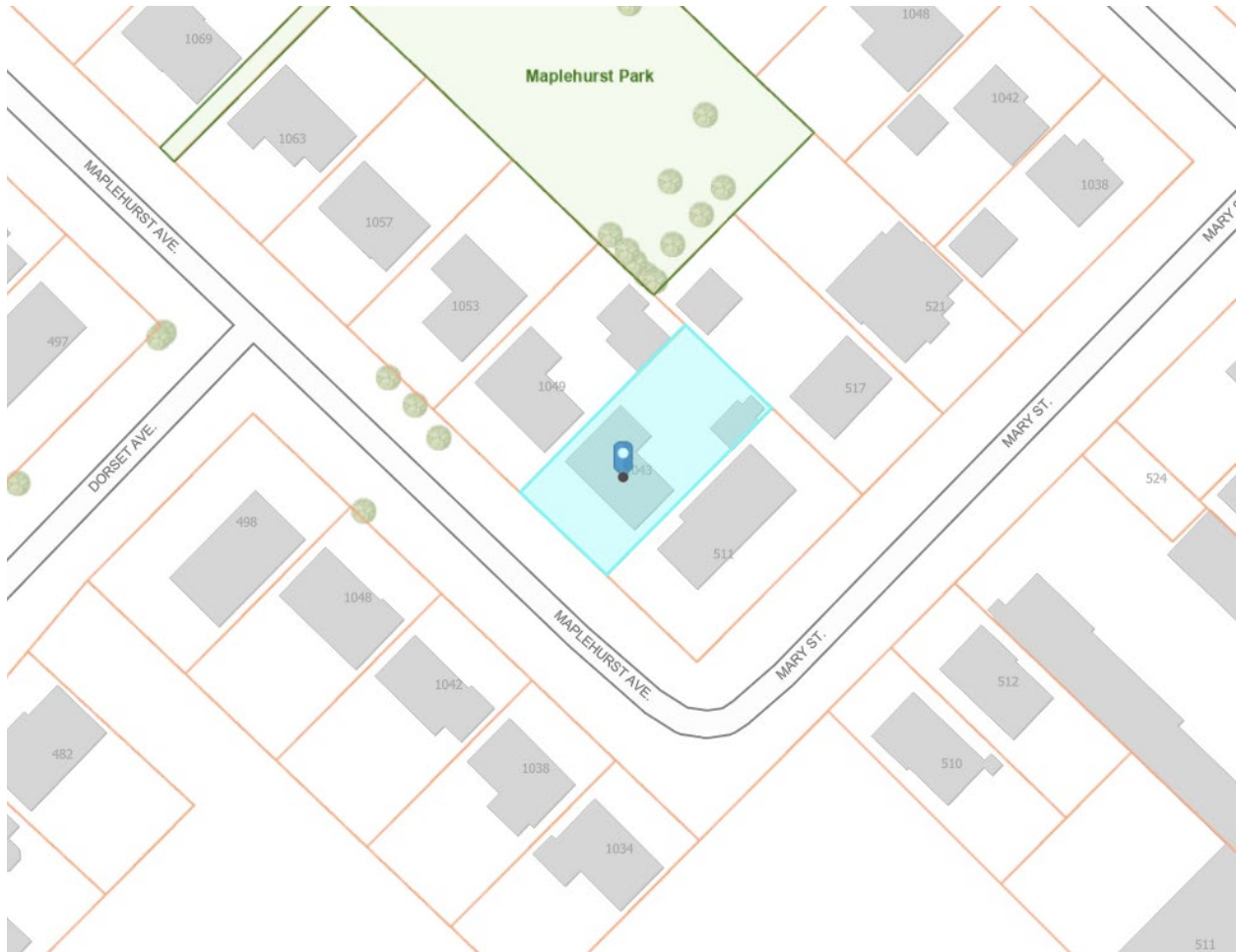
COMMITTEE OF ADJUSTMENT

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Owner: Glenda Wood
Address: 1043 Maplehurst Ave., Burlington
File No. **A-078/24**
Ward: 1



Staff Comments

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: September 18, 2024

Prepared By: C. Kabel

COMMITTEE OF ADJUSTMENT

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FEBRUARY 5, 2025

Zoning

1) Background information:

The subject property is zoned R2.4, Low Density Residential, under Zoning By-Law 2020, as amended, and is located in the designated area for lot coverage and floor area ratio. The R2.4 zone requires, among other things, the following:

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R2.4	16 m	600 m ²	6 m	9 m	(b)	4.5 m

Footnotes to Table 2.4.1

(b) Without attached garage or carport:

(i) One or one and a half storey side: 1.2 m, 3 m other side

2.2 ACCESSORY BUILDINGS AND STRUCTURES AND UNITARY EQUIPMENT

2.2.1 The following regulations shall apply to buildings and structures, when accessory to detached, semi-detached, duplex, triplex, fourplex or street townhouse dwellings:

(b) Regulations for Accessory Building greater than 10 m² in floor area and/or greater than 2.5 m in height:

(i) Not permitted in a front yard, street side yard or required side yard.

(ii) Permitted in a rear yard subject to the following:

- Setback from a rear lot line: 1.2 m
- **Setback from a side lot line: 1.2 m**
- Setback from a street side yard: 7.5 m
- Maximum roof overhang encroachment: 0.5 m
- Maximum floor area: 50 m²
- Maximum one storey
- Maximum height (peaked roof): 4.6 m
- Maximum height (flat roof): 3.5 m

COMMITTEE OF ADJUSTMENT

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History / Background:

Zoning Clearance Certificate 17-011743 and building permit 17-012358 were issued in 2017 for the construction of an accessory building in the rear yard. The approved plans indicated a 1.21 m setback to the south-east lot line.

The as-built accessory building location does not correspond with Zoning Certificate 17-011743. A variance is required to legalize the existing location of the accessory building.

2) Proposal:

The applicant is proposing to legalize an existing accessory building in the rear yard which was not constructed in accordance with City approvals.

3) Variance required:

1. To permit a south-east side yard of 0.7 m instead of the minimum required 1.2 m for an existing 23.1 m² accessory building.

4) Notes:

1. A new Zoning Clearance Certificate is not required.
2. For Accessory Buildings or Structures, floor area means the total area of all floors measured to the outside of all exterior walls or posts.
3. The zoning review is based on the portion of the site affected by the proposed development only.
4. The variances are being reviewed under 45(1) of the *Planning Act*.

Date: October 24, 2024Prepared By: J. Parker

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AGENDA

FEBRUARY 5, 2025

Site Planning

A minor variance application has been submitted to the City of Burlington to recognize the construction of a one-storey accessory building. The applicant requests approval from the Committee of Adjustment to permit a south-east side yard of 0.7 m instead of the minimum required 1.2 m for an existing 23.1 m² accessory building. Although a permit was obtained for the accessory building, the building was built closer to the lot line than what was shown on the plans. The applicant indicated there was some confusion as to the location of the property line while siting the structure. The applicant has indicated that moving the constructed accessory building would require demolition and rebuilding of the entire accessory building and therefore requests a minor variance.

The subject lands are a rectangular shaped corner lot with a total lot area of 702.9 m² (0.07 hectares) with approximate lot frontage of 18.9 metres along Maplehurst Avenue. The lands are known municipally as 1043 Maplehurst Avenue.

The property is in a *residential neighbourhood* bounded by the Plains Road East to the southeast, King Road to the northeast, rail tracks to the northwest and Aldershot Park to the west. The subject property is located in the R2.4 zone (Residential Low Density) which permits detached dwellings and additional residential units. Adjacent uses include one storey and one and a half storey detached dwellings. Lot widths and depths vary in the neighbourhood, depending on the street. Accessory buildings in the form of sheds and detached garages are a common feature, given that not all dwellings provide attached garages for storage.

Existing land uses on the property consist of a one-storey detached dwelling and the existing accessory building. Access to the property is via a driveway from Maplehurst Avenue. A site visit was conducted on December 5, 2024, and existing on-site conditions are summarized in site photos included as Attachment No. 1 (Site Photos).

The existing accessory building is a one-storey building with a floor area of 23.1 m². The interior layout of the accessory building provides space for storage associated with the existing one-storey detached dwelling. An Additional Residential Unit is not proposed to be located within the accessory building. A survey plan (dated August 26, 2024) and exterior elevations and floor plans (dated May 30, 2017) are included as an attachment in a later section of this report and depict the accessory building design.

1) City of Burlington Official Plans:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

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Regional Official Plan (2009)

The subject lands are located within the Urban Area (Map 1) and within the Built Boundary (Map 1h) of the Regional Official Plan (ROP). The Urban Area (Section 72) policies of the ROP identify that the goal of the Urban Area and the Regional Urban Structure is to manage growth in a manner that fosters complete communities, enhances mobility across Halton, addresses climate change, and improves housing affordability, sustainability and economic prosperity. Section 76 of the ROP indicates that the range of permitted uses and the creation of new lots within the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. Given that an accessory building is a use permitted by the City's Zoning By-law, staff are of the opinion that the requested variance is within the intent of the ROP.

City of Burlington Official Plan (1997 & 2020)

On April 2, 2024 the Ontario Land Tribunal issued a decision granting the City's motion for partial approval of the Burlington Official Plan, 2020 (BOP, 2020). This decision brought the "Residential Neighbourhood Areas" policies under "Chapter 8- Land use policies" into force. These policies supersede the "Residential Areas" policies of the Burlington Official Plan, 1997 (OP, 1997). However, other chapters of BOP, 2020 relevant to the application, such as Chapter 7- Design Excellence, remain under appeal so the application has been reviewed against a combination of in-force policies under both Official Plans.

The subject lands are designated 'Residential – Low Density' according to Schedule 'C' (Land Use - Urban Area) of the BOP, 2020, as amended.

Section 8.3.3 (1) (Residential Neighbourhood Area Policies) of the BOP, 2020, states that among the permitted uses within the 'Residential Low Density' designation are single detached housing units (with a maximum permitted residential density of 25 units per hectare). Accessory buildings are considered a permitted use and the proposed minor variance does not impact the density.

The general intent and purpose of the BOP, 2020 is to encourage new residential development, including new structures, in residential neighbourhood areas while recognizing that the form of development must be balanced with other considerations like compatibility and integration within existing residential neighbourhoods.

Part II, Section 6.5 (Design Guideline Policies) of the OP, 1997 lists aspects of new development that should be compatible and integrate well with the surrounding area including "the density, form, bulk, height, setbacks, spacing and materials..."

Compatible(ity) is defined in the OP, 1997 as: "development or redevelopment that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in

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the area or pose an unacceptable risk to environmental and/or human health. Compatibility should be evaluated in accordance with measurable/objective standards where they exist, based on criteria such as aesthetics, noise, vibration, dust, odours, traffic, safety and sun-shadowing, and the potential for serious adverse health impacts on humans or animals.”

Staff have reviewed the proposal in the context of the surrounding residential neighbourhood, adjacent properties, and in accordance with the policies of the Official Plan. Adjacent properties at 1049 Maplehurst Avenue and 517 Mary Street contain accessory buildings. Both buildings are larger in terms of footprint than the existing 23.1 m² accessory building on 1043 Maplehurst Avenue. Staff are of the opinion that the requested reduction in side-yard setback maintains compatibility with the character of the neighborhood. The proposed accessory building is one-storey in height, maintaining a subordinate presence to the surrounding dwellings. In terms of screening, a board fence is installed along a portion of the southeast property line and a combination of board fence, cedar hedge and trees are located along the rear property line. The design of the accessory building is complimentary to the detached dwelling on the lot and integrates well with the neighbourhood. Staff is satisfied that the variance will maintain the intent of the Burlington Official Plan, given that the siting of the building is compatible with adjacent properties in its existing location.

2) City of Burlington Zoning By-law 2020:**Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?**

The subject lands are zoned Low Density Residential (R2.4) to Map No.6 of the City of Burlington Zoning By-law 2020. Permitted uses include detached dwellings and additional residential units. Accessory buildings and structures are permitted by Part 1 (General Conditions and Provisions) Section 2.2 (Accessory Buildings and Structures and Unitary Equipment). Section 2.2.1 of the City of Burlington Zoning By-law 2020 stipulates that accessory buildings are permitted in a rear yard and shall be setback 1.20 m from a side lot line.

Yes - Variance 1 (Decreased Side Yard Setback)

The application requests a variance to permit a south-east side yard of 0.7 m instead of the minimum required 1.2 m for an existing 23.1 m² accessory building. The intent of the side yard setback provision for accessory structures is to ensure that there is sufficient space between uses and to ensure the functionality of the lot (grading, drainage, maintenance).

A board fence along the south-east side property line helps screen the proposed accessory building from the adjacent yard at 511 Mary Street. Staff are of the opinion that sufficient spacing existing for maintenance of the structure from within the property

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boundary. Further, with respect to grading and drainage, Development Engineering staff have no objection to the proposed variance. For these reasons, staff is of the opinion that the variance meets the intent of the zoning by-law.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

The subject application has been reviewed in the context of existing and surrounding land uses as well as potential impacts affecting the orderly development of the property. Staff are of the opinion that the requested variance is desirable, given that it would allow additional storage space associated with an existing dwelling while maintaining compatibility with surrounding neighbourhood.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

It is staff's opinion that the variance will not pose adverse effects on the subject lands nor the surrounding neighbourhood. As such, the variance can be considered to be minor in nature.

Cumulative Effects of Multiple Variances and Other Planning Matters:

N/A

Recommendation:

Staff has reviewed the subject application in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection to the requested variance.

Date: December 11, 2024Prepared By: Melissa Dalrymple, MCIP, RPP

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Attachment No. 1 (Site Photos – December 5, 2024)



View of subject lands from Maplehurst Ave.



View of accessory building in context with dwelling on subject lands and adjacent dwelling at 511 Mary Street.

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View of accessory building and rear yard.



Close up of reduced south-east side yard setback.

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Development Engineering

Development Engineering has reviewed the proposed minor variances and has no objection to the variance(s) requested. Revisions to the plans may be required through the Grading and Drainage Clearance Certificate process.

Date: October 31, 2024 Prepared By: R. Maximo

Forestry

Forestry has reviewed the proposed minor variance(s) and have no objections.

Date: Nov 1, 2024 Prepared By: J. Lee

Building

1. A Building Permit is required for all building construction;
2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2012.
3. **NOTE:** No unprotected openings permitted in exterior wall less than 1.2m to property line.
4. **NOTE:** 45-minute fire resistance rating required for exterior wall where limiting distance is less than 1.2m but not less than 0.6m.

Date: December 17, 2024 Prepared By: Q.Tan

Transportation PlanningDeemed Road Width Analysis

Maplehurst Avenue is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: September 20th, 2024 Prepared By: Taylor Kirchknopf

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Transportation Planning have reviewed the proposed minor variance application and have no comments.

Date: November 15th, 2024Prepared By: Taylor Kirchknopf**Finance****Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: October 30, 2024Prepared By: L. Bray**Halton Region**

Regional Staff have reviewed the Minor Variance application for 1043 Maplehurst Avenue where the application is proposing to legalize an existing accessory building in the rear yard which was not constructed in accordance with City approvals. Variances to the south-east side yard are required.

- Due to recent Provincial legislation, as of July 1, 2024, the Region is no longer be responsible for the Regional Official Plan – as this has become the responsibility of Halton’s four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities is being prepared that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters. Going forward, comments offered through minor variance applications will be reflective of this changing role.
- Regional Staff have no objections to the Minor Variance application.

Date: December 16, 2024Prepared By: Shiza Mushtaq

**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: Amanda D'Angelo

Name of Zoning Examiner: _____

PROPERTY INFORMATION

Municipal Address(es) of property:

1043 Maplehurst Ave. Burlington Ont. L7T 3G3

Legal Description of property:

LT 12, PL PF1073 Burlington

Official Plan Designation: Residential-Low Density Current Zoning Designation R2.4

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

Wood, Glenda

Mailing Address: 1043 Maplehurst Ave. City: Burlington

Postal Code: L7T 3G3 Home Phone: _____ Mobile Phone: 289 230-6512

Work Phone: _____ E-Mail: woodglj@gmail.com

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name: Zen Construction Inc.

Business Address: 4690 Highway 6 City: Hagersville

Postal Code: N0A 1H0 Home Phone: _____ Mobile Phone: 289 925-4733

Work Phone: 905 768 8974 E-Mail: josh@yourzenspace.ca | office@yourzenspace.ca
(OFFICE)

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

Permit a decreased yard setback from the required minimum 1.2m to 0.7m for an existing accessory building on the South side Lot line.

Variance(s) Requested	Zoning Bylaw Requirement
Minor variance request for a 0.7m yard setback for an existing Shed structure.	The minimum required yard setback is 1.2m

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

- Why is the variance(s) minor in nature? The existing wood shed encroaches 0.75m on the Southside lot line, however it has not resulted in any negative impacts to the surrounding property.
- Why are the variance(s) desirable for the appropriate use of the land? The existing structure provides amenity space and storage as there is no garage on the property. Therefore, the requested variance is an appropriate use of the land.
- Do the variance(s) meet the intent and purpose of the Official Plan? The requested variance meets the intent and purpose of the Official Plan as the existing shed provides additional storage space and has not caused any adverse impacts to the maintenance or care of the property.
- Do the variance(s) meet the intent and purpose of the Zoning By-law? The existing shed abuts a board fence and the neighbouring property owners have stated there have been no negative impacts to the maintenance of their property. Therefore, the requested variance satisfies the intent and purpose of the Zoning By-Law.

PROPERTY DETAILS (please complete all fields):

Date property purchased: <u>AUG/06/2014</u> mmm/dd/yyyy	Date property first built on: <u>Jan/25/1961</u> (Approx) mmm/dd/yyyy	Date of proposed construction: <u>n/a</u> mmm/dd/yyyy
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Existing Use of the Subject Property (check one):

- Detached Dwelling Semi-Detached Dwelling
 Townhouse Dwelling Street Townhouse Dwelling
 Stacked Townhouse Dwelling
 Apartment Mixed Use Hi Rise
 Commercial Industrial Vacant
 Other _____

Length of time the existing uses of the subject property have continued:

63 years

Proposed Use of the Land:

Residential

Existing Uses of Abutting Properties (check all that apply)

- Residential Commercial Industrial Multi-Residential Vacant Hydro right-of-way
 Railway right-of-way Provincial Highway Park Other _____
 Conservation Halton Lands: Lake Ontario Creek Storm Water Management Pond/Channel
 Ravine

Additional Information

Is liquor sold on site? Y or N

Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y N Unknown

Type of Access to the Subject Lands

Provincial Highway Municipal Road Private Road Water Other(specify)

Municipal Services Provided

Water If not available, by what means is it provided: _____
 Sanitary Sewers If not available, by what means is it provided: _____
 Storm Sewers If not available, by what means is it provided: _____

IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS:

- Official Plan Amendment Zoning By-law Amendment Building Permit
 Site Development Plan Plan of Subdivision Previous Minor Variance Consent

FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Frontage	Depth	Area	Actual	Deemed	Required		
18.9m	37.19m	702.9m ²	20.00	20.00	0	21%	

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Dwelling/Building)		PROPOSED (Dwelling/Building/Addition)	
Ground Floor Area (incl. attached garage)	129.89 M ²	Ground Floor Area (incl. attached garage)	M ²
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Number of Storeys:	single storey	Number of Storeys:	
Width:	14.34 M	Width:	M
Length:	11.28 M	Length:	M
Height:	M	Height:	M
Garage/Car Port N/A		Garage/Car Port	
Detached?	Y <input type="checkbox"/> N <input type="checkbox"/>	Detached?	Y <input type="checkbox"/> N <input type="checkbox"/>
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Width:	M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M
Accessory Structures (Shed, Gazebo, etc)		Accessory Structures	
Gross Floor Area:	18.22 M ²	Gross Floor Area:	M ²
Width:	3.66 M	Width:	M
Length:	5.49 M	Length:	M
Height:	2.46 M	Height:	M
Other (pool, additional sheds, decks, driveways, etc.)		Other	
Gross Floor Area:	M ²	Gross Floor Area:	M ²
Width:	N/A M	Width:	M
Length:	M	Length:	M
Height:	M	Height:	M

LOCATION of all existing and proposed buildings and structures

EXISTING		PROPOSED	
Front:	28.6 M	Front:	M
Rear:	3.55 M	Rear:	M
Side/Street Side:	0.3 M	Side/Street Side:	M
Side/Other Side:	16.67 M	Side/Other Side:	M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

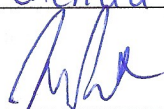
I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name

Glenda Wood

Property Address

1043 Maplehurst Ave



Signature of Owner/Applicant

Sept 13/2024

Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or Authorized Agent:

Agent: Zen Construction Inc.

I, Joshua Patt of the County of Haldimand in the Town
(print name) (Region/City/County) (City/Town/Township)

of Hagersville solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the County of Haldimand in the Town of Caledonia
(Region/City/County) (City/Town/Township)

this 13th day of Sept 2024.

Carolyn Jane Sack

Signature of Commissioner, etc.

[Signature]

Signature of Applicant or Authorized Agent

Carolyn Jane Sack, a Commissioner etc.,
Norfolk and Haldimand Counties, for
Larry S. Humenik, Barrister & Solicitor.
Expires March 3, 2027

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 1043 Maplehurst Ave. Burlington

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

Glenda Wood

Signature of Owner

Glenda Wood

Print Name

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, Glenda Wood being the registered owner of the subject lands, hereby
(print name)

Authorize Zen Construction Inc. to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.

Glenda Wood
Signature of Owner

Sept / 11 / 2024
Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	✓
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	✓
SITE PLAN <ul style="list-style-type: none"> <input type="checkbox"/> Metric Scale <input type="checkbox"/> North Arrow <input type="checkbox"/> Frontage <input type="checkbox"/> Depth <input type="checkbox"/> Lot Area <input type="checkbox"/> Lot Coverage <input type="checkbox"/> Deemed Street Line <input type="checkbox"/> Existing Front Yard Setbacks <input type="checkbox"/> Existing Rear Yard Setbacks <input type="checkbox"/> Existing Side Yard Setbacks <input type="checkbox"/> Existing Street Side Yard Setbacks <input type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Proposed Front Yard Setbacks <input type="checkbox"/> Proposed Rear Yard Setbacks <input type="checkbox"/> Proposed Side Yard Setbacks <input type="checkbox"/> Proposed Street Side Yard Setbacks <input type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input type="checkbox"/> Streets (Public and Private) <input type="checkbox"/> Street Names <input type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input type="checkbox"/> Railways (Location of them and setbacks to structures) <input type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.
Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- Setbacks
- Height
- Area
- Length
- Width

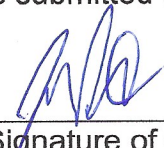
ELEVATIONS

- Metric
- Front
- Rear
- Side 1
- Side 2

FLOOR PLANS

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.



Signature of Owner/Agent

Sept 13 / 2024

Date (mmm/dd/yyyy)

NOTICE OF PUBLIC HEARING

Glenda Wood, the owner of 1043 Maplehurst Ave. Burlington, has applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **1043 Maplehurst Ave., Burlington** (see map).

The applicant is proposing to legalize an existing accessory building in the rear yard. This proposal results in the following variance:

1. To permit a south-east side yard of 0.7 m instead of the minimum required 1.2 m for an existing 23.1 m² accessory building.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **January 20th, 2025**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 5, 2025,

This application is scheduled to be heard at or after 5:30 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **4:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Erin Shacklette at committeeofadjustment@burlington.ca

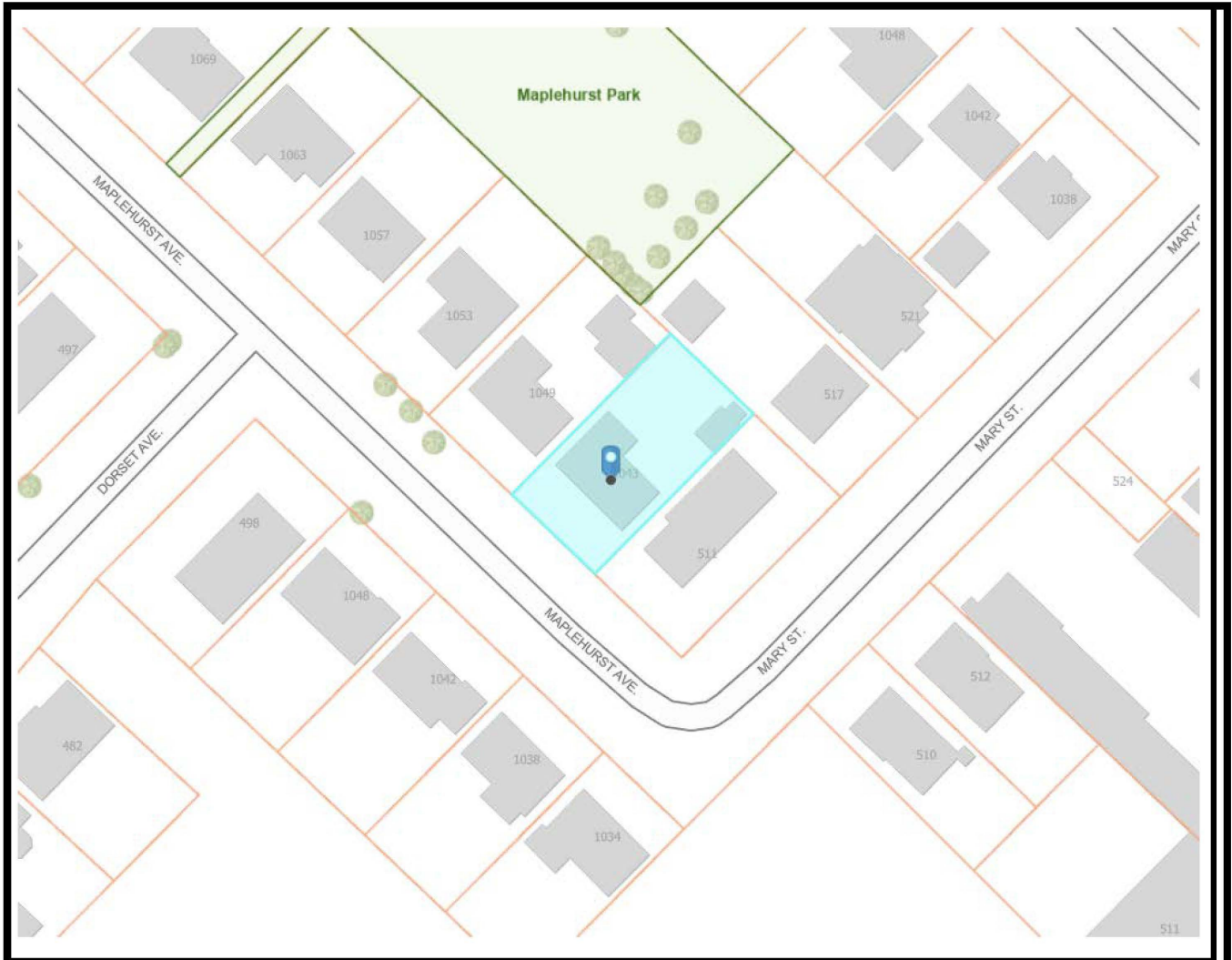
Yours truly,



Erin Shacklette
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



Key Map

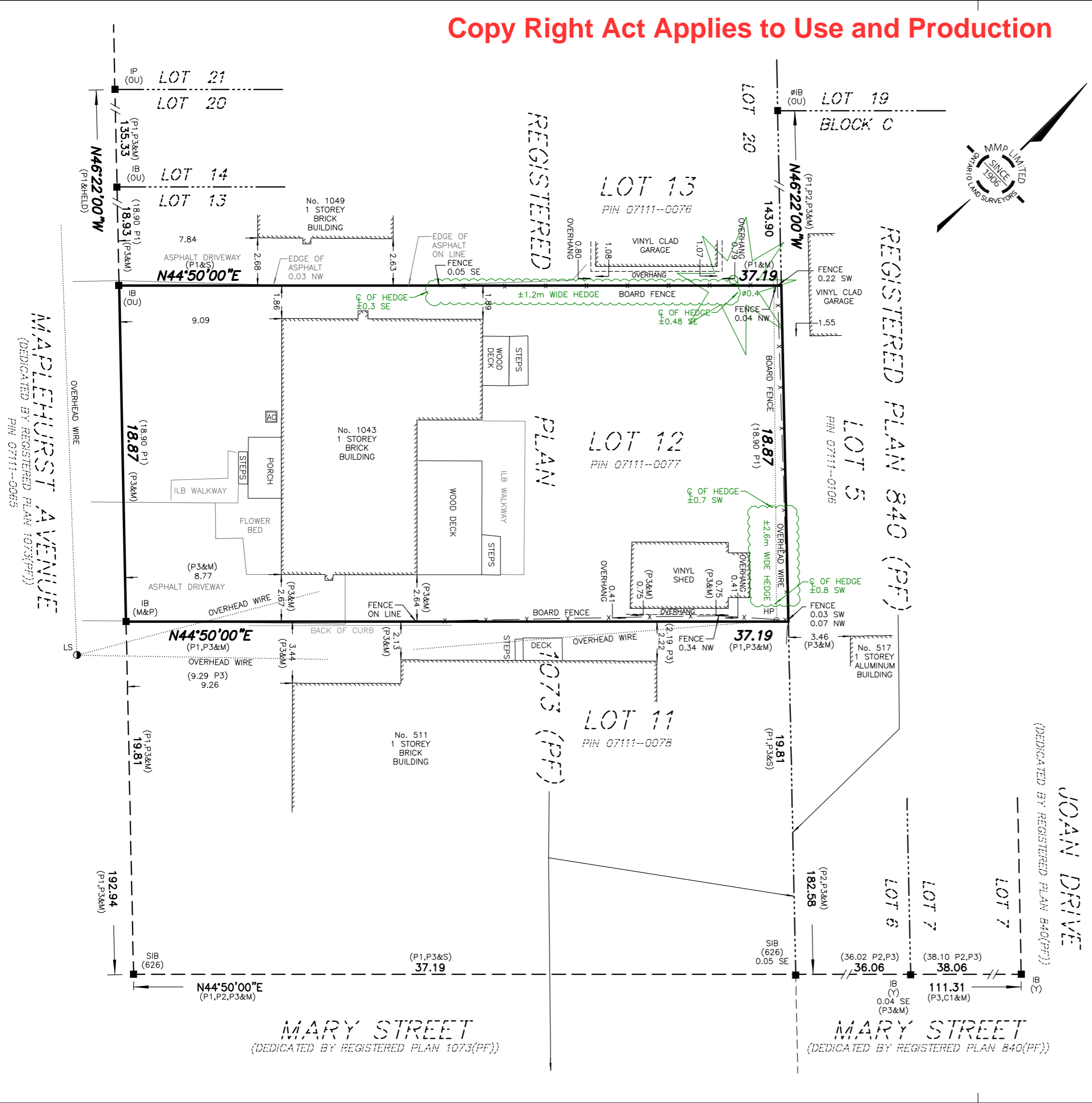


1043 Maplehurst Ave



Committee of Adjustment Community
Planning Department - Planning
Implementation

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SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY OF
ALL OF
LOT 12
REGISTERED PLAN 1073 (PF)
IN THE
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON
SCALE 1 : 200

KNOWN AS MUNICIPAL No. 1043 MAPLEHURST AVENUE

PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)
 LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - DATE JULY 16, 2024.

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 - NONE

ADDITIONAL REMARKS:
 - REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES

MackAY, MacKAY & PETERS LIMITED grants GLENDA WOOD ("The Client"), their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving "The Client"

METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

COLOUR THE ORIGINAL SIGNED PRINT OF THIS PLAN OF SURVEY CONTAINS COLOUR

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
V-84712

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29(3)

LEGEND

- DENOTES A SURVEY MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- IP DENOTES IRON PIPE
- P1 DENOTES REGISTERED PLAN 1073(PF)
- P2 DENOTES REGISTERED PLAN 840(PF)
- P3 DENOTES PLAN BY MMP LIMITED DATED JUNE 21, 2018 (18-119)
- C1 DENOTES CALCULATED FROM P1 & P2
- PIN DENOTES PROPERTY IDENTIFICATION NUMBER
- LS DENOTES LIGHT STANDARD
- HP DENOTES HYDRO POLE
- AC DENOTES AIR CONDITIONER
- ILB DENOTES INTERLOCKING BRICK

ALL BUILDING TIES ARE TO FOUNDATION AND ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED

BEARING REFERENCE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH EASTERLY LIMIT OF MAPLEHURST AVENUE AS SHOWN ON REGISTERED PLAN 1073 (PF) HAVING A BEARING OF N46°22'00"W

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 16th DAY OF AUGUST, 2024.

AUGUST 26, 2024
 DATE

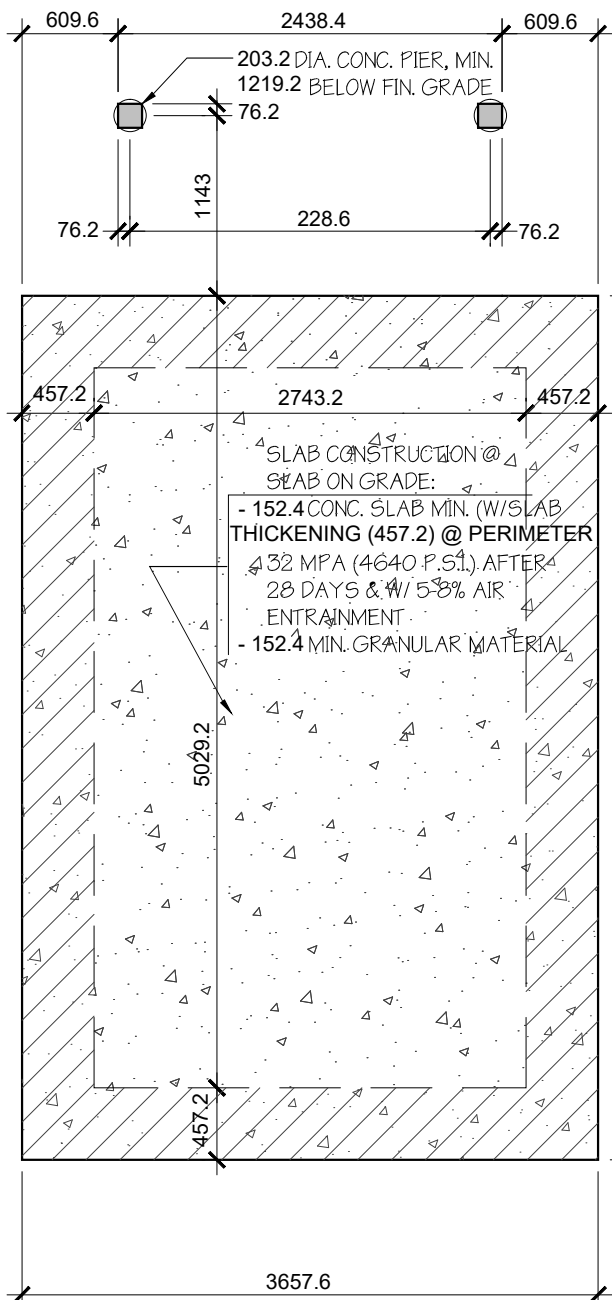
Roy C. Mayo
 ONTARIO LAND SURVEYOR
 FOR MACKAY, MACKAY & PETERS LIMITED

E:\(20) Halton\Registered Plans (PF)\RP 1073 (PF)\LOT 12\24-156\24-156.dwg

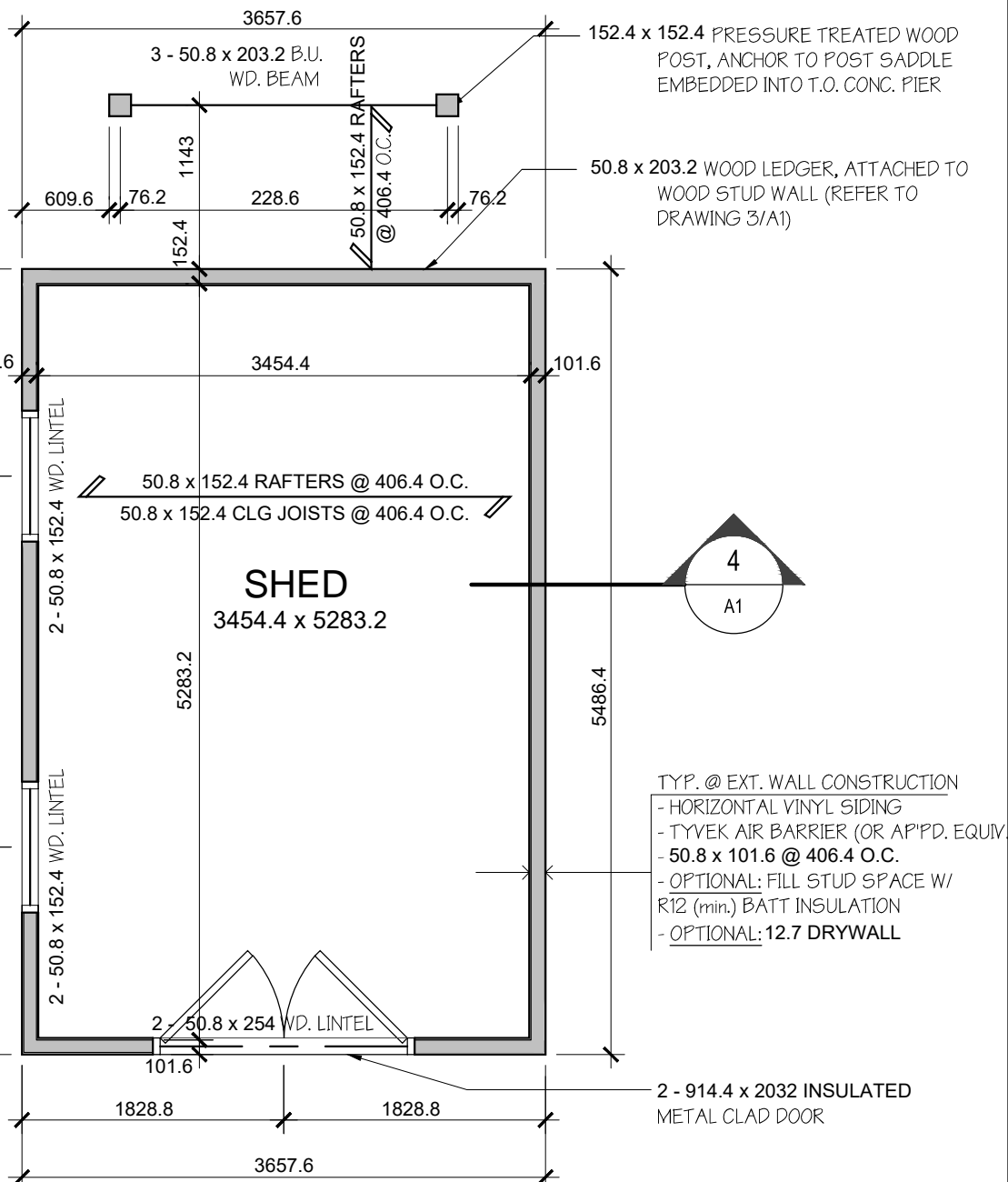
MMP
 MacKay, MacKay & Peters Limited
 LAND SURVEYORS & MAPPERS
 SINCE 1906

3380 South Service Road
 Unit 101
 Burlington, ON
 L7N 3J5
 (905) 639-1375
 halton@mmplimited.com
 mmplimited.com

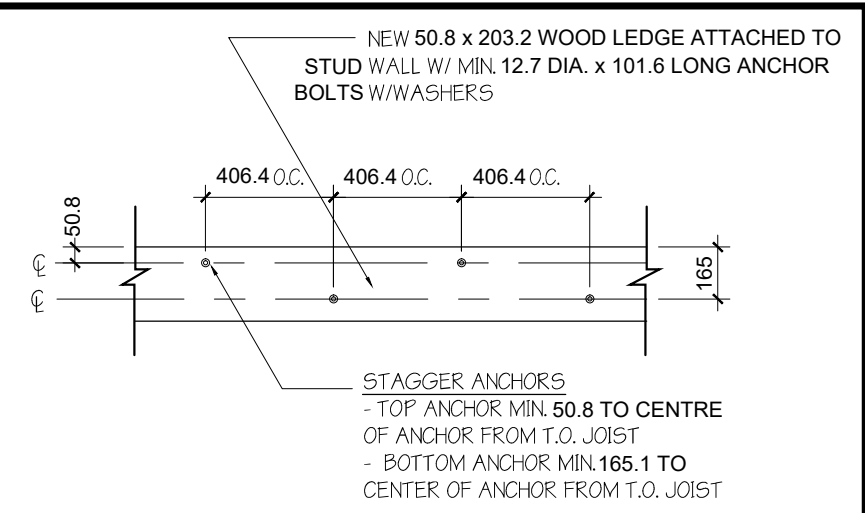
DRAWN BY:	A.S.
PARTY CHIEF:	C.M.
CHECKED BY:	<i>[Signature]</i>
PROJECT No.:	24-156



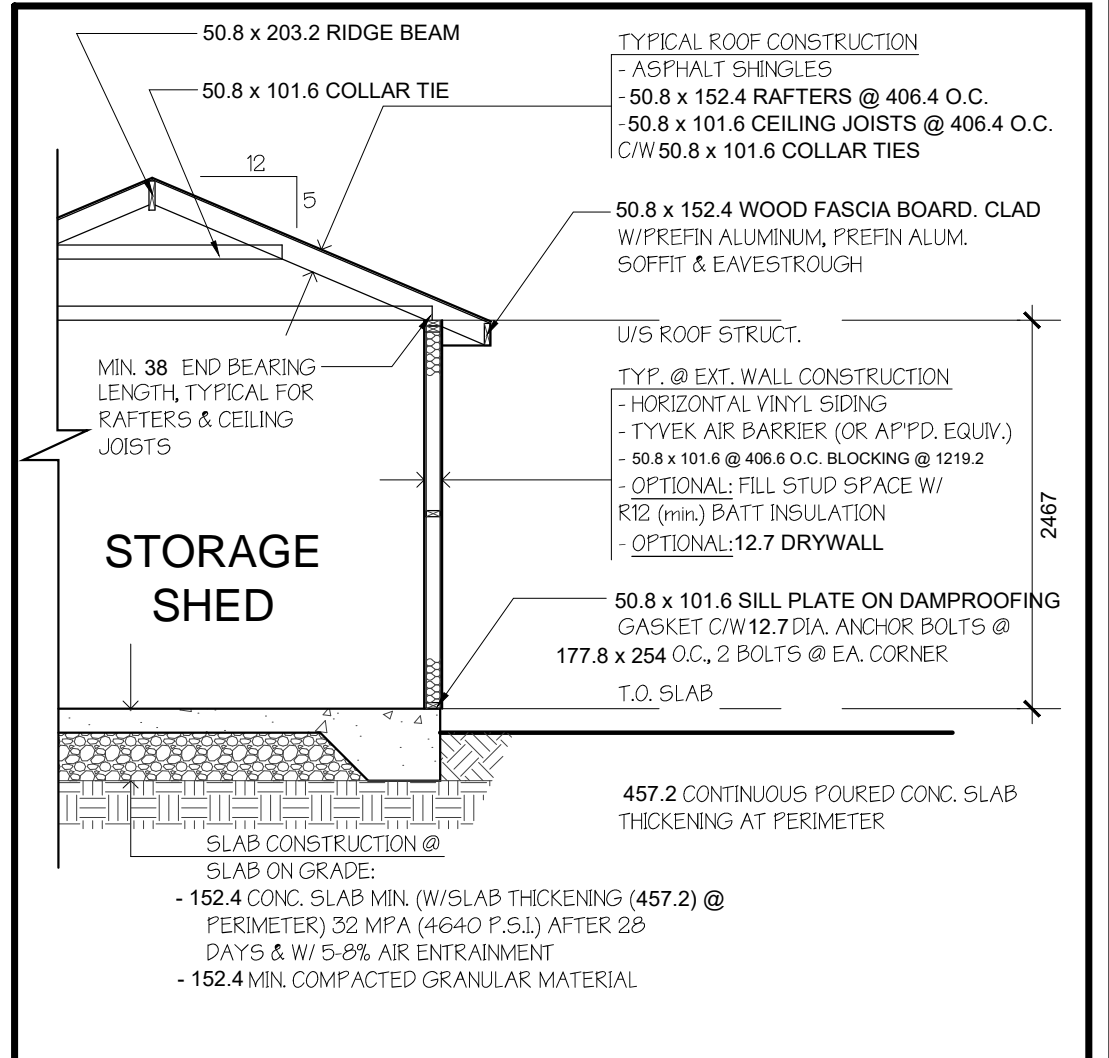
1 FOUNDATION
A1 1/4" = 1'-0"



2 GROUND FLOOR PLAN
A1 1/4" = 1'-0"



3 LEDGER BOARD ATTACHMENT
A1 1/2" = 1'-0"



4 PART BUILDING SECTION
A1 1/4" = 1'-0"

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GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
1. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
 2. VERIFY AND CHECK ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION.
 3. DETERMINE LOCATIONS OF ALL EXISTING SERVICES.
 4. PLANS ARE IN CONFORMANCE WITH THE ONTARIO BUILDING CODE.

ANY CHANGES, DESCREPARNCIES, OR SUBSTITUTIONS SHALL BE REPORTED TO AND REVIEWED BY THE ARCHITECT BEFORE PROCEEDING.

Authentic Design & Drafting
1603 Cayuga Rd.
Oshweken, ON

Contact: Jean Jacobs
Phone: (519) 445-1471
Email: mjjacobs@execulink.com

PROJECT NAME: **Zen Construction - Shed**

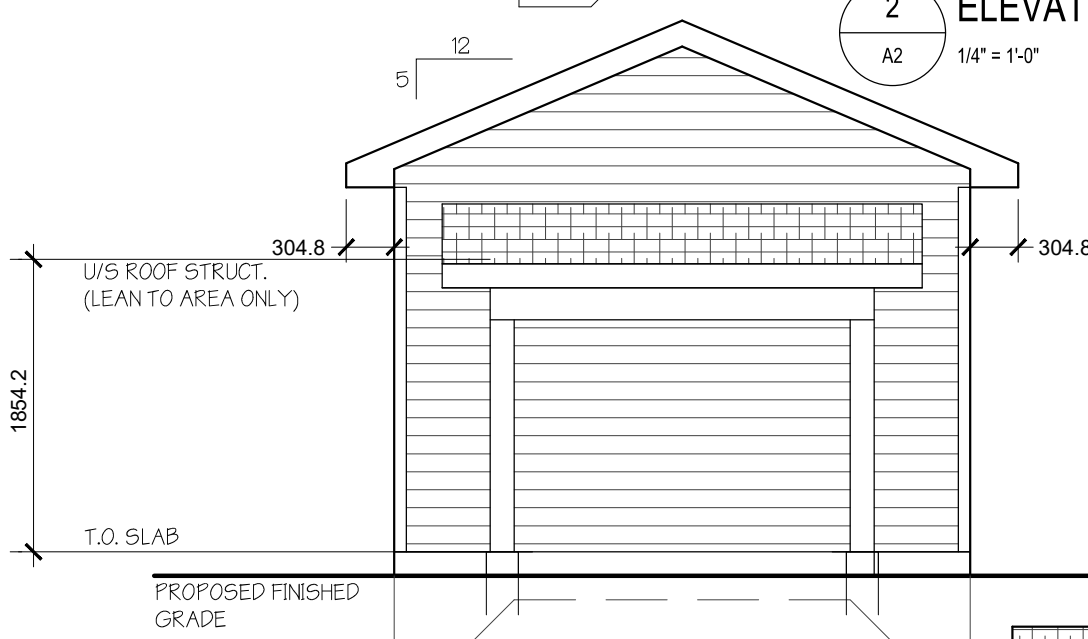
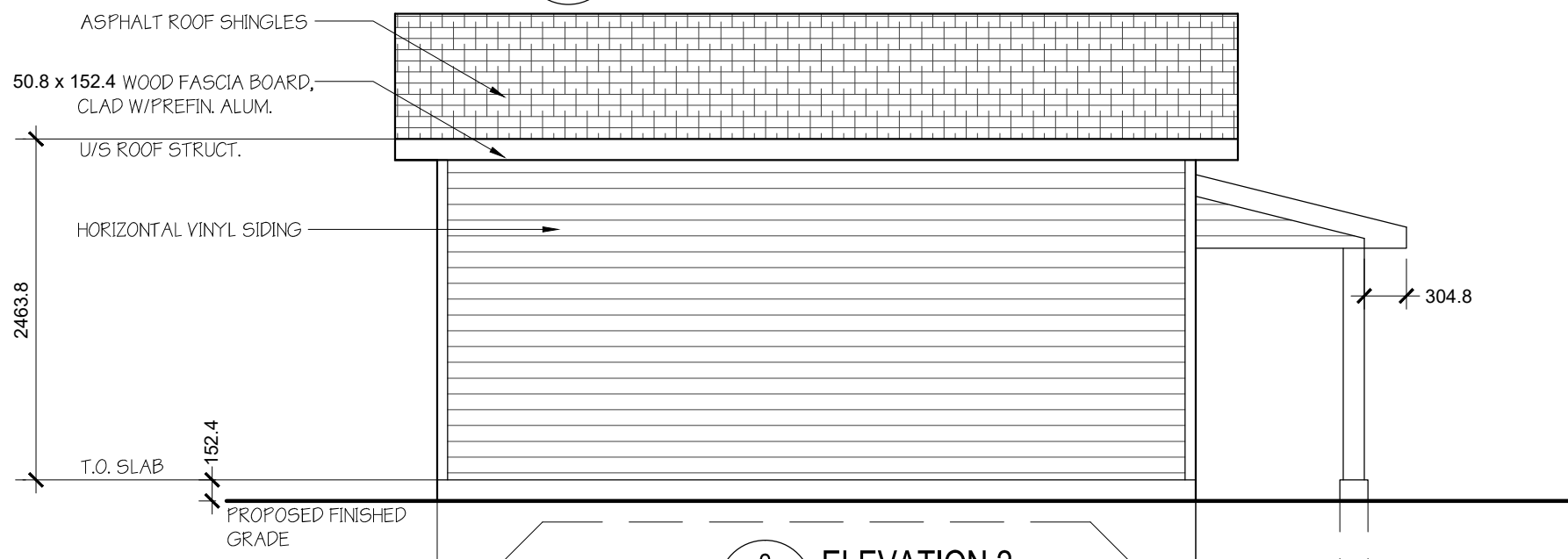
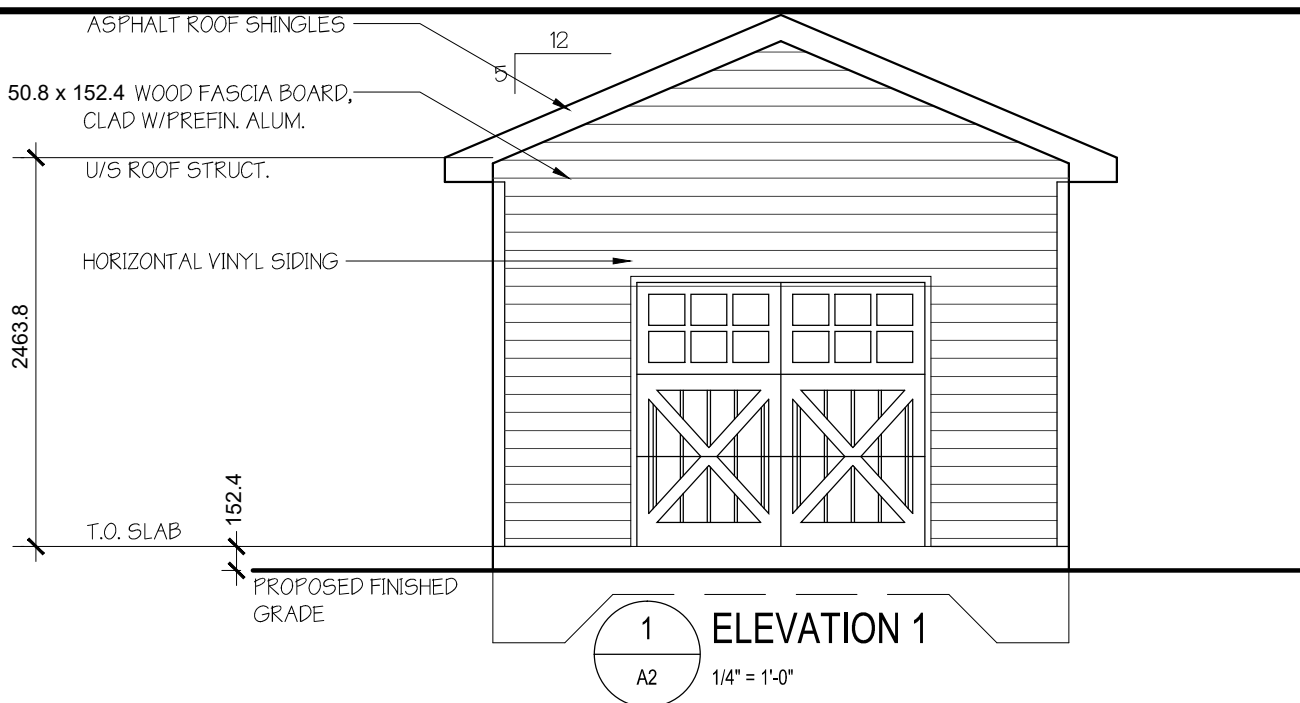
PROJECT OWNER:

DRAWING NAME: **Foundation & Ground Floor Plans, Ledger Detail, Part. Bldg. Section**

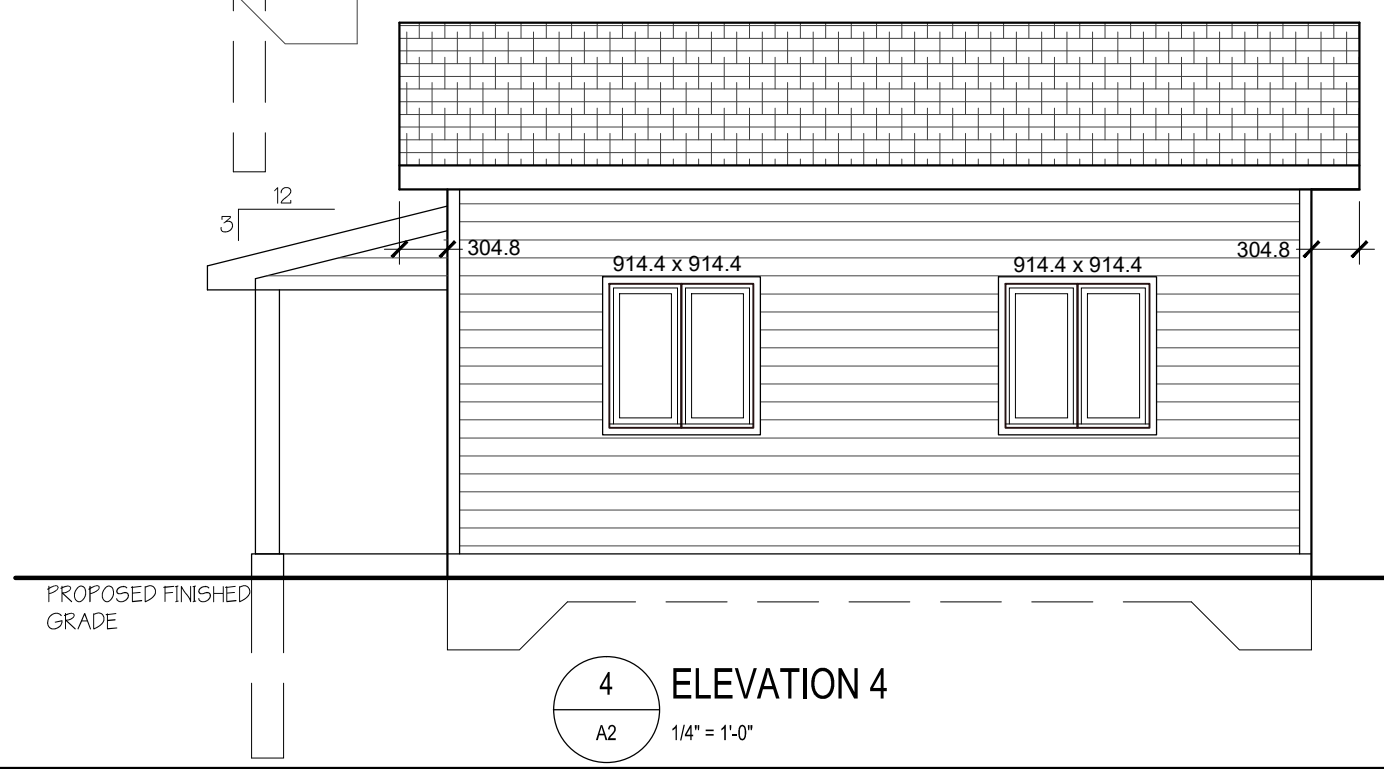
PROJECT No.: **17_016** DATE: 30 May, '17

DRAWN BY: J.J. SCALE: 1/4" = 1'-0"

DRAWING No.: **A1**



Copy Right Act Applies to Use and Production



- GENERAL NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 1. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
 2. VERIFY AND CHECK ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION.
 3. DETERMINE LOCATIONS OF ALL EXISTING SERVICES.
 4. PLANS ARE IN CONFORMANCE WITH THE ONTARIO BUILDING CODE.

ANY CHANGES, DISCREPANCIES, OR SUBSTITUTIONS SHALL BE REPORTED TO AND REVIEWED BY THE ARCHITECT BEFORE PROCEEDING.

Authentic Design & Drafting
 1603 Cayuga Rd.
 Oshweken, ON

Contact: Jean Jacobs
 Phone: (519) 445-1471
 Email: mjjacobs@execulink.com

PROJECT NAME: **Zen Construction - Shed**

PROJECT OWNER:

PROJECT No.: **17_016**

DATE: 30 May, '17

DRAWN BY: J.J.

SCALE: 1/4" = 1'-0"

DRAWING NAME: **Exterior Elevations**

DRAWING No.: **A2**

COMMITTEE OF ADJUSTMENT

Meeting #02

AGENDA

FEBRUARY 5, 2025

HEARING NO. 4.3 - 5:30 P.M.

File
540-02-A-084/24

APPLICANTS: Bradley and Jennifer Stapleford

PROPERTY: 237 Cheltenham Road,
City of Burlington - Regional Municipality of Halton.

PROPOSAL: The applicant is proposing the construction of a two-storey addition to the existing one storey dwelling with attached garage. The proposal includes an uncovered rear deck, covered front porch and new siding.

VARIANCE: 1. To permit lot coverage of 29.5% instead of the maximum permitted 25% for a two-storey dwelling with attached garage including an existing 7.8 m² accessory building.

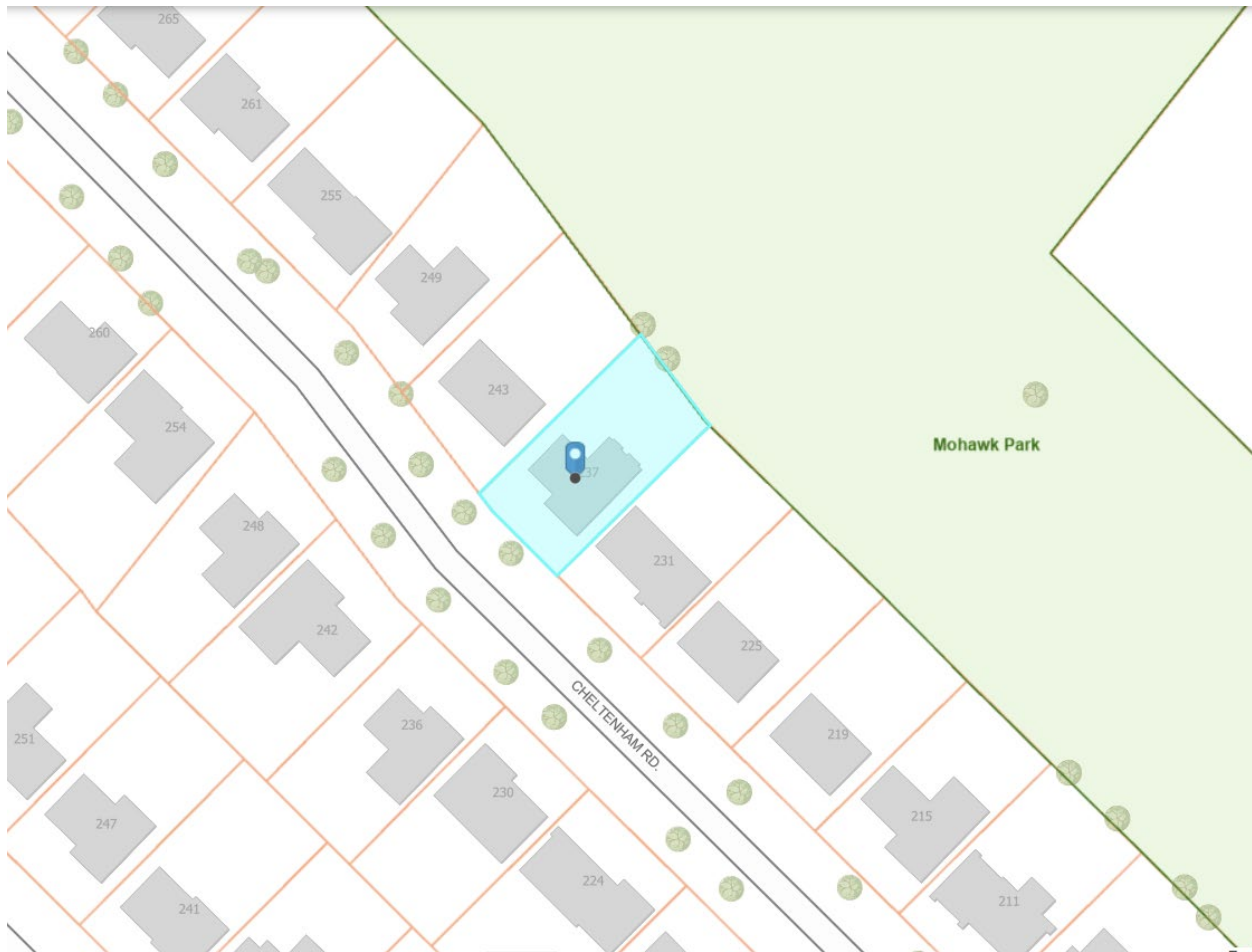
COMMITTEE OF ADJUSTMENT

Meeting #02

AGENDA

FEBRUARY 5, 2025

Owners: Bradley and Jennifer Stapleford
Address: 237 Cheltenham Rd., Burlington
File No. **A-084/24**
Ward: 5



Staff Comments

Committee of Adjustment

There are no previous land division or minor variance applications on record for this property.

Date: October 21st, 2024

Prepared By: C. Kabel

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Zoning

1) Background information:

The subject property is zoned **R3.1**, Low Density Residential, under Zoning By-Law 2020, as amended, and is located in the designated area for lot coverage and floor area ratio. The **R3.1** zone requires, among other things, the following:

4.1 LOT WIDTH, AREA, YARDS

Table 2.4.1

Zone	Lot Width	Lot Area	Front Yard	Rear Yard	Side Yard	Street Side Yard
R3 ZONES						
R3.1	15 m	500 m ²	6 m	9 m	(b)	4.5 m

Footnotes to Table 2.4.1

- (c) With attached garage or carport:
 - (i) One or one and a half storey side: 1.2 m
 - (ii) Two or more storey side: 1.8 m

4.2 MAXIMUM LOT COVERAGE

Table 2.4.3

Dwelling Type	Dwelling with Attached Garage
All Dwellings in Designated Areas (b)	25% for all other dwelling types including accessory buildings

Footnotes to Table 2.4.3

- (a) One accessory building less than 10 m² and less than 2.5 m in height shall be exempt from the lot coverage requirements of Table 2.4.3.
- (b) Designated Areas are shaded on ZONING MAPS in Part 15.

2) Proposal:

The applicant is proposing the construction of a two-storey addition to the existing one storey dwelling with attached garage. The proposal includes an uncovered rear deck, covered front porch and new siding. The existing 7.8 m² rear yard shed is to remain and has been included in the lot coverage calculation.

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The proposed two storey addition changes the maximum lot coverage requirement from 35% maximum for a one storey dwelling with attached garage including accessory buildings in a Designated Area to 25% maximum for a two-storey dwelling with attached garage including accessory buildings in a Designated Area.

3) Variances required:

1. To permit lot coverage of 29.5% instead of the maximum permitted 25% for a two-storey dwelling with attached garage including an existing 7.8 m² accessory building.

4) Condition:

1. The applicant shall apply for a Pre-Building Approval application.

5) Notes:

1. Variances have been identified based on the plans submitted for zoning review. If additional variances are identified when a Pre-Building Approval Application is made, they will be the responsibility of the applicant to obtain.
2. Existing lot coverage of 23.3% complies with the maximum permitted 35% for a one storey dwelling with attached garage in a Designated Area.
3. The variances are being reviewed under 45(1) of the *Planning Act*.

Date: 11 December, 2024Prepared By: Erin Ruby**Site Planning**

A minor variance application has been submitted to the City of Burlington to facilitate the construction of a first and second-storey addition on an existing one-storey dwelling. The applicant requests approval of the Committee of Adjustment because the proposed addition will exceed the permitted lot coverage:

1. To permit lot coverage of 29.5% instead of the maximum permitted 25% for a two-storey dwelling with attached garage including an existing 7.8 m² accessory building.

The subject lands are rectangular-shaped lot with a total area of 608.7 m² (0.06 hectares) with approximate lot frontage of 17.6 metres along Cheltenham Road. The lands are known municipally as 237 Cheltenham Road.

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Adjacent and surrounding lands uses to the north, south, and west include predominantly low density single detached dwellings. To the east is Mohawk Park and St. Patrick Catholic Elementary School.

The City of Burlington Official Plan, 1997 (BOP, 1997) describes the City structure as being comprised mainly of *residential neighbourhoods*, defined as a residential area sharing similar characteristics with identifiable boundaries, such as arterial or collector roads, hydro corridors, creeks or an area of non-residential uses. While new residential development is required to be compatible with “surrounding properties”, many of the Official Plan’s development and intensification policies reference the *residential neighbourhood* or “neighbourhood” as an important lens for assessing the compatibility of a development proposal. The property is in a *residential neighbourhood* bounded by Spruce Avenue to the north, Mohawk Park to the east, Lakeshore Road to the south and White Pines Drive to the west. The neighbourhood is characterized by a mixture of one to two-storey detached dwellings (with attached garages), and different building footprints and depths. Properties in the neighborhood are generally in the Low Density Residential (R3.1 and R3.2) zone. The subject lands are within the R3.1 Zone.

Existing land uses on the property include a detached one-storey dwelling (with an attached garage) (133.9 m²) with a front covered porch and accessory structures including a rear yard shed (7.8 m²) and stone patio. The existing lot coverage, including accessory structures is 141.7, whereas 152.2 m² is permitted. Access to the property is via a single wide asphalt driveway from Cheltenham Road. Off-street parking is currently provided on the driveway, which can accommodate the required two (2) parking spaces. No additional entrances are contemplated by the application. A site visit was conducted on December 18, 2024, and existing on-site conditions are summarized in site photos included as Attachment No. 1 (Site Photos).

The proposal includes a first and second storey addition to be sited in rear yard and atop the existing attached garage. The additional lot coverage proposed is 37.5m² for a total lot coverage of 179.2 m² (241.7 m² GFA).

A site plan (as prepared on December 9, 2024), and submitted with the application, illustrates the extent and location of existing and proposed development. A copy of the site plan is included as an attachment in a later section of this report. Building elevations and floor plans (as prepared on December 9, 2024) as submitted with the application, are included as an attachment in a later section of this report.

1) City of Burlington Official Plan:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Official Plan?

Yes

Regional Official Plan (2022):

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Due to recent Provincial legislation, as of July 1, 2024, the Region is no longer be responsible for the Regional Official Plan – as this has become the responsibility of Halton’s four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and eight municipalities and public agencies was prepared that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters. Going forward, comments offered through minor variance applications will be reflective of this changing role.

The subject lands are located within the Urban Area (Map 1) and within the Built Boundary (Map 1h) in the Regional Official Plan (ROP). The proposal to build a second storey addition to an existing detached dwelling is small enough in scale that it is not specifically addressed by ROP policies, but is a modest form of intensification that meets the general intent and purpose of the ROP’s land use designation policies and objectives under Part III.

Regional Staff have also reviewed the application and have no objection.

City of Burlington Official Plan:

On April 2, 2024 the Ontario Land Tribunal issued a decision granting the City’s motion for partial approval of the Burlington Official Plan, 2020 (BOP, 2020). This decision brought the “Residential Neighbourhood Areas” policies under “Chapter 8- Land use policies” into force. These policies supersede the “Residential Areas” policies of the Burlington Official Plan, 1997 (OP, 1997). However, other chapters of BOP, 2020 relevant to the application, such as Chapter 7- Design Excellence, remain under appeal so the application has been reviewed against a combination of in-force policies under both Official Plans.

The subject lands are designated ‘Residential – Low Density’ according to Schedule ‘C’ (Land Use - Urban Area) of the BOP, 2020, as amended.

Section 8.3.3 (1) (Residential Neighbourhood Area Policies) of the BOP, 2020, states that among the permitted uses within the ‘Residential Low Density’ designation are single detached housing units (with a maximum permitted residential density of 25 units per hectare). As such, the proposed is a permitted use and the proposed minor variance does not impact the density.

The general intent and purpose of the BOP, 2020 is to encourage new residential development, including new structures, in residential neighbourhood areas while recognizing that the form of development must be balanced with other considerations like compatibility and integration within existing *residential neighbourhoods*.

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Part II, Section 6.5 (Design Guideline Policies) of the OP, 1997 lists aspects of new development that should be compatible and integrate well with the surrounding area including “the density, form, bulk, height, setbacks, spacing and materials...”

Compatible(ity) is defined in the OP, 1997 as: “development or redevelopment that is capable of co-existing in harmony with, and that will not have an undue physical (including form) or functional adverse impact on, existing or proposed development in the area or pose an unacceptable risk to environmental and/or human health. Compatibility should be evaluated in accordance with measurable/objective standards where they exist, based on criteria such as aesthetics, noise, vibration, dust, odours, traffic, safety and sun-shadowing, and the potential for serious adverse health impacts on humans or animals.”

To assess the proposal’s compatibility with the surrounding area and the appropriateness of the design, staff need to consider the predominant building patterns and common features of development in the neighbourhood, but also the potential form and scale of the neighbourhood represented by the as-of-right zoning permissions. Staff must also consider the range or variety of different building characteristics that coexist harmoniously and without adversely impacting the character within the *residential neighbourhood*.

This *residential neighbourhood* is characterized by predominantly one-storey detached dwellings with a some two-storey dwellings. Most dwellings on the street have attached garages. There are a variety of building footprints and depths present. In the immediate area, there are a mixture of built forms, including one to two-storey detached dwellings. The proposal is in keeping with the identified neighbourhood character.

The dwelling maintains similar design and built form elements to the existing dwelling and other existing dwellings in the surrounding, particularly with respect to materials, rooflines, and window shapes and sizes. The proposal is a partial second storey addition above only a portion of the first storey, which further reduces the massing impacts on the abutting properties. Staff are of the opinion that the proposed addition is well integrated into the existing dwelling.

The proposal was also assessed for any potential adverse impacts the neighbourhood and most notably the northwestern property (243 Cheltenham Road) as the proposed addition is situated on the northwestern side of the property. The proposed addition will maintain the existing side yard setback of 2.74 metres whereas 1.8 metres is required. The proposed addition is within the height requirement and complies with the FAR provision, further indicating the proposed is not an overbuild of the subject lands or a proposal which would result in any adverse impacts to the northwestern abutting property.

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Overall, staff are of the opinion that the proposed addition meets the compatibility polices and within the Official Plan and is in keeping with the general intent and purpose of the City of Burlington Official Plan.

2) City of Burlington Zoning By-law 2020:

Does the proposed minor variance(s) from the zoning by-law maintain the general intent and purpose of the Zoning By-law?

Yes

The subject lands are zoned Low Density Residential ('R3.1') Zone within the City of Burlington Zoning By-law 2020. A detached dwelling is permitted within the applicable zoning. The property is also located within a designated area for lot coverage pursuant to Part 15 of the Zoning By-law.

Section 4.2 (Table 2.4.3) (Maximum Lot Coverage) of the City of Burlington Zoning By-law 2020 stipulates that the maximum permitted lot coverage of all other dwellings (with an attached garage), as located within a designated area for lot coverage is 25 per cent, including accessory buildings. The proposed lot coverage is 179.18m² (27.4 per cent) (including a 7.8m² accessory structure). If the proposal were one-storey tall, the maximum coverage would be 35%, but the addition over the garage means that the house is considered two-storeys tall. Two-storey houses have a maximum permitted coverage of 25%.

Lot Coverage is defined in the zoning by-law as 'the percentage of the lot area covered by buildings measured to the outside of the exterior walls, including all buildings and projections (cantilevered floor space, window projections, etc.). Carports, porches and decks may be excluded from the lot coverage calculation provided there is no floor area above them'.

The intent of the zone provision related to maximum permitted lot coverage is to ensure an appropriate balance between built form and natural or landscape features with the objective of regulating the over-development of lots. The measure of lot coverage can be assessed on a technical basis (i.e., permeable vs. non-permeable area) or in balancing built form and landscaped areas in conjunction with other regulations (i.e., setbacks; minimum distance separation).

As the proposed addition is in the rear of the property and the intent of the provision is to regulate over-development, staff have evaluated whether the addition leaves enough rear yard open space. While the proposal increases impervious surfaces, it meets and exceeds all required setbacks. The proposed side yard setback is 2.74 metres (1.8

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metres required), and the proposed rear yard setback is 11.68 metres (9 metres required). While an additional 27.4m² of coverage and will decrease the amount of permeable landscaping in the rear yard, staff are of the opinion that the proposed addition integrated well into the existing dwelling, and that a sufficient amount of rear yard landscaping remains. Except for lot coverage, the proposal meets all other required zoning provisions, notably all setbacks, height and FAR requirements, leading staff to the conclusion that the proposal is not an overdevelopment of the subject lot.

If approved, staff are of the opinion that the proposal maintains an adequate amount of landscaped area does not result in overdevelopment of the lot. As such, the proposed variance maintains the general intent and purpose of the Zoning By-law.

3) Desirability:

Is the proposed minor variance from the zoning by-law desirable for the appropriate development or use of the land, building or structure?

Yes

As noted previously, the applicant is proposing an increase of 4.5 per cent lot coverage to what currently exist, a small increase to the existing lot coverage.

Site Engineering staff has reviewed the application and has indicated no objection to the requested variance. Further review/revisions to plans may be required through the Grading and Drainage Clearance Certificate process.

Staff are of the opinion that the requested variance is desirable, given that the addition will increase the utility of the existing dwelling while maintaining compatibility with surrounding neighbourhood character and not cause any adverse impacts to the surrounding properties.

4) Minor in Nature:

Is the proposed minor variance(s) from the zoning by-law considered minor in nature?

Yes

The proposed development is intended to continue the use of the property for residential purposes with minimal land use impacts anticipated. Except for the proposed lot coverage, the development otherwise complies with the provisions of the applicable zoning. In consideration of the above, it is staff's opinion that the requested minor variance to the City of Burlington Zoning By-law 2020 be deemed minor.

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Cumulative Effects of Multiple Variances and Other Planning Matters:

N/A

Recommendation:

Staff has reviewed the subject application in accordance with the Planning Act, the policies of the Official Plan and the requirements of the Zoning By-law and has no objection to the requested variance.

Date: January 20, 2025

Prepared By: Ryan Kochuta

Report Schedules & Attachments:

Attachment No. 1 (Site Photos – December 18, 2024)



View of the subject property from the street



View of the abutting northern property and side yard



View of abutting southern property



View of the rear of the existing house

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View of northern abutting property from the rear yard of the subject lands



View of 215 Cheltenham Road



View of 210 Cheltenham Road



View of 268 Cheltenham Road

Development Engineering

Development Engineering has reviewed the proposed minor variances and has no objection to the variance(s) requested. Revisions to the plans may be required through the Grading and Drainage Clearance Certificate process.

Date: December 12, 2024

Prepared By: R. Maximo

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Forestry

Forestry has no objection to the proposed minor variance(s) and provides the following advisory note(s) to the applicant:

- 1. A tree permit will be required for any and all work around regulated trees in accordance with the City's Tree By-laws.
- 2. Revisions to the report and/or plans may be required through the tree permit process.

Date: December 13, 2024

Prepared By: R. Shaw-Lukavsky

Building

- 1. A Building Permit is required for all building construction;
- 2. Permit application drawings are to be prepared by a qualified designer as per Div. C., Section 3.2 - Qualifications of Designers and OBC 2012.

Date: Jan 2, 2025

Prepared By: T. Le

Transportation Planning

Deemed Road Width Analysis

Cheltenham Road is under the authority of the City of Burlington and the deemed right-of-way width is 20 metres. The right of-way adjacent to the subject site is approximately 20 metres therefore no additional lands are required.

Date: October 22 2024

Prepared By: Taylor Kirchknopf

Transportation Planning have reviewed the proposed minor variance application and have no comments.

Date: January 6, 2025

Prepared By: Taylor Kirchknopf

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Finance**Notice regarding Development Charges:**

The owner, its successors and assigns, are hereby notified that City Development Charges may be payable in accordance with the applicable By-law 72-2004, as may be amended, upon issuance of a building permit, at the rate in effect on the date issued. For further information, the owner is advised to contact the City Building Department (905) 335-7731.

Tax

All property taxes including penalty and interest must be paid. This includes all outstanding balances plus current year taxes that have been billed but are not yet due. Local improvements must be commuted.

Date: December 11, 2024 Prepared By: L. Bray

Halton Region

Regional Staff have reviewed the Minor Variance application for 237 Cheltenham Road where the application is proposing the construction of a two-storey addition to the existing dwelling with attached garage. Variances to lot coverage are required.

1. Due to recent Provincial legislation, as of July 1, 2024, the Region is no longer be responsible for the Regional Official Plan – as this has become the responsibility of Halton’s four local municipalities. As a result of this change, a Memorandum of Understanding (MOU) between the Halton municipalities and Conservation Authorities is being prepared that identifies the local municipality as the primary authority on matters of land use planning and development. The MOU also defines the continued scope of interests for the Region and the Conservation Authorities in these matters. Going forward, comments offered through minor variance applications will be reflective of this changing role.
2. Regional Staff have no objections to the Minor Variance application.

Date: January 6th, 2025 Prepared By: Shiza Mushtaq

Burlington Hydro

Please reach out to Burlington Hydro to disconnect the existing hydro service before stating any demolition and/or construction.

Date: January 6th, 2025 Prepared By: Harpreet Singh

**PLANNING ACT, R.S.O. 1990, C.P. 13
APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**

THE UNDERSIGNED HEREBY APPLIES TO THE COMMITTEE OF ADJUSTMENT FOR THE CITY OF BURLINGTON UNDER SECTION 45 OF THE PLANNING ACT, R.S.O. 1990, C.P.13, AS DESCRIBED IN THIS APPLICATION, FROM BY-LAW NO. 2020. (AS AMENDED)

Application made under:

Section 45 (1) of the Planning Act

Section 45 (2) of the Planning Act

Discussed the application with a City Zoning Examiner and Development Planner Y or N

Name of Planner: _____

Name of Zoning Examiner: Steve Boich

PROPERTY INFORMATION

Municipal Address(es) of property:

237 Cheltenham Road

Legal Description of property:

Plan 1445 & Lot 21

Official Plan Designation: Residential - Low Density Current Zoning Designation R3.1

OWNER(S) INFORMATION:

Legal Name (as it appears on the title for the property):

Brad & Jenn Stapleford

Mailing Address: 237 Cheltenham Road

City: Burlington

Postal Code: L7L 4H6

Home Phone: _____

Mobile Phone: 905-808-0203

Work Phone: _____

E-Mail: brad_stapleford@hotmail.com

AGENT INFORMATION (if applicable): (This person will be the primary point of contact if provided)

Name:

Matthew Fratarcangeli

Business Address: 107 Gladstone Avenue

City: Hamilton

Postal Code: L8M 2H8

Home Phone: _____

Mobile Phone: 905-699-7371

Work Phone: _____

E-Mail: matt@tenhousebw.com

PROPOSED DEVELOPMENT Please outline in detail your proposed development and list each variance you are requesting, as well as the Zoning By-law Requirements. Attach a separate sheet if required.

NEW 2 STOREY ADDITION, NEW ROOF OVER EXITSING 1 STOREY HOUSE, NEW REAR YARD DECK, NEW FRONT PORCH ROOF, NEW SIDING FOR ENTIRE HOUSE
 SINGLE FAMILY HOUSE
 VARIANCE REQUESTED: INCREASE IN MAX ALLOWABLE LOT COVERAGE

Variance(s) Requested	Zoning Bylaw Requirement
LOT COVERAGE PROPOSED = 29.5%	MAX LOT COVERAGE = 25%

In your own words, please explain why you are unable to comply with the provisions of the Zoning By-law and how the minor variance(s) meet the four (4) tests under the Planning Act:

- Why is the variance(s) minor in nature? _____

- Why are the variance(s) desirable for the appropriate use of the land? _____

- Do the variance(s) meet the intent and purpose of the Official Plan? _____

- Do the variance(s) meet the intent and purpose of the Zoning By-law? _____

1. The variance is minor in nature as the increase is within a numerical range considered to be minor (3.2%). Also, the proposal will meet all other bylaw requirements and will fit into the neighborhood character. We are not proposing any over massing on the site and do not believe any undue impacts will occur to neighbors. Scaling the proposal down to meet the lot coverage requirement would have almost no visible impact which we believe is a good indicator that the variance is truly minor.
2. The variance is desirable for the appropriate use of the land as we are proposing a single family house which this property is zoned for and we are meeting all required setbacks and heights, limiting any concern from a land impact perspective. We do not believe any over intensification of the land is proposed.
3. The proposal meets the general intent of the official plan as we are aligned with the planned density and use for the area.
4. As we have conformed with all other bylaws and only require one variance, we believe we meet the general intent of the zoning bylaw. We have designed the proposal to respect the bylaws while considering the owners needs.

PROPERTY DETAILS (please complete all fields):				
Date property purchased:	April 2024	Date property first built on:	~ 1960	Date of proposed construction:
	_____		_____	April 2025
	mmm/dd/yyyy		mmm/dd/yyyy	mmm/dd/yyyy
Existing Use of the Subject Property (check one):		Length of time the existing uses of the subject property have continued:		
Detached Dwelling <input checked="" type="checkbox"/> Semi-Detached Dwelling <input type="checkbox"/> Townhouse Dwelling <input type="checkbox"/> Street Townhouse Dwelling <input type="checkbox"/> Stacked Townhouse Dwelling <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Use <input type="checkbox"/> Hi Rise <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Vacant <input type="checkbox"/> Other <input type="checkbox"/> _____		Since original construction		
		Proposed Use of the Land:		
		Single Family Dwelling		
Existing Uses of Abutting Properties (check all that apply)				
Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Multi-Residential <input type="checkbox"/> Vacant <input type="checkbox"/> Hydro right-of-way <input type="checkbox"/> Railway right-of-way <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Park <input checked="" type="checkbox"/> Other <input type="checkbox"/> _____ Conservation Halton Lands: Lake Ontario <input type="checkbox"/> Creek <input type="checkbox"/> Storm Water Management Pond/Channel <input type="checkbox"/> Ravine <input type="checkbox"/>				
Additional Information				
Is liquor sold on site? Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>				
Is the property on the Municipal Cultural Heritage Register for the City of Burlington? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unknown <input type="checkbox"/>				
Type of Access to the Subject Lands				
Provincial Highway <input type="checkbox"/>	Municipal Road <input checked="" type="checkbox"/>	Private Road <input type="checkbox"/>	Water <input type="checkbox"/>	Other(specify) <input type="checkbox"/>
Municipal Services Provided				
Water	<input checked="" type="checkbox"/>	If not available, by what means is it provided: _____		
Sanitary Sewers	<input checked="" type="checkbox"/>	If not available, by what means is it provided: _____		
Storm Sewers	<input checked="" type="checkbox"/>	If not available, by what means is it provided: _____		
IS THE SUBJECT LAND(S) THE SUBJECT OF ANY OF THE FOLLOWING DEVELOPMENT APPLICATIONS:				
<input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Zoning By-law Amendment <input type="checkbox"/> Building Permit <input type="checkbox"/> Site Development Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/> Previous Minor Variance <input type="checkbox"/> Consent				

FOR RESIDENTIAL DETACHED OR SEMI-DETACHED DWELLINGS

Dimensions of Property			Street Width (see first page of application for how to obtain)			Lot Coverage	Corner Lot? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Frontage 17.6 m	Depth 35.33 m	Area 608.7 s.m	Actual 20 m	Deemed 20m	Required		

Particulars of all buildings and structures on or proposed for the subject lands

(attach additional page if required)

EXISTING (Dwelling/Building)		PROPOSED (Dwelling/Building/ Addition)	
Ground Floor Area (incl. attached garage)	133.8 M ²	Ground Floor Area (incl. attached garage)	70.4 M ²
Gross Floor Area:	110 M ²	Gross Floor Area:	33.7 M ²
Number of Storeys:	1-Storey	Number of Storeys:	2-Storey
Width:	6.97 M	Width:	5.45 M
Length:	14.22 M	Length:	6.40 M
Height:	4.70 M	Height:	5.97 M
Garage/Car Port		Garage/Car Port	
Detached?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Detached?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Gross Floor Area:	23.6 M ²	Gross Floor Area:	M ²
Width:	3.4 M	Width:	M
Length:	7.0 M	Length:	M
Height:	3.5 M	Height:	M
Accessory Structures (Shed , Gazebo, etc)		Accessory Structures	
Gross Floor Area:	7.8 M ²	Gross Floor Area:	M ²
Width:	2.1 M	Width:	M
Length:	3.7 M	Length:	M
Height:	M	Height:	M
Other (pool, additional sheds, decks, driveways , etc.)		Other Proposed Deck	
Gross Floor Area:	M ²	Gross Floor Area:	21.32 M ²
Width:	4.1 M	Width:	3.41 M
Length:	7.9 M	Length:	6.78 M
Height:	3 M	Height:	1.10 M

LOCATION of all existing and proposed buildings and structures

EXISTING Dwelling		PROPOSED 2-Storey Addition	
Front:	6.87 M	Front:	M
Rear:	12.58 M	Rear:	12.04 M
Side/Street Side:	2.62 M	Side/Street Side:	9.44 M
Side/Other Side:	2.76 M	Side/Other Side:	2.74 M

Particulars of all buildings and structures on or proposed for the subject lands

EXISTING (Dwelling/Building)		PROPOSED (Dwelling/Building Addition)	
Ground Floor Area (incl. attached garage)	M ²	Ground Floor Area (incl. attached garage) 71.1	M ²
Gross Floor Area:	M ²	Gross Floor Area: 71.1	M ²
Number of Storeys:		Number of Storeys: 2-Storey	
Width:	M	Width: 5.33	M
Length:	M	Length 13.31	M
Height:	M	Height 5.97	M

LOCATION of all existing and proposed buildings and structures

EXISTING SHED		PROPOSED 2-Storey addition	
Front:	M	Front:	M
Rear: 1.13	M	Rear: 12.04	M
Side/Street Side: 12.51	M	Side/Street Side: 9.44	M
Side/Other Side: 1.45	M	Side/Other Side: 2.74	M

EXISTING Attached Garage		PROPOSED Deck	
Front: 8.92	M	Front:	M
Rear:	M	Rear: 9.20	M
Side/Street Side:	M	Side/Street Side: 2.67	M
Side/Other Side: 2.76	M	Side/Other Side: 8.19	M

POSTING OF ADVISORY SIGN

This will confirm the requirement of the Committee of Adjustment for a sign to be posted by all applicants or agents on each property under application.

A sign will be made available to you after completion of the zoning review of your application(s) and you are directed to post each sign in a prominent location that will enable the public to observe the sign.

The location of each sign will depend on the lot and location of structures on it, however, the sign should be placed so as to be legible from the roadway in order that the public can see the sign and make note of the telephone number should they wish to make inquiries. In most cases, please post the sign on a stake as you would a real estate sign. For commercial or industrial buildings it may be appropriate to post the sign on the front wall of the building at its entrance. Please contact the undersigned if you have any queries on the sign location.

DO NOT POST THE SIGN INSIDE THE BUILDING BY A WINDOW. The sign must be outdoors by the roadway in order to be visible and readable.

Each sign must remain posted beginning 10 days prior to the hearing, until the day following the hearing. Please fill in the form below indicating your agreement to post the sign(s) as required. This form must be submitted with the application so that it may be placed on file as evidence that you have met the committee's requirements. Failure to post the sign as required will result in deferral of the application.

I UNDERSTAND THAT EACH SIGN MUST BE POSTED AT LEAST 10 DAYS BEFORE THE HEARING, AND WILL REMAIN POSTED AND BE REPLACED, IF NECESSARY, UNTIL THE DAY FOLLOWING THE HEARING.

Owner Name	Brad & Jenn Stapleford	Property Address	237 Cheltenham Road
	<i>Brad Stapleford Jenn Stapleford</i>		2024-09-19
	Signature of Owner/Applicant		Date (mmm/dd/yyyy)

AFFIDAVIT

*Please fill out at time of submission of application

I have the authority to bind the Corporation (check if applicable) Signature of Applicant or **Authorized**

Agent: Matthew Fratarcangeli

I, Matthew Fratarcangeli of the Region of Hamilton in the City
(print name) (Region/City/County) (City/Town/Township)

of Hamilton solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the City of Burlington in the Halton Region
(Region/City/County) (City/Town/Township)

this 15th day of Oct. 2024.

Lisa Palermo, Committee Clerk
The Corporation of the City of
Burlington, Region of Halton
A Commissioner of Oaths pursuant
to s. 220(4) of the Municipal Act
 etc.

L. Palermo
 Signature of Commissioner, etc.

[Signature]
 Signature of Applicant or Authorized Agent

PERMISSION TO ENTER

IMPORTANT This MUST be completed for all applications and signed by the OWNER.

Municipal Address of Subject Lands: 237 Cheltenham Road, Burlington

I hereby authorize the Committee of Adjustment members, City of Burlington and Region of Halton staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

Brad Stapleford Jenn Stapleford
 Signature of Owner

Brad Stapleford Jenn Stapleford
 Print Name

OWNERS AUTHORIZATION

If using an agent, the owner must also complete the following form:

I, Brad & Jenn Stapleford being the registered owner of the subject lands, hereby
(print name)

Authorize Matthew Fratarcangeli (Tenhouse Building Workshop) to prepare, submit and act on my behalf with respect to this
(print agent name)

application for a Minor Variance.

Brad Stapleford Jenn Stapleford

Signature of Owner

2024-09-19

Date (mmm/dd/yyyy)

Notice of collection of personal information

Personal information contained on this form is collected under the authority of the Planning Act, RSO 1990, c. P.13, to process applications and make decisions. Applications made under the Planning Act, are considered part of the public record and shall be made available to the public. Questions about this collection can be directed to the Manager of Development Planning, City of Burlington, 426 Brant Street, Burlington, Ontario, L7R 3Z6, 905-335-7600.

The applicant acknowledges that an application, all supporting information and materials, including studies and drawings, submitted under the Planning Act, pursuant to s. 1.0.1 of the Planning Act, RSO 1990, c.P.13, as amended, shall be made available to the public.

Minor Variance Application Checklist Please add a check mark beside the items you have provided with your application. Illegible drawings or those missing required details will be returned to applicant.	Select (✓)
LEGAL SURVEY (must be prepared and signed and dated by an Ontario Land Surveyor) * For new development, a Proposed Building Plan stamped by an Ontario Land Surveyor or Professional Engineer may be required.	✓
OR	
DETAILED SITE PLAN (must be prepared and stamped by Professional Engineer, Ontario Land Surveyor or Professional Architect). A legal survey may still be required at the discretion of staff.	
AND	
PLAN and ELEVATION DRAWINGS which include the following as applicable: (Missing details or illegible drawings will be sent back to the applicant for correction)	✓
SITE PLAN <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Metric Scale <input checked="" type="checkbox"/> North Arrow <input checked="" type="checkbox"/> Frontage <input checked="" type="checkbox"/> Depth <input checked="" type="checkbox"/> Lot Area <input checked="" type="checkbox"/> Lot Coverage <input checked="" type="checkbox"/> Deemed Street Line <input checked="" type="checkbox"/> Existing Front Yard Setbacks <input checked="" type="checkbox"/> Existing Rear Yard Setbacks <input checked="" type="checkbox"/> Existing Side Yard Setbacks <input checked="" type="checkbox"/> Existing Street Side Yard Setbacks <input checked="" type="checkbox"/> Existing Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Proposed Front Yard Setbacks <input checked="" type="checkbox"/> Proposed Rear Yard Setbacks <input checked="" type="checkbox"/> Proposed Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Street Side Yard Setbacks <input checked="" type="checkbox"/> Proposed Porch, Stairs and Overhang Setbacks <input checked="" type="checkbox"/> Streets (Public and Private) <input checked="" type="checkbox"/> Street Names <input checked="" type="checkbox"/> Parking (Dimensioned spaces, Driveway Width, Arrangement) <input checked="" type="checkbox"/> Railways (Location of them and setbacks to structures) <input checked="" type="checkbox"/> All Watercourses and/or Conservation Halton Areas(creeks, lakes, etc) 	

Minor Variance Application Checklist

Please add a check mark beside the items you have provided with your application.
Illegible drawings or those missing required details will be returned to applicant.

LOCATION AND MEASUREMENTS OF SHED, DECK OR OTHER STRUCTURES

- Setbacks
- Height
- Area
- Length
- Width

ELEVATIONS

- Metric
- Front
- Rear
- Side 1
- Side 2

FLOOR PLANS

- Metric
- North Arrow
- Gross Floor Area Calculation
- Ground Floor Area Calculation
- Floor Area Ratio (where applicable)

I have reviewed the minor variance checklist and ensure all the applicable information is shown on the drawings submitted as part of this application.

Matthew Fratarcangeli

Signature of Owner/Agent

2024-09-16

Date (mmm/dd/yyyy)

NOTICE OF PUBLIC HEARING

Bradley and Jennifer Stapleford, the owners of 237 Cheltenham Rd. Burlington, have applied to the Committee of Adjustment for a Minor Variance to the requirements of Zoning By-law 2020, as amended. The property in question is **237 Cheltenham Rd., Burlington** (see map).

The applicant is proposing the construction of a two storey addition to the existing one storey dwelling with attached garage. This proposal results in the following variance:

1. To permit lot coverage of 29.5% instead of the maximum permitted 25% for a two storey dwelling with attached garage including an existing 7.8 m² accessory building.

You have received this notice as stipulated by the *Planning Act* because your property is within 60 metres of the property noted above. The application materials are available on request by contacting Committee of Adjustment staff by one of the methods listed above. A copy of the Agenda, containing staff reports and drawings, can be viewed online under the Meeting Agenda tab at **Burlington.ca/coa** on or after **January 20th, 2025**.

Committee of Adjustment Hearings will be hybrid-conducted in person and virtually. All members of the public, applicants and their agents will now have the option to participate in the public meeting process in person at City Hall in Council Chambers, or remotely via Zoom Webinar Video Conferencing Technology. The Committee of Adjustment will meet to consider the above application under Section 45 of the *Planning Act*, 1990, as amended on:

WEDNESDAY FEBRUARY 5, 2025,

This application is scheduled to be heard at or after 5:30 pm.

How to participate if I have comments or concerns?

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to send written comments regarding the application by e-mail to committeeofadjustment@burlington.ca with the subject line to read "Comments_Your Name_File No._Address of the Property".

Alternatively, written comments can be sent by regular mail addressed to the Secretary-Treasurer. Include your name, address, application number and address of the property for which you are providing comments.

To allow all Committee of Adjustment members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing date.

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating virtually through Zoom via computer or phone, or by attending the Hearing in-person. Participation virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

To register as a delegate, please contact the Secretary-Treasurer no later than 12:00 p.m. (noon) the day before the hearing date. The following information is required to register; Committee of Adjustment file number, hearing date, name, and mailing address of each person wishing to speak, if participation will be by phone or video. All requests to delegate must contain a copy of your intended remarks which will be circulated to all members of Committee in advance.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note that you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

Attend or View the Committee of Adjustment Hearing:

If you do not wish to participate, but would like to follow along, the hearing will be held in person at City Hall in Council Chambers and live through a Zoom Webinar. Instructions, links and phone numbers for joining the meeting will be posted on the Committee of Adjustment webpage the day prior to the scheduled meeting. The link will be active at **4:30 p.m.**

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of a possible Ontario Land Tribunal Hearing. In accordance with the Planning Act, the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the owner, the Minister of Municipal Affairs and Housing, a specified person or public body that has an interest in the matter.

The applicant is advised that it is **mandatory** that either the applicant or an authorized agent of the applicant must be present at the hearing either in person or virtual.

For more information about this matter, contact Erin Shacklette at committeeofadjustment@burlington.ca

Yours truly,



Erin Shacklette
Secretary-Treasurer
Committee of Adjustment

Personal information including comments and public feedback, is collected under the legal authority of the Planning Act, R.S.O. 1990, Chapter c. P.13, as amended, and the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, as amended, which will be used to process the application and in the decision making process and becomes the property of the City of Burlington, and is considered to be a public record and will be disclosed to any individual (including being posted on the internet) upon request. Questions about this collection should be directed to the Secretary-Treasurer, Burlington Committee of Adjustment, Community Planning Department, 426 Brant Street, P.O. Box 5013, Burlington, Ontario; L7R 3Z6 (905) 335-7629.

Key Map



Key Map



237 Cheltenham Rd.



Committee of Adjustment Community
Planning Department - Planning
Implementation

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SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY SHOWING TOPOGRAPHY OF
LOT 21
REGISTERED PLAN 1445
IN THE
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON
SCALE 1 : 200

0 5 10 20 metres
THE INTENDED PLOT SIZE OF THIS PLAN IS 700mm IN WIDTH BY 420mm IN HEIGHT
WHEN PLOTTED AT A SCALE OF 1:200 (INCLUDING 15mm BEYOND EACH BORDER)
MacKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
© 2024

KNOWN AS MUNICIPAL No. 237 CHELTENHAM ROAD

PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)
LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING
BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - APRIL 30, 2024

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
- SUBJECT TO EASEMENT AS IN INST. No. 292178

ADDITIONAL REMARKS:
- REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES

MacKAY, MacKAY & PETERS LIMITED grants BRADLEY & JENNIFER STAPLEFORD ("The Client"),
their solicitor and other related parties permission to use "Original Copies" of the
Surveyor's Real Property Report in transactions involving "The Client"

METRIC DISTANCES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-80785

- LEGEND**
- DENOTES A SURVEY MONUMENT FOUND
 - DENOTES A SURVEY MONUMENT PLANTED
 - IB DENOTES IRON BAR
 - SUBIB DENOTES SUBDIVISION IRON BAR
 - PB DENOTES PLASTIC BAR
 - CC DENOTES CUT CROSS
 - P1 DENOTES REGISTERED PLAN 1445
 - P2 DENOTES PLAN BY SEWELL & SEWELL OF LOT 21
DATED MARCH 17, 1971 (70-508)
 - P3 DENOTES PLAN BY SEWELL & SEWELL
DATED MARCH 17, 1971 (71-40)
 - P4 DENOTES PLAN BY SEWELL & SEWELL OF LOT 20
DATED MARCH 17, 1971 (70-508)
 - P5 DENOTES PLAN 20R-6030
 - PIN DENOTES PROPERTY IDENTIFICATION NUMBER
 - (OU) DENOTES ORIGIN UNKNOWN
 - (WIT) DENOTES WITNESS MONUMENT
 - ⊙ DENOTES CENTRELINE
 - STMH DENOTES STORM MANHOLE
 - SNMH DENOTES SANITARY MANHOLE
 - FH DENOTES FIRE HYDRANT
 - FB DENOTES FLOWER BED
 - EI DENOTES EDGE OF INTERLOCK
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - OL DENOTES ORNAMENTAL LIGHT
 - GM DENOTES GAS METER
 - AC DENOTES AIR CONDITIONER
 - DENOTES DECIDUOUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES

ALL BUILDING TIES ARE TO FOUNDATION AND ARE PERPENDICULAR TO PROPERTY LINES
UNLESS OTHERWISE NOTED

BENCHMARK NOTE
CITY OF BURLINGTON BENCHMARK No. 386
ELEVATION = 87.924 METRES (CGVD28:78 ADJUSTMENT)
BRASS PLAQUE IN THE NORTH FACE AT THE TOP OF THE CONCRETE BASE OF THE FLAG
POLE IN FRONT OF MOHAWK GARDENS PUBLIC SCHOOL ON THE SOUTH SIDE OF SPRUCE
AVENUE OPPOSITE BEVAN DRIVE

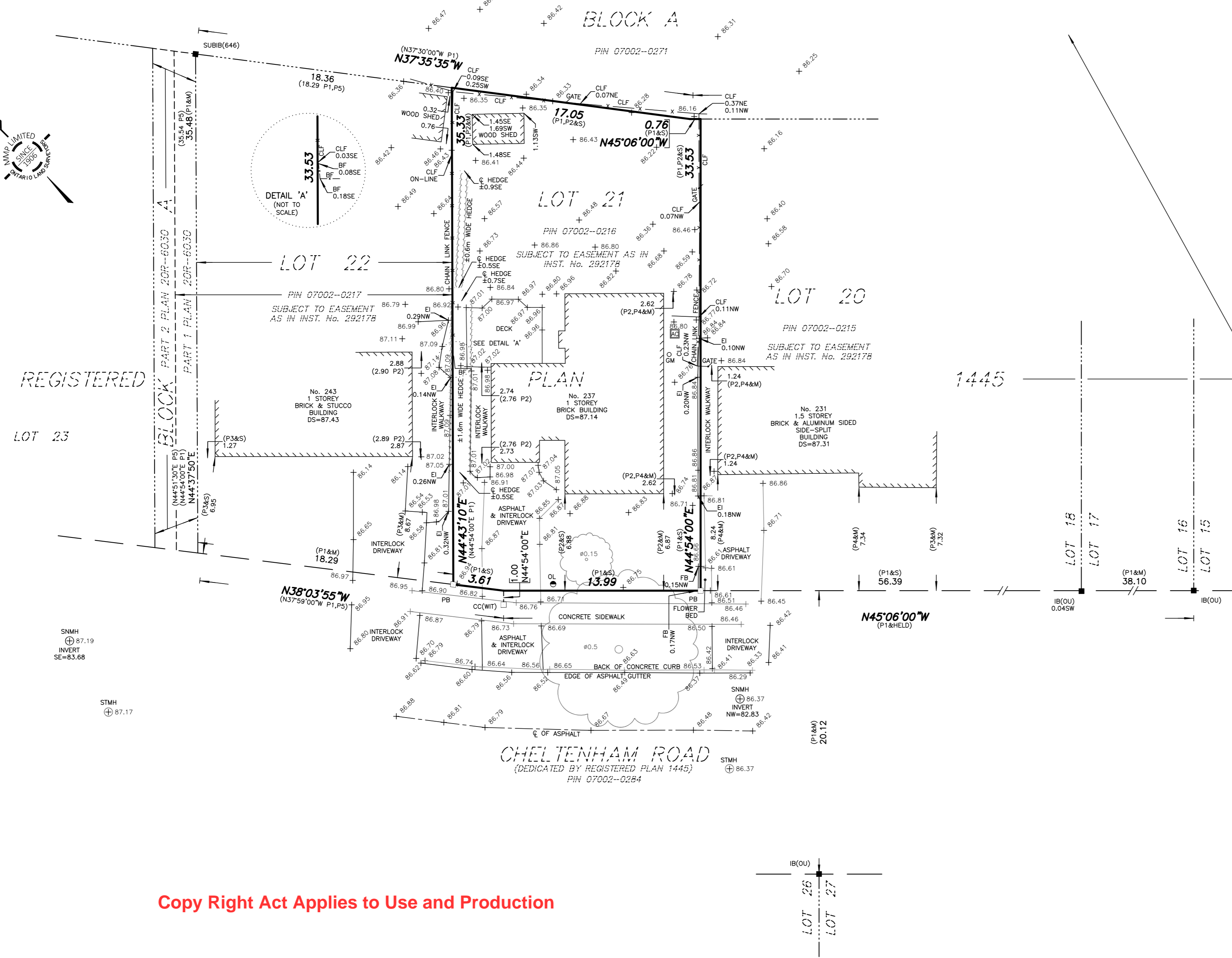
BEARING REFERENCE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF
CHELTENHAM ROAD AS SHOWN ON REGISTERED PLAN 1445 HAVING
A BEARING OF N45°06'00"W

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 13TH DAY OF JUNE, 2024.

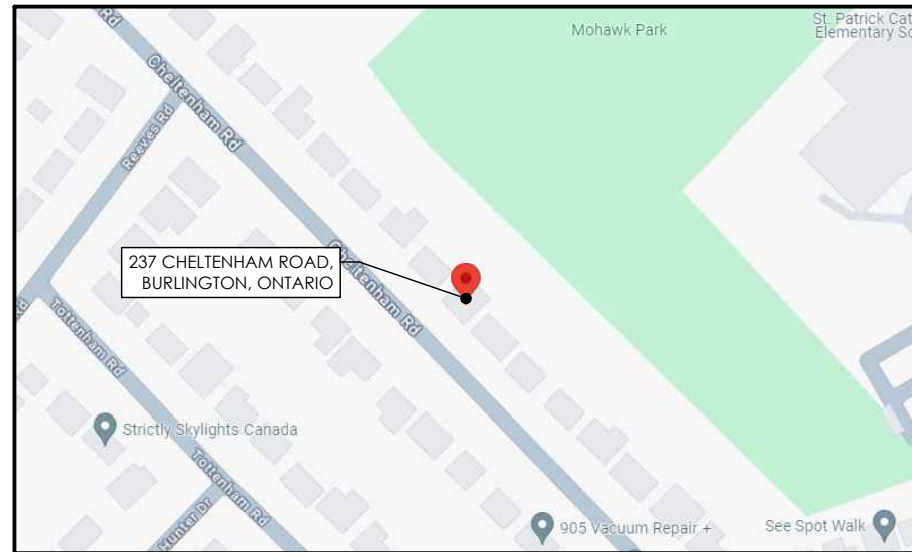
JUNE 13, 2024
DATE
AISAR BHARI
ONTARIO LAND SURVEYOR
FOR MACKAY, MACKAY & PETERS LIMITED

E:\(20) Halton\Registered Plans\RP1445\LOT 21\24-093-24-093.dwg

MMP MacKay, MacKay & Peters Limited LAND SURVEYORS & MAPPERS SINCE 1906	3380 South Service Road Unit 101 Burlington, ON L7N 3J5 (905) 639-1375 halton@mmplimited.com mmplimited.com	DRAWN BY: G.S.
		PARTY CHIEF: C.M.
		CHECKED BY: AB
		PROJECT No.: 24-093



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1 AREA MAP
A00 NTS

Copy Right Act Applies to Use and Production



2 237 CHELTENHAM ROAD
A00 NTS

PROJECT DESCRIPTION:

- THESE DRAWINGS OUTLINE NEW ADDITIONS AT 237 CHELTENHAM ROAD, BURLINGTON, ONTARIO.
- THERE ARE NO CHANGES TO THE EXISTING BUILDING OR SITE CONDITIONS UNLESS OTHERWISE NOTED ON THE SITE PLAN.

PROJECT NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT O.B.C. AND THE ONTARIO CONSTRUCTION SAFETY ACT.
2. CONTRACTOR TAKE NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH AND SAFETY ACT).
3. CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE FROM DRAWINGS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBORING PROPERTIES.
6. ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTORS EXPENSE.
7. SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
8. ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A23.1-M90 (M94).
9. ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-5304-M90.

10. IF THERE ARE ANY DEVIATIONS NOTED FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.
11. DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA S350-M1980(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
12. IF REQUIRED, CONTRACTOR IS TO PROVIDE SUPPORTS OR SHORING WHERE NECESSARY, BEFORE ANY CLEANUP, DEMOLITION, OR REPAIR ACTIVITIES.
13. ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
14. ALL DIMENSION LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
15. THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR DETAILS NOT INCLUDED IN THESE DRAWINGS.
16. ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION NOTES.
17. ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS. SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
18. ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
19. ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST LEVEL OF STANDARD.
20. GENERAL CONTRACTOR IS RESPONSIBLE OF OBTAIN ALL NECESSARY AND REQUIRED INSPECTIONS.
21. ALL MATERIALS TO BE NEW AND FREE OF DEFECTS.

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD
ALUM	ALUMINUM	HB	HOSE BIB
BBSE	BEAM BY STRUCTURAL ENGINEER	INSUL	INSULATED OR INSULATION
BM	BEAM	INT	INTERIOR
CLG	CEILING	JST	JOIST
CRF	CONVENTIONAL ROOF FRAMING	LVL	LAMINATED VENEER LUMBER
CMU	CONCRETE MASONRY UNIT	LSL	LAMINATED STRAND LUMBER
COL	COLUMN	MAX	MAXIMUM
CONC	CONCRETE	MIN	MINIMUM
CONT	CONTINUOUS	MTL	METAL
CW	COMPLETE WITH	OBC	ONTARIO BUILDING CODE
DEMO	DEMOLISH	OC	ON CENTER
DIM	DIMENSION	OSB	ORIENTED STRAND BOARD
DJ	DOUBLE JOIST	OTA	OPEN TO ABOVE
DN	DOWN	OTB	OPEN TO BELOW
DO	DO OVER	PT	PRESSURE TREATED
DR	DOOR	PTD	PAINT OR PAINTED
DROP	DROPPED	REQD	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DWG	DRAWING	RT	ROOF TRUSS
EA	EACH	RWL	RAIN WATER LEADER
EIFS	EXTERIOR INSULATED FINISH SYSTEM	SB	SOLID BEARING
ELEV	ELEVATION	SBFA	SOLID BEARING FROM ABOVE
ENC	ENCLOSED	SJ	SINGLE JOIST
ENG	ENGINEER OR ENGINEERED	SPEC	SPECIFIED OR SPECIFICATION
EQ	EQUAL	SPF	SPRUCE, PINE, FIR
EST	ESTIMATED	STL	STEEL
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TJ	TRIPLE JOIST
FG	FIXED GLASS	T/O	TOP OF
FL	FLUSH	TYP	TYPICAL
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	U/S	UNDERSIDE
GALV	GALVANIZED	WIC	WALK-IN CLOSET
		WP	WEATHER PROOF



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#:44839

Matthew Fratarcangeli
REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:112916

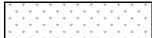
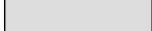
NO.	DATE	REVISION/ISSUE
0	12-09-2024	FOR MINOR VARIANCE




PROJECT:
NEW ADDITIONS AT
237 CHELTENHAM ROAD,
BURLINGTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2023-25	CHECKED: M.D.F
REVISION: 0	DATE: 12-09-2024

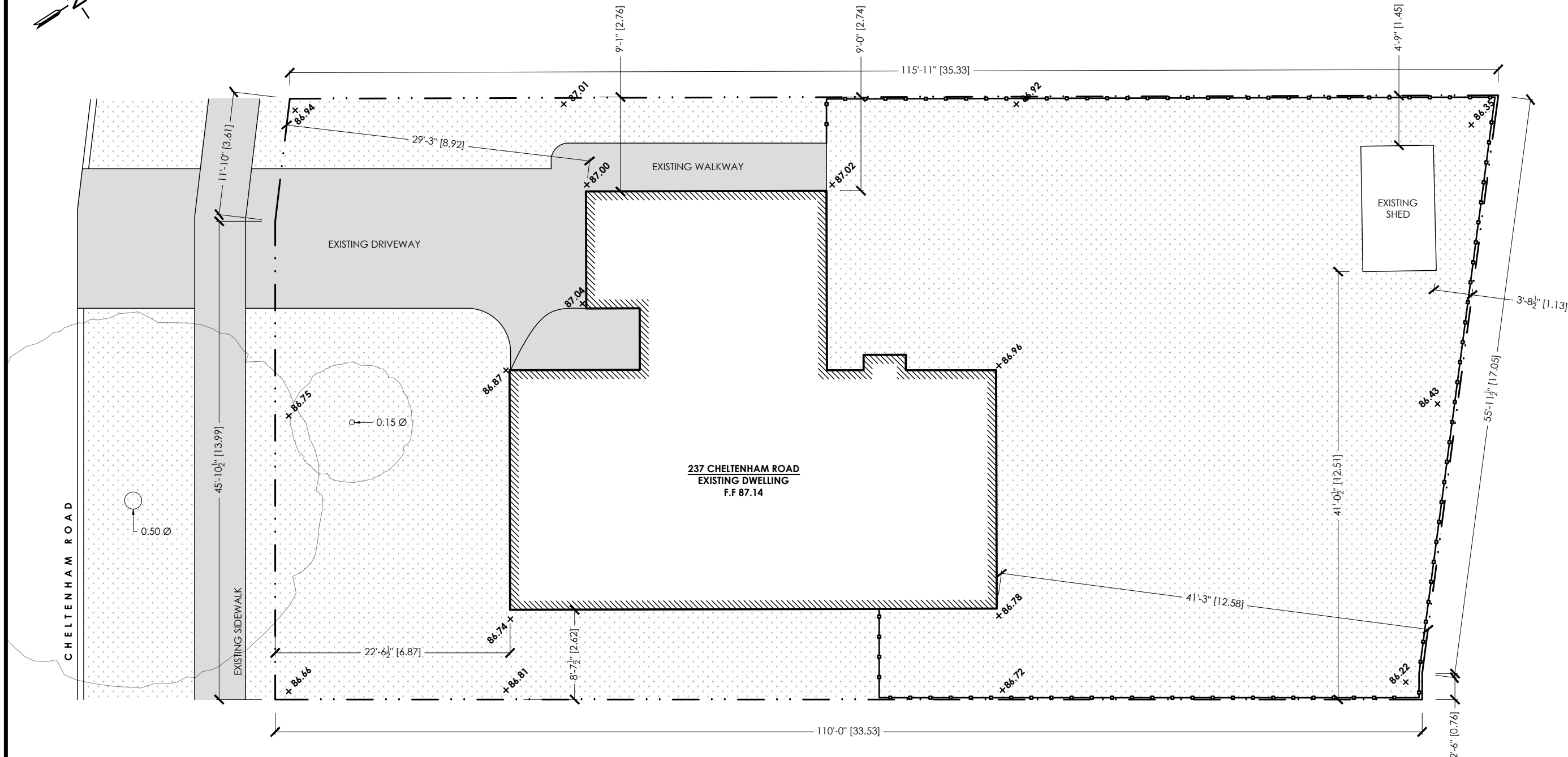
COVER PAGE
A00

LEGEND:

-  EXISTING SOFTSCAPE
-  EXISTING HARDSCAPE

-  TREE AND TPZ
-  EXISTING FENCE
-  EXISTING GRADE POINT

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1 EXISTING SITE PLAN
SP1.01 1:125



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI
BCIN#: 44839

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP
BCIN#: 112916




NO.	DATE	REVISION/ISSUE
0	24-12-09	FOR MINOR VARIANCE

PROJECT:
NEW ADDITIONS
AT 237 CHELTENHAM ROAD,
BURLINGTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

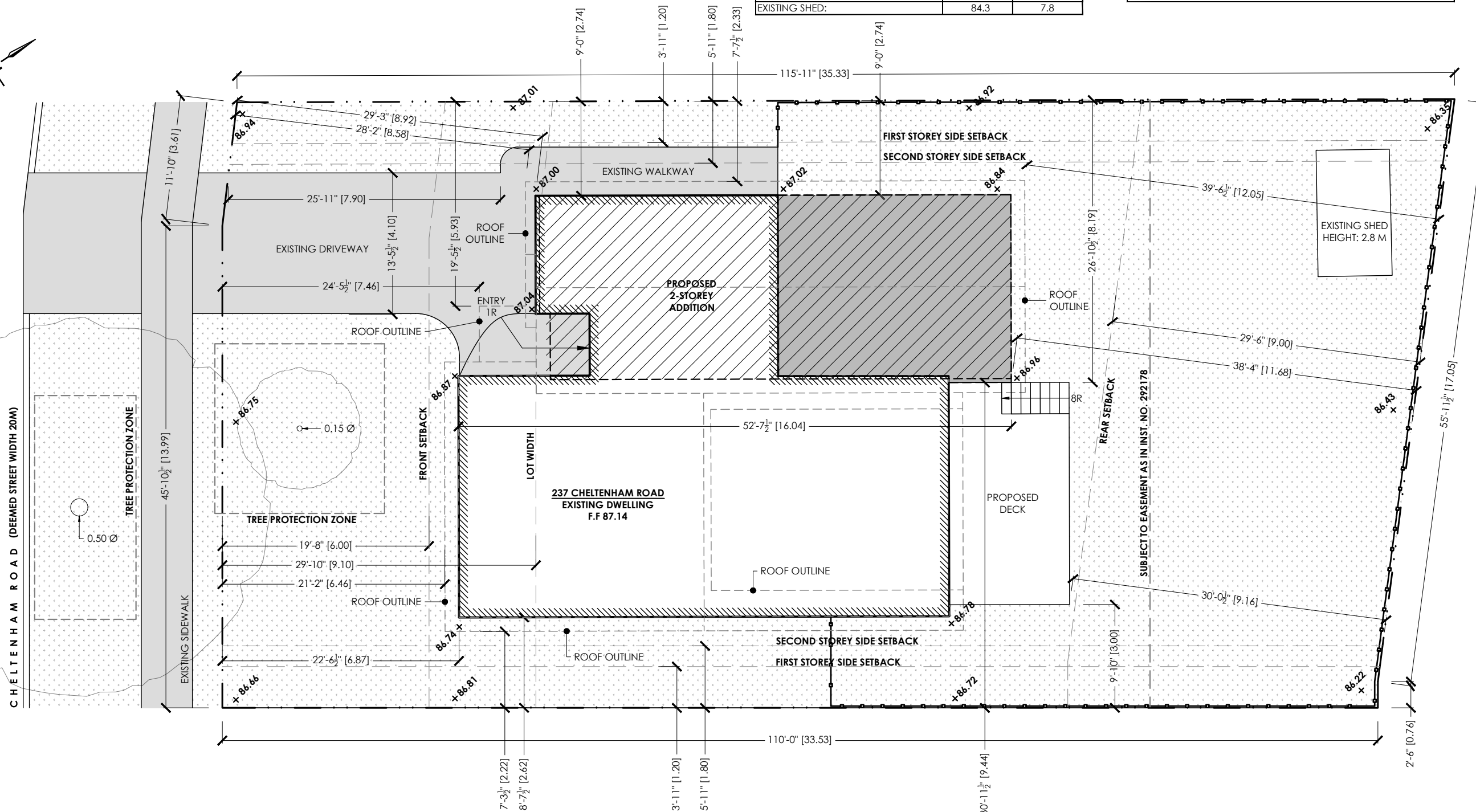
EXISTING SITE PLAN
SP1.01

LEGEND:

-  SOFTSCAPE
-  HARDSCAPE
-  PROPOSED 2-STOREY ADDITION
-  PROPOSED FOOTPRINT ADDITION
-  TREE AND TPZ
-  FENCE
-  GRADE POINT

SITE STATISTIC CHART		
PROJECT ADDRESS:	237 CHELTENHAM ROAD	
MUNICIPALITY:	BURLINGTON	
DESIGNATED LOT COVERAGE ZONE:	R3.1	
	S.F	S.M
LOT AREA:	6551.7	608.7
MAXIMUM LOT COVERAGE: 25%	1637.9	152.2
MAX FLOOR AREA RATIO: 0.45:1	2948.3	273.9
EXISTING HOUSE:	1442.3	133.9
EXISTING SHED:	84.3	7.8

PROPOSED SITE STATISTIC CHART		
PROP LOT COVERAGE: 29.5 %	S.F	S.M
	1928.9	179.2
PROPOSED RFA: 39.7 %	2601.7	241.7
PROPOSED 1-STOREY ADDITION:	386.6	35.9
PROPOSED 2-STOREY ADDITION:	779.2	72.4
PROPOSED DECK:	223.0	21.4
MAXIMUM HEIGHT (PEAK ROOF: 6 M OR FLAT ROOF: 3 M)		
PROPOSED HEIGHT: 5.97 M		




TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#:44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:112916



NO.	DATE	REVISION/ISSUE
0	24-12-09	FOR MINOR VARIANCE

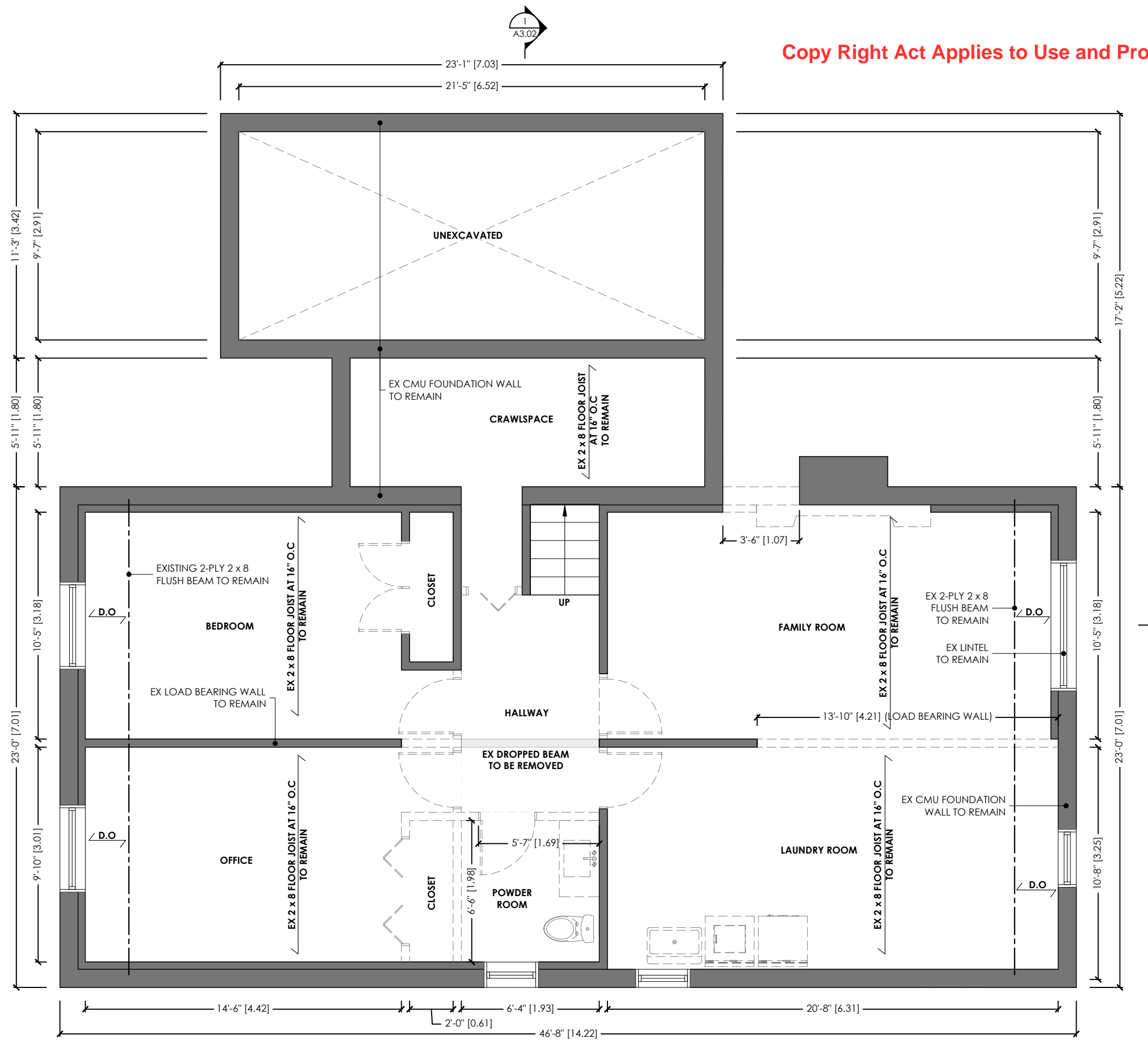
PROJECT:

NEW ADDITIONS
AT 237 CHELTENHAM ROAD,
BURLINGTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

PROPOSED SITE PLAN
SP1.02

LEGEND:	
SYMBOL	DESCRIPTION
	WALLS TO REMAIN
	TO BE REMOVED



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1 A1.01 EXISTING BASEMENT LEVEL
1:60

Copy Right Act Applies to Use and Production



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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BCIN#:44839



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TENHOUSE BUILDING WORKSHOP
BCIN#:112916



NO.	DATE	REVISION/ISSUE
0	24-12-09	FOR MINOR VARIANCE

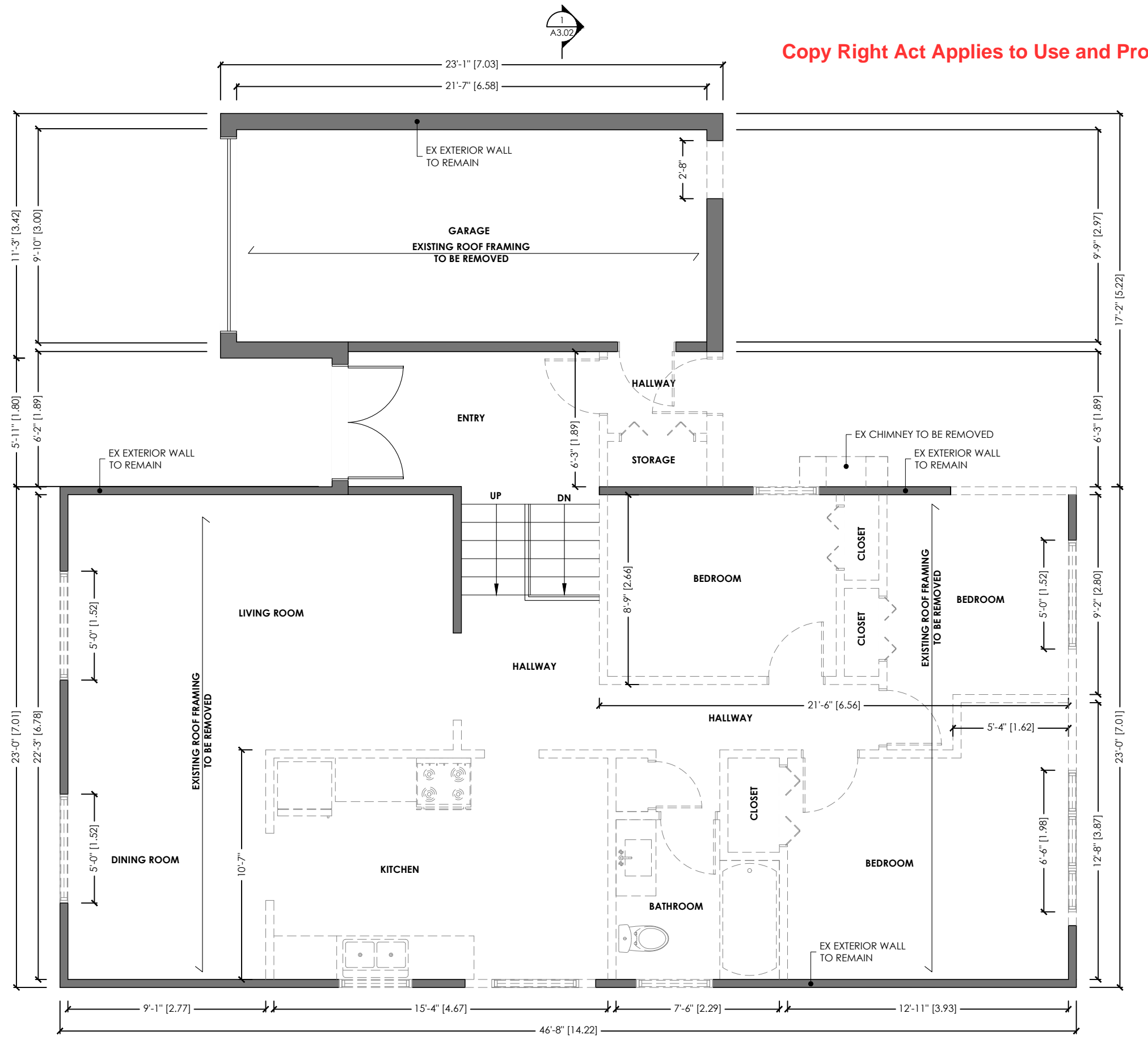
PROJECT:
NEW ADDITIONS
AT 237 CHELTENHAM ROAD,
BURLINGTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

EXISTING BASEMENT LEVEL

A1.01

LEGEND:	
SYMBOL	DESCRIPTION
	WALLS TO REMAIN
	TO BE REMOVED



Copy Right Act Applies to Use and Production



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#:44839

Matthew Fratarcangeli
REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:112916

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DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

1 EXISTING MAIN LEVEL
A1.02 1:60

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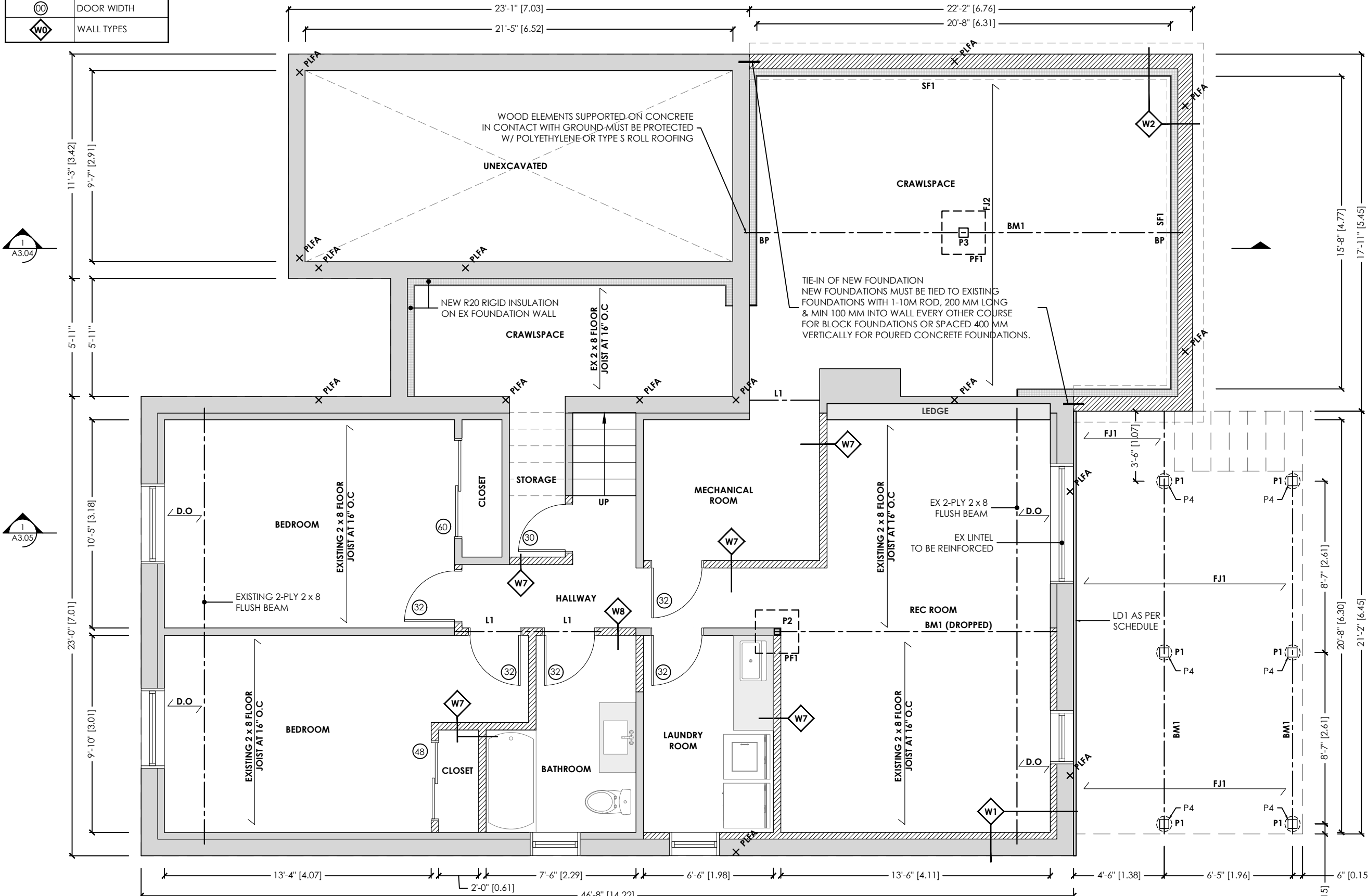
EXISTING MAIN LEVEL
A1.02

LEGEND:

	WALLS TO REMAIN
	NEW WALLS
	DOOR WIDTH
	WALL TYPES



Copy Right Act Applies to Use and Production



PROPOSED BASEMENT LEVEL

1:60

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TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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DRAWN:
J.T

APPROVED:
M.D.F

FILE NO:
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CHECKED:
M.D.F

REVISION:
0

DATE:
2024-12-09

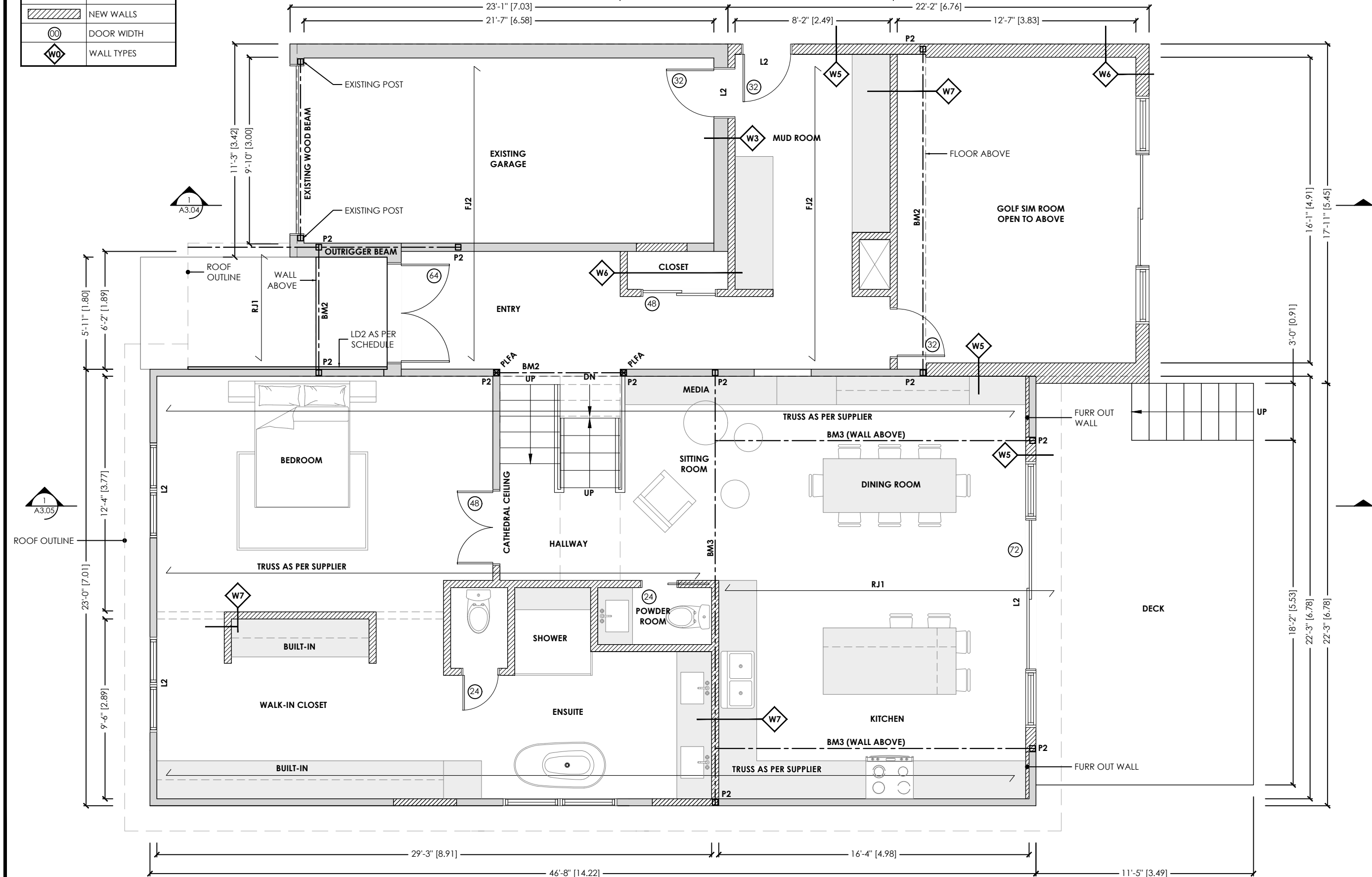
PROPOSED BASEMENT LEVEL

A1.03

LEGEND:

	WALLS TO REMAIN
	NEW WALLS
	DOOR WIDTH
	WALL TYPES

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1 PROPOSED MAIN LEVEL
A1.04 1:60

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TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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DRAWN:
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APPROVED:
M.D.F

FILE NO:
2024-08

CHECKED:
M.D.F

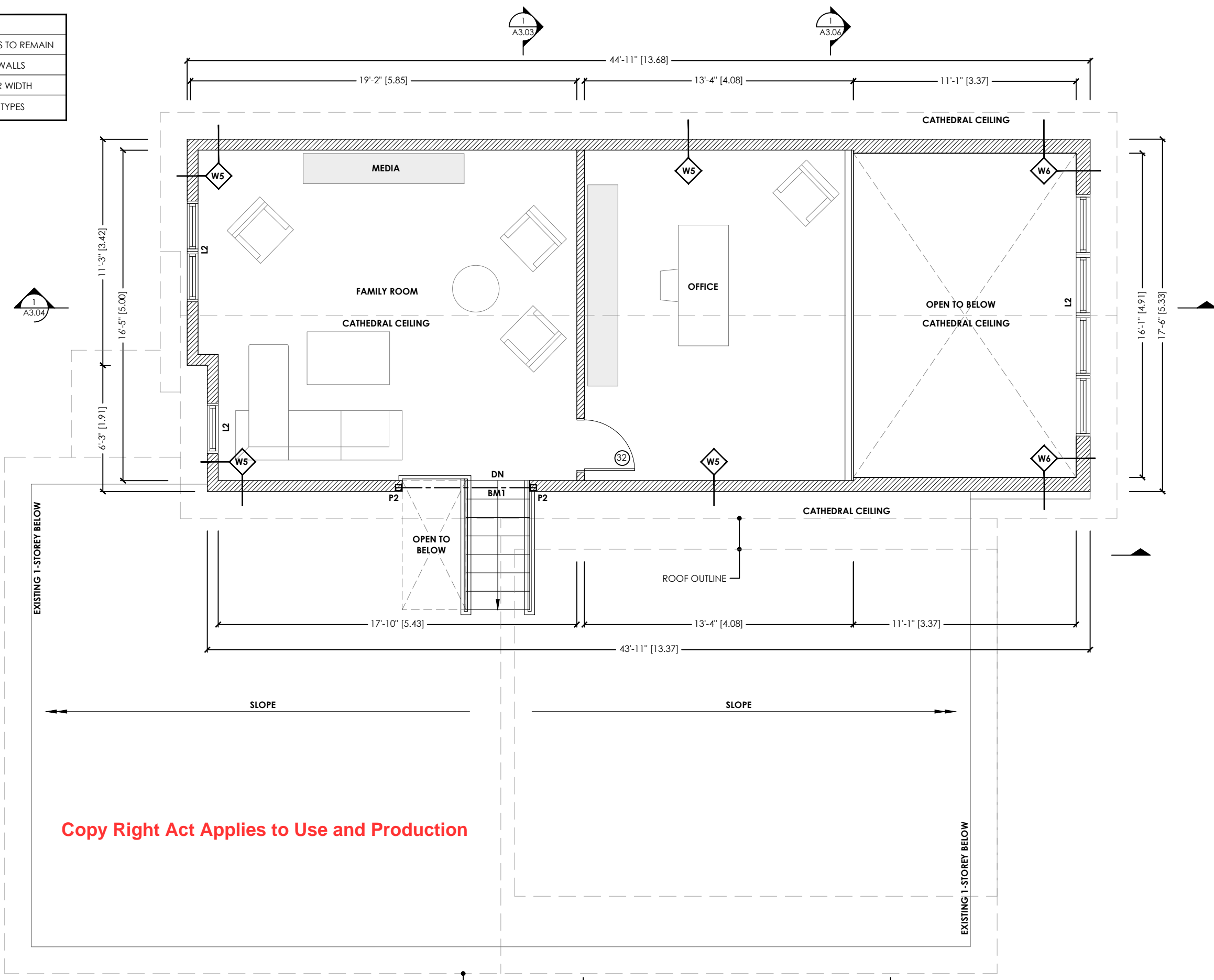
REVISION:
0

DATE:
2024-12-09

PROPOSED MAIN LEVEL
A1.04

LEGEND:

	WALLS TO REMAIN
	NEW WALLS
	DOOR WIDTH
	WALL TYPES



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1 PROPOSED SECOND LEVEL
A1.05 1:60



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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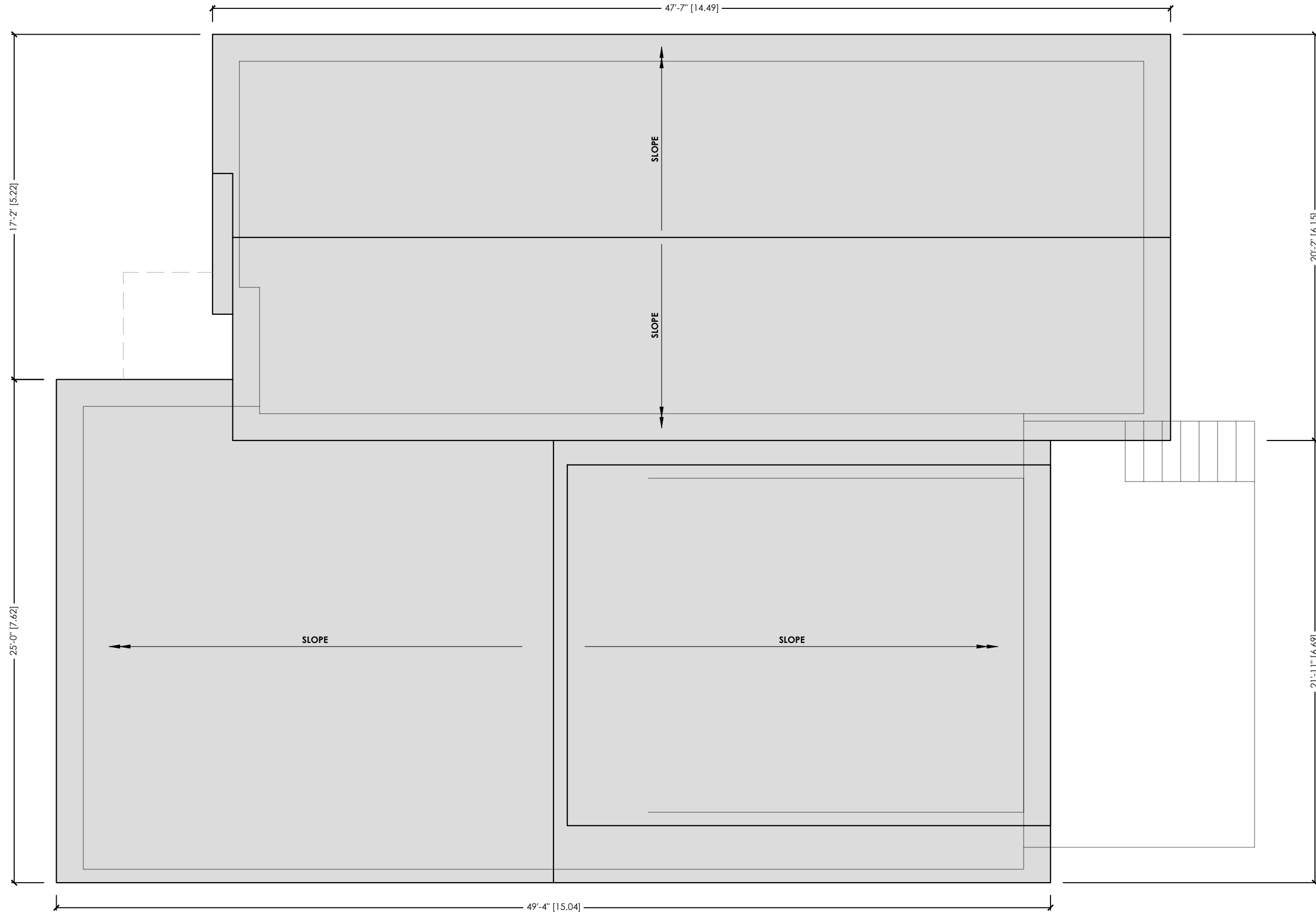
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PROPOSED SECOND LEVEL
A1.05

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TENHOUSE BUILDING WORKSHOP
 107 GLADSTONE AVENUE
 HAMILTON, ON L8M 2H8
 T: 905-699-7371

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ROOF PLAN
A1.06

LEGEND:	
SYMBOL	DESCRIPTION
	TO BE REMOVED



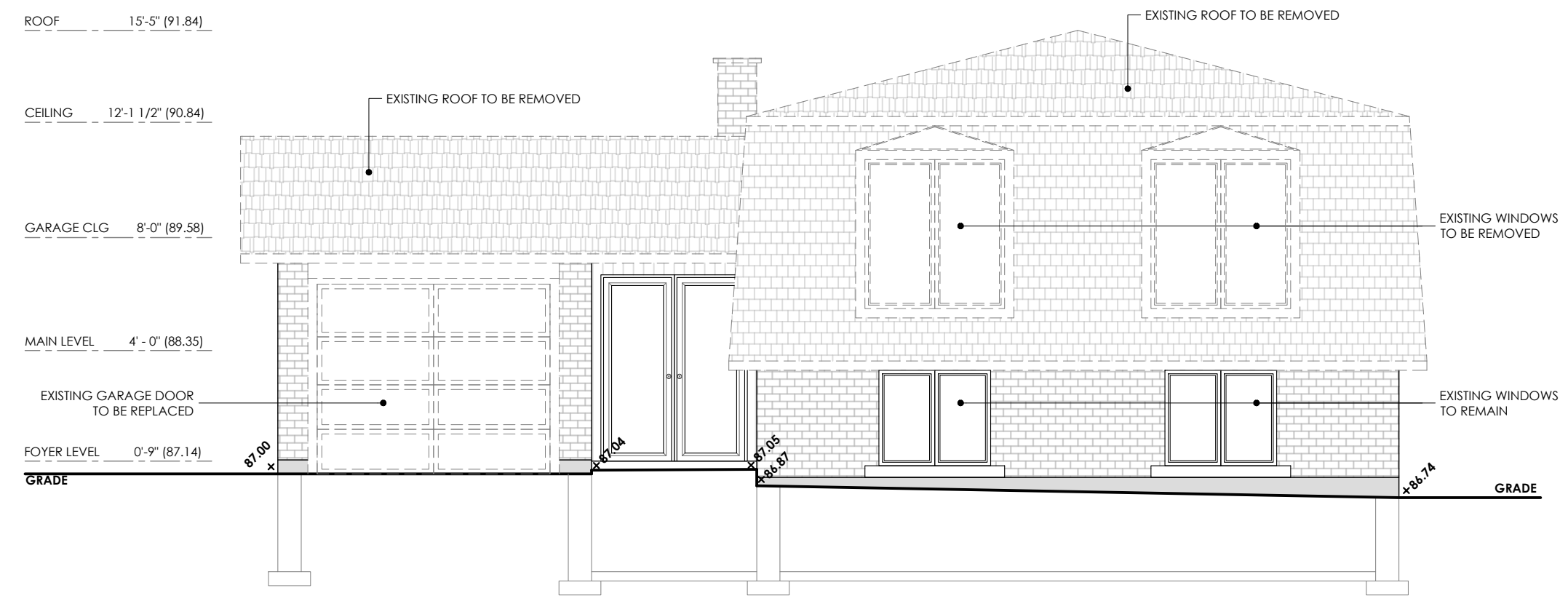
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1 EXISTING FRONT ELEVATION
A2.01 1:60

EXISTING FRONT ELEVATION
A2.01

LEGEND:	
SYMBOL	DESCRIPTION
	TO BE REMOVED



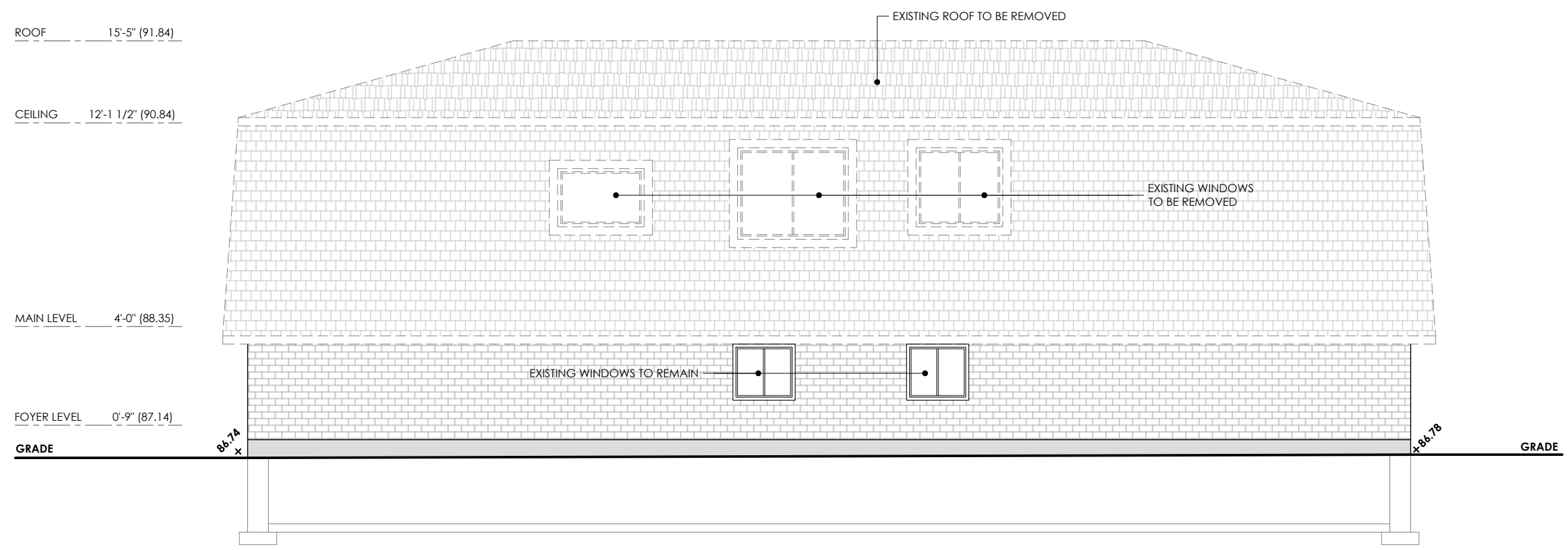
TENHOUSE BUILDING WORKSHOP
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 BURLINGTON, ON

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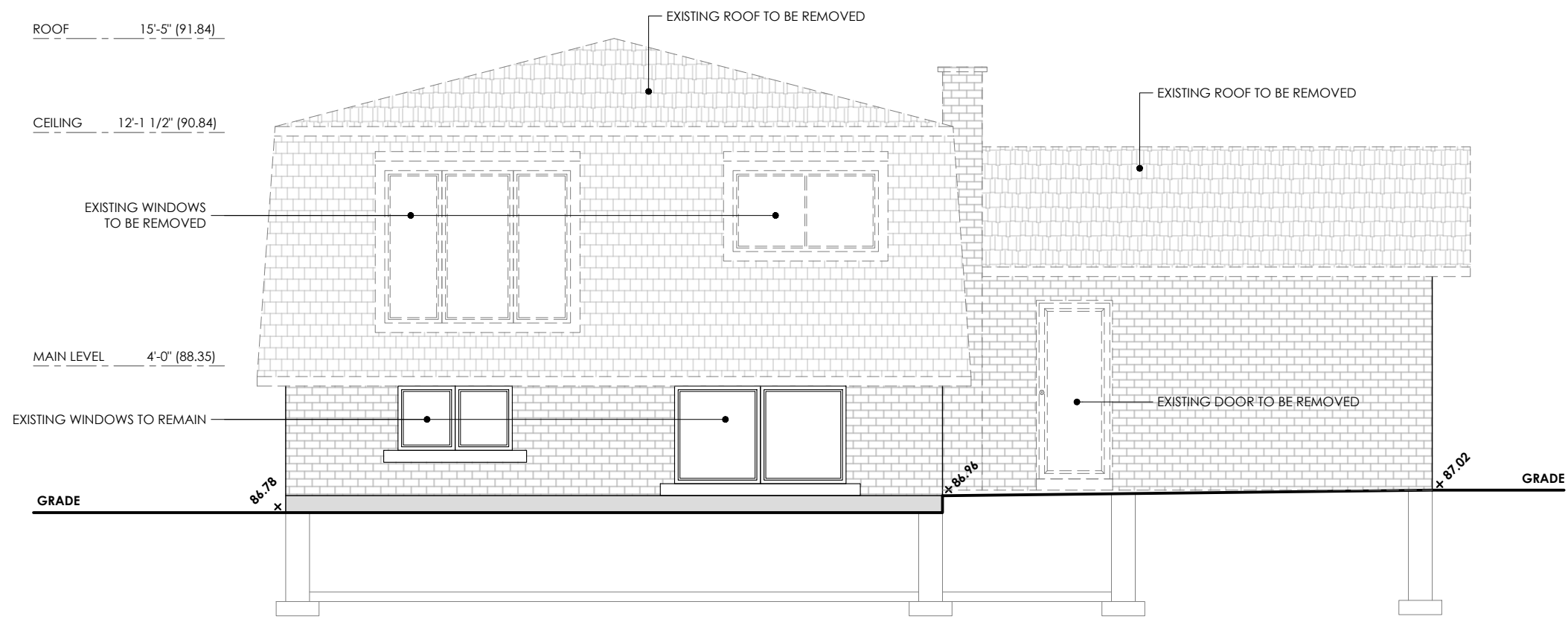
1 EXISTING SIDE ELEVATION
 A2.02 1:60

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

EXISTING SIDE ELEVATION
A2.02

LEGEND:	
SYMBOL	DESCRIPTION
	TO BE REMOVED

Copy Right Act Applies to Use and Production



Copy Right Act Applies to Use and Production

1 EXISTING REAR ELEVATION
A2.03 1:60



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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REGISTRATION INFORMATION
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BCIN#:112916

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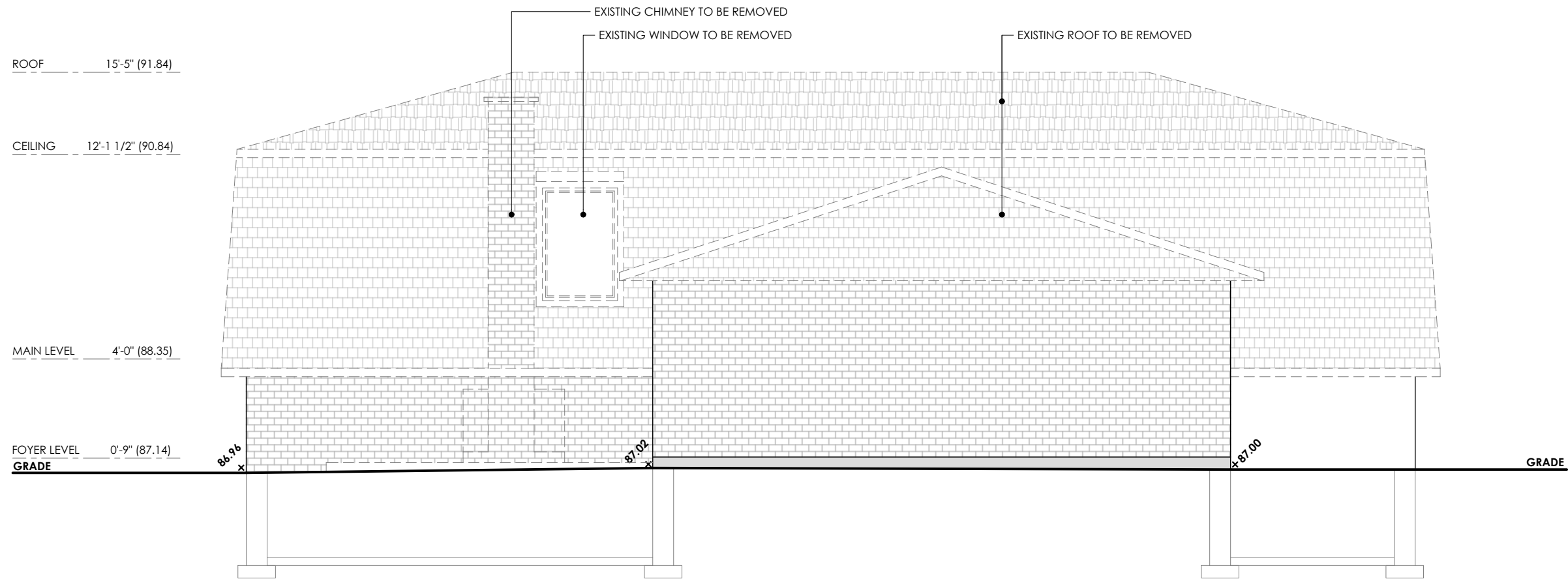
PROJECT:
NEW ADDITIONS
AT 237 CHELTENHAM ROAD,
BURLINGTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
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EXISTING REAR ELEVATION
A2.03

LEGEND:	
SYMBOL	DESCRIPTION
	TO BE REMOVED

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1 EXISTING SIDE ELEVATION
A2.04 1:60



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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EXISTING SIDE ELEVATION

A2.04



TENHOUSE BUILDING WORKSHOP
 107 GLADSTONE AVENUE
 HAMILTON, ON L8M 2H8
 T: 905-699-7371

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PROJECT:
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 AT 237 CHELTENHAM ROAD,
 BURLINGTON, ON

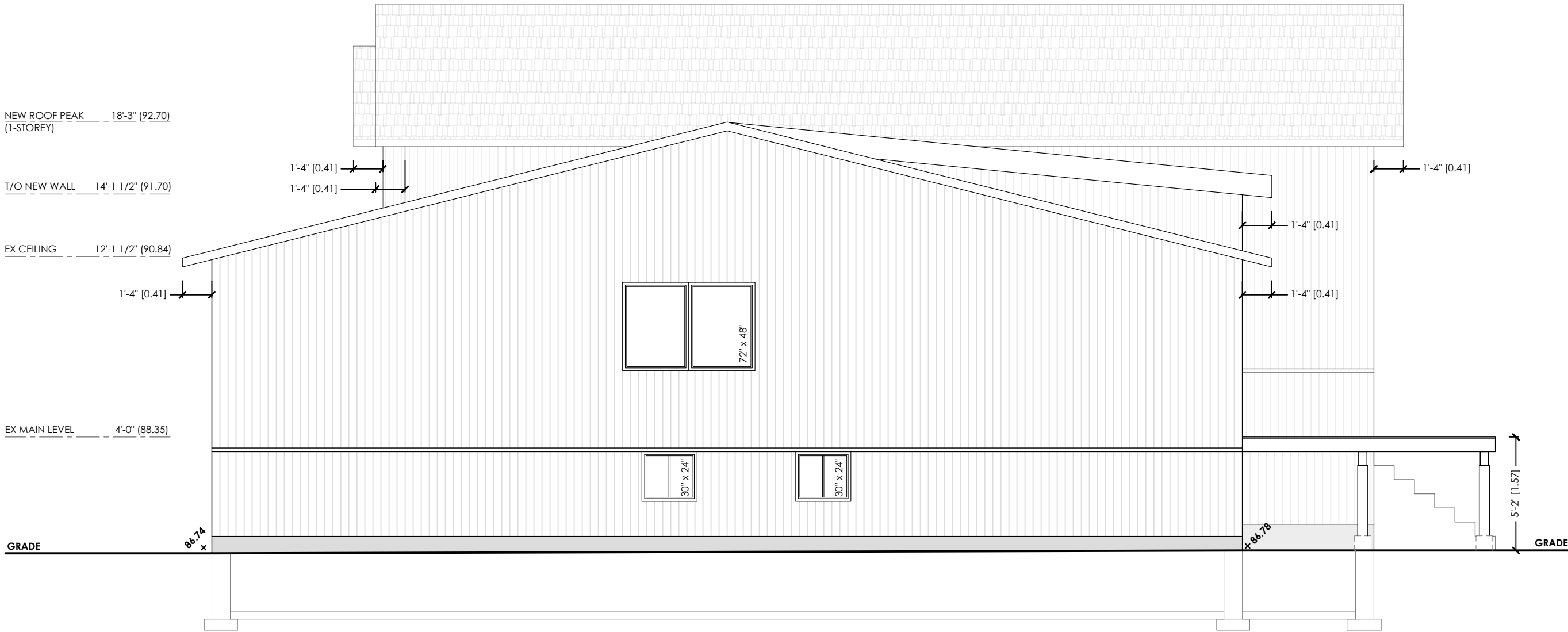
Copy Right Act Applies to Use and Production

1 PROPOSED FRONT ELEVATION
 A2.05 1:60

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

PROPOSED FRONT ELEVATION
A2.05

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Copy Right Act Applies to Use and Production

1 PROPOSED SIDE ELEVATION
A2.06 1:60



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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PROJECT:
NEW ADDITIONS
AT 237 CHELTENHAM ROAD,
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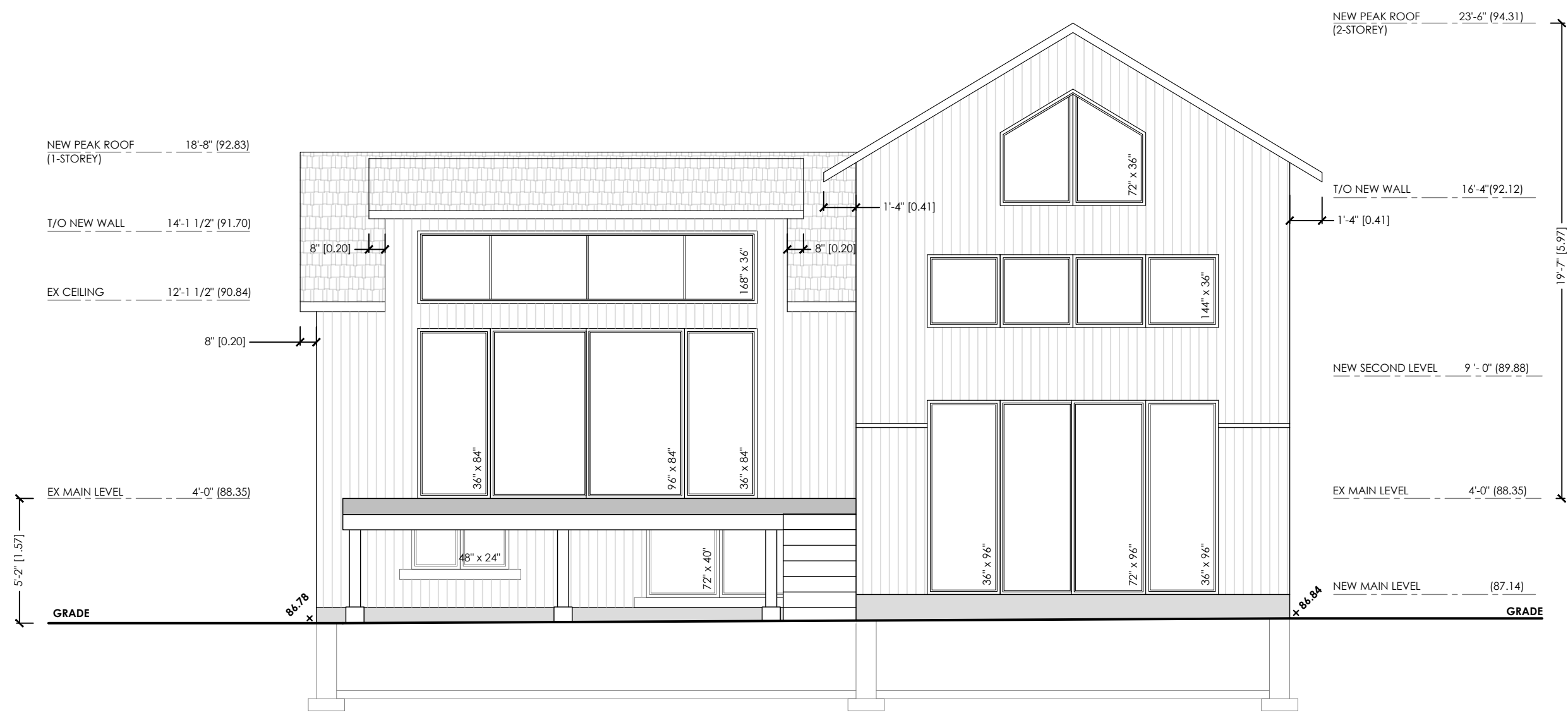
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PROPOSED SIDE ELEVATION
A2.06



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

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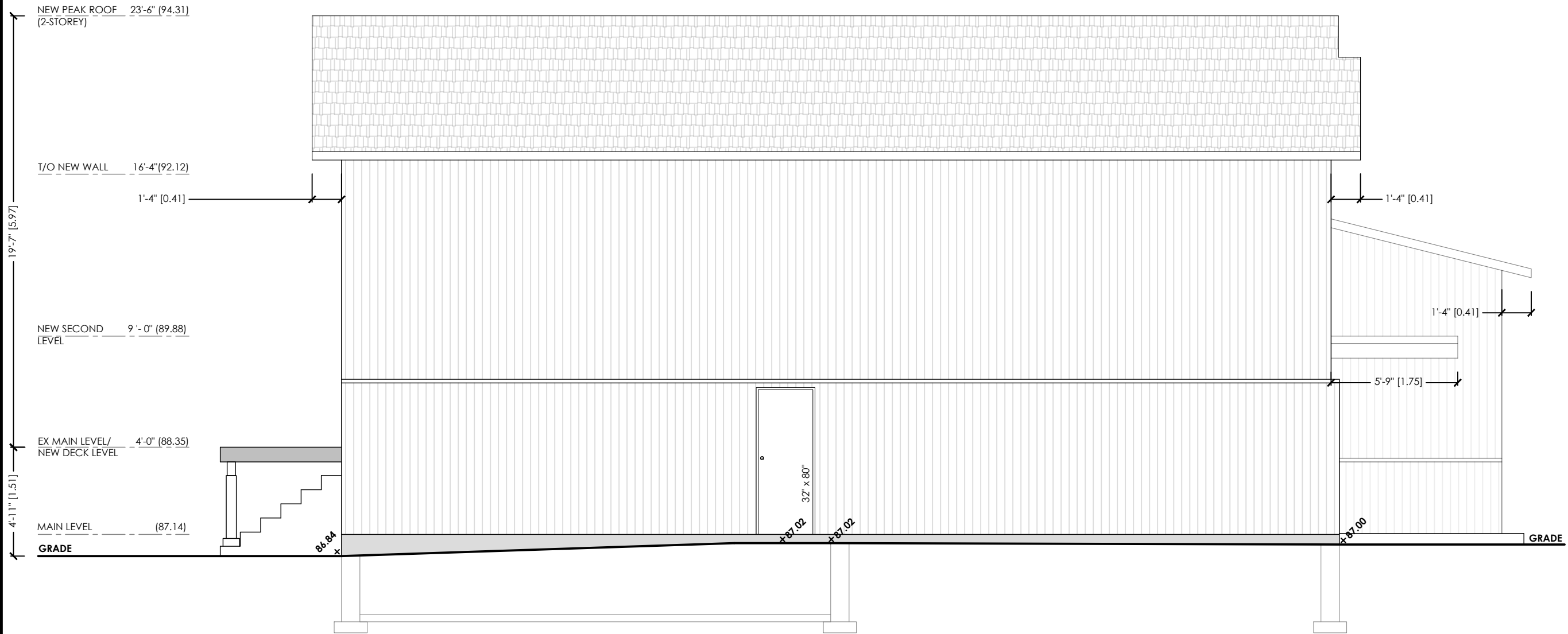
Copy Right Act Applies to Use and Production

1 PROPOSED REAR ELEVATION
A2.07 1:60

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

PROPOSED REAR ELEVATION
A2.07

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107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
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PROPOSED SIDE ELEVATION
A2.08

1 PROPOSED SIDE ELEVATION
A2.08 1:60

LEGEND:	
SYMBOL	DESCRIPTION
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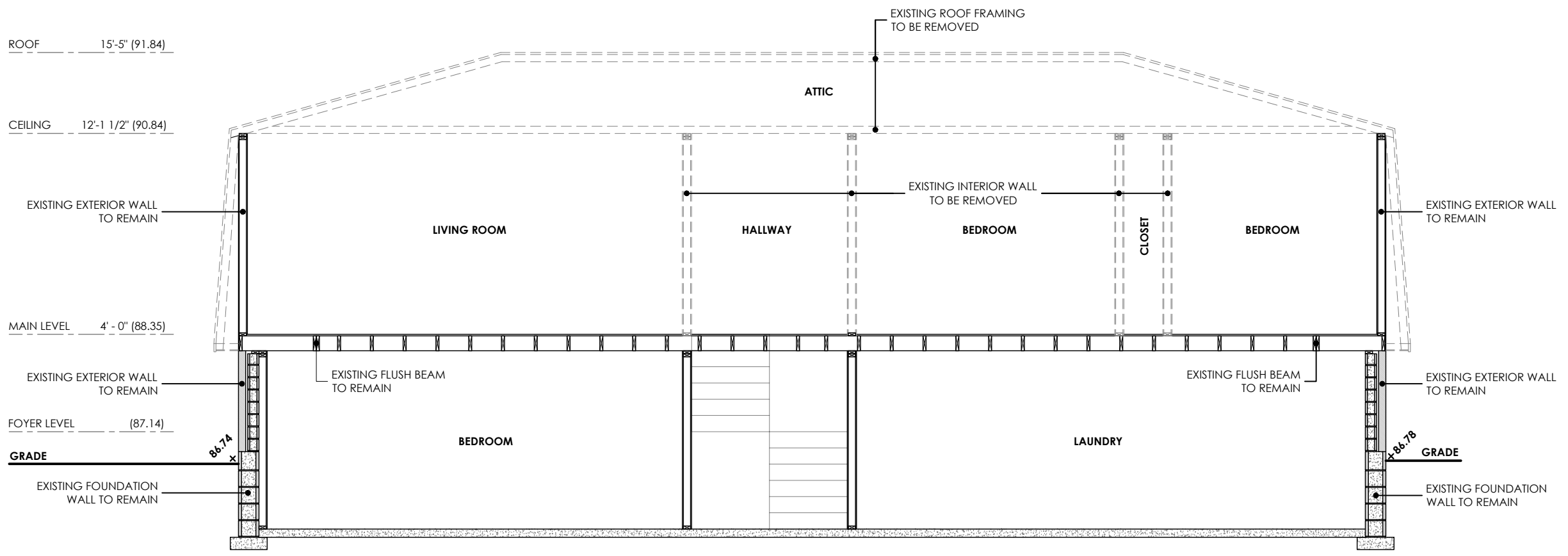
TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
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NEW ADDITIONS
AT 237 CHELTENHAM ROAD,
BURLINGTON, ON

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1 EXISTING SECTION A
A3.01 1:60

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

EXISTING SECTION A
A3.01

LEGEND:	
SYMBOL	DESCRIPTION
	TO BE REMOVED



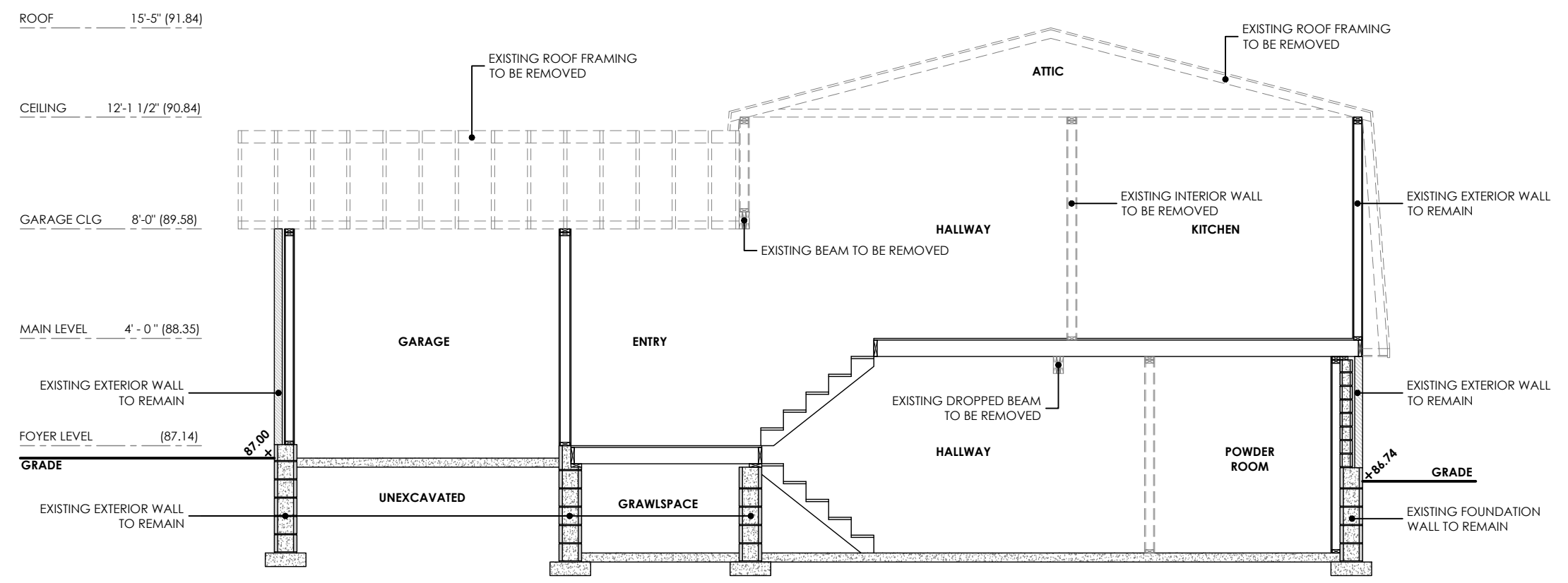
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1 EXISTING SECTION B
 A3.02 1:60

EXISTING SECTION B
A3.02



TENHOUSE BUILDING WORKSHOP
 107 GLADSTONE AVENUE
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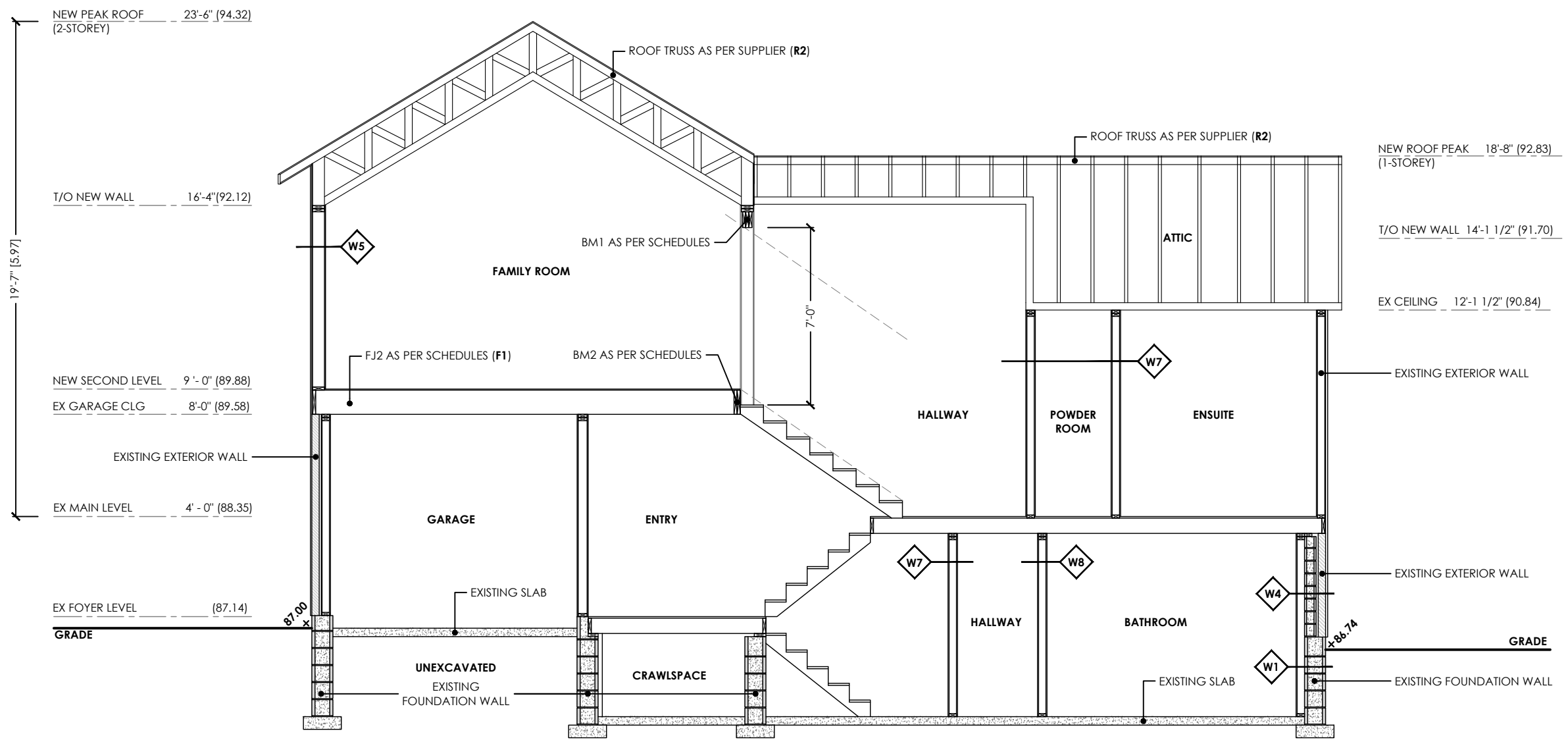
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PROJECT:
 NEW ADDITIONS
 AT 237 CHELTENHAM ROAD,
 BURLINGTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
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PROPOSED SECTION C
A3.03

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Copy Right Act Applies to Use and Production

1
 A3.03 PROPOSED SECTION C
 1:60



TENHOUSE BUILDING WORKSHOP
 107 GLADSTONE AVENUE
 HAMILTON, ON L8M 2H8
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DRAWN:
J.T

APPROVED:
M.D.F

FILE NO:
2024-08

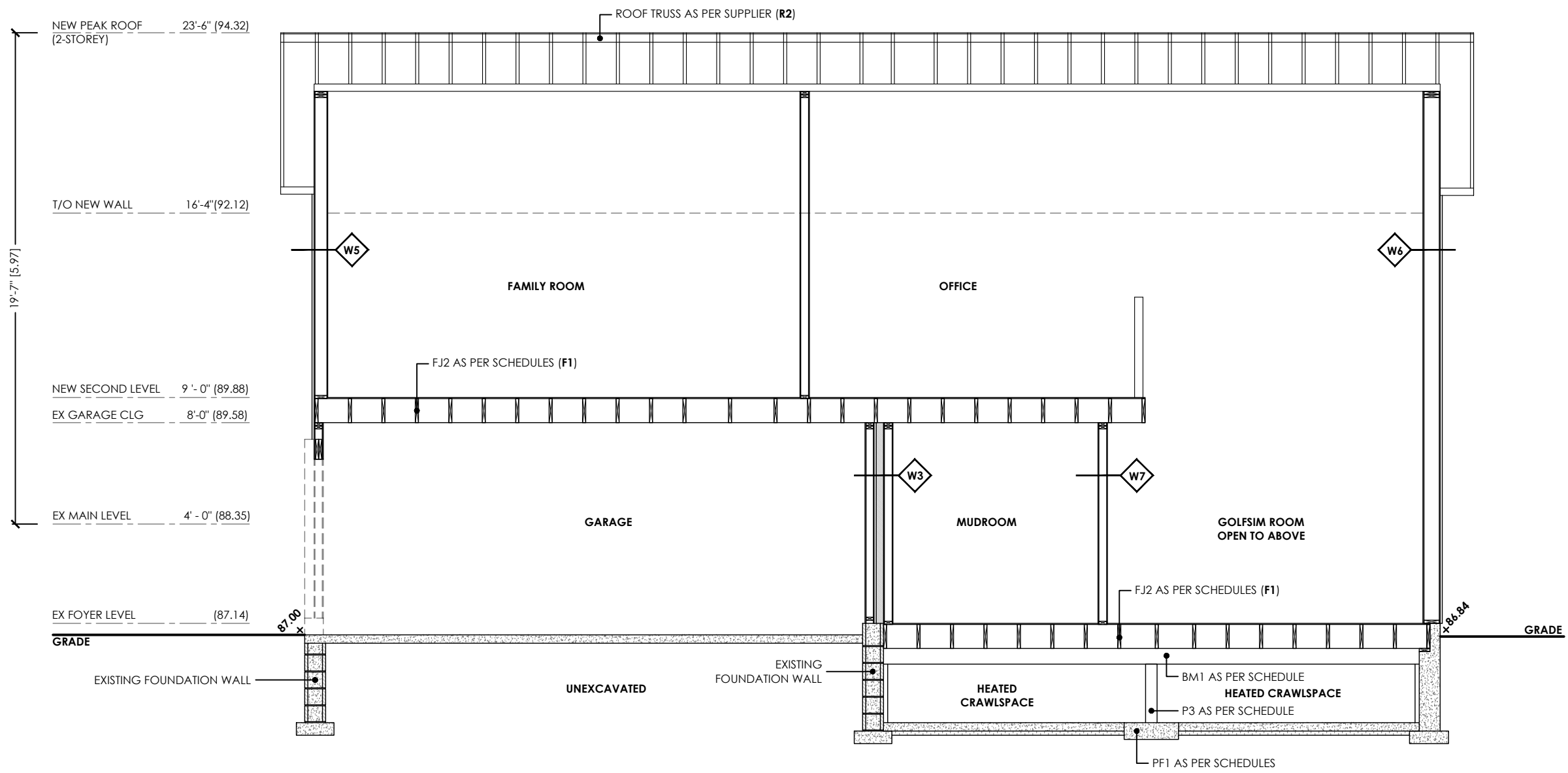
CHECKED:
M.D.F

REVISION:
0

DATE:
2024-12-09

PROPOSED SECTION D
A3.04

Copy Right Act Applies to Use and Production



Copy Right Act Applies to Use and Production

1
 A3.04 PROPOSED SECTION D
 1:60



TENHOUSE BUILDING WORKSHOP
 107 GLADSTONE AVENUE
 HAMILTON, ON L8M 2H8
 T: 905-699-7371

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 BCIN#:44839

REGISTRATION INFORMATION
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 BCIN#:112916

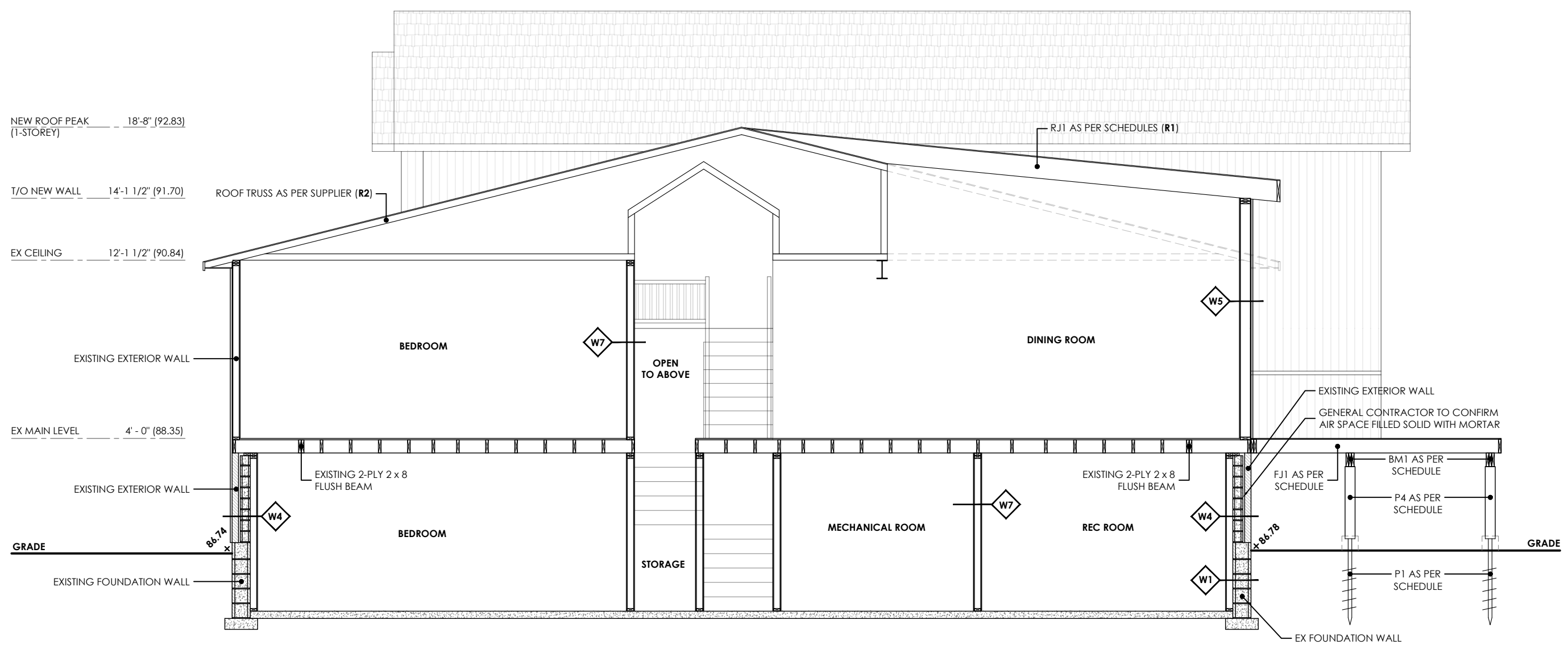
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 AT 237 CHELTENHAM ROAD,
 BURLINGTON, ON

DRAWN: J.T	APPROVED: M.D.F
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REVISION: 0	DATE: 2024-12-09

PROPOSED SECTION E
A3.05

Copy Right Act Applies to Use and Production



Copy Right Act Applies to Use and Production

1 PROPOSED SECTION E
 A3.05 1:60



TENHOUSE BUILDING WORKSHOP
 107 GLADSTONE AVENUE
 HAMILTON, ON L8M 2H8
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 TENHOUSE BUILDING WORKSHOP
 BCIN#:112916

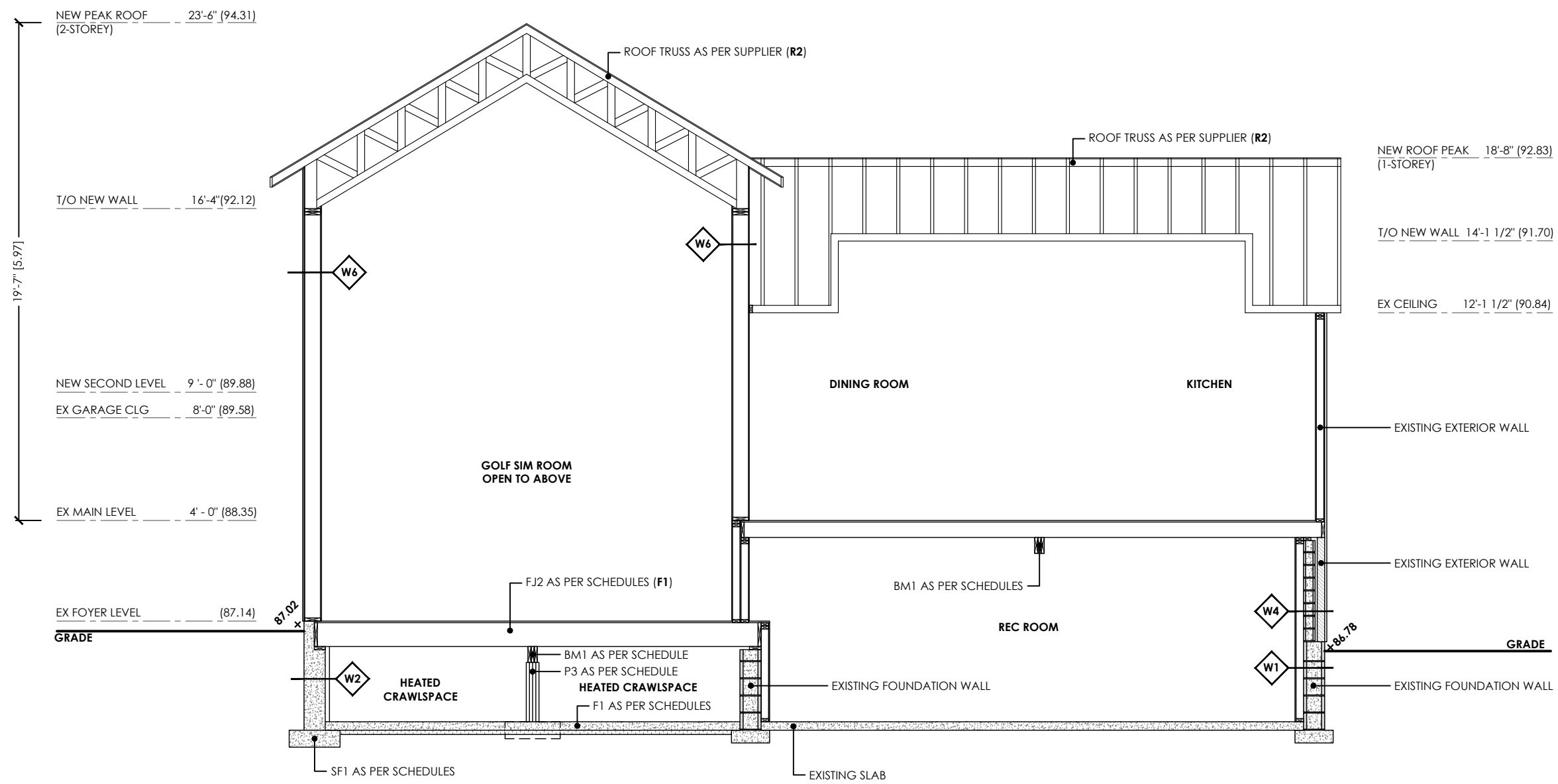
NO.	DATE	REVISION/ISSUE
0	24-12-09	FOR MINOR VARIANCE

PROJECT:
 NEW ADDITIONS
 AT 237 CHELTENHAM ROAD,
 BURLINGTON, ON

DRAWN: J.T	APPROVED: M.D.F
FILE NO: 2024-08	CHECKED: M.D.F
REVISION: 0	DATE: 2024-12-09

PROPOSED SECTION F
A3.06

Copy Right Act Applies to Use and Production



Copy Right Act Applies to Use and Production

1 PROPOSED SECTION F
 A3.06 1:60



Copy Right Act Applies to Use and Production



TENHOUSE BUILDING WORKSHOP
107 GLADSTONE AVENUE
HAMILTON, ON L8M 2H8
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

MATTHEW FRATARCANGELI
BCIN#:44839

REGISTRATION INFORMATION

TENHOUSE BUILDING WORKSHOP
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3D RENDERINGS
A4.01